



1510 - B Third Street
Tillamook, Oregon 97141
www.tillamook.or.us

Building (503) 842-3407
Planning (503) 842-3408
On-Site Sanitation (503) 842-3409
FAX (503) 842-1819
Toll Free 1 (800) 488-8280

Land of Cheese, Trees and Ocean Breeze

**FOREDUNE GRADING PERMIT REQUEST #851-26-000089-PLNG:
SHORE DRIVE**

*NOTICE TO MORTGAGEE, LIENHOLDER, VENDOR OR SELLER:
ORS 215 REQUIRES THAT IF YOU RECEIVE THIS NOTICE,
IT MUST BE PROMPTLY FORWARDED TO THE PURCHASER*

May 13, 2026

Dear Property Owner:

This is to confirm that the Tillamook County Department of Community Development **APPROVED WITH CONDITIONS** the above-cited request on May 13, 2026. A copy of the application, along with a map of the request area and the applicable criteria for review are available for inspection on the Tillamook County Department of Community Development website: <https://www.tillamookcounty.gov/commdev/landuseapps> and is also available for inspection at the Department of Community Development office located at 1510-B Third Street, Tillamook, Oregon 97141.

Appeal of this decision. This decision may be appealed to the Tillamook County Planning Commission, who will hold a public hearing. Forms and fees must be filed in the office of this Department before **4:00pm on May 26, 2026**. This decision will become final on May 26, 2026, unless an appeal is filed in accordance with Tillamook County Land Use Ordinance Article 10.

Request: Foredune Grading Permit review to grade the existing Foredune within Management Unit B of the Pacific City Foredune Management Area.

Location: Accessed via Shore Drive, a County road, and located within the Pacific City/Woods Community Growth Boundary, the subject properties are designated as Tax Lots 2100, 2200, 2201, 2300, 2400, 2500, 2600, 2700, 2800, 2900, 3000, 3101, and 3100 in Section 24AA and Tax Lots 100, 200, 300, 400, 500 and 2201 of Section 24AD, all located in Township 4 South, Range 11 West of the Willamette Meridian, Tillamook County, Oregon.

Zone: Section 3.350: Beach and Dune Overlay Zone

Applicants &

Property Owners: There are multiple owners associated with this request. The consultant is Bruce Haunreiter, Harper, Houf, Peterson, Righellis, Inc.

APPROVED WITH CONDITIONS: Staff has determined that the submitted application is consistent with the Pacific City Foredune Management Plan, subject to the following Conditions of Approval. All sand grading and redistribution activities shall be carried out in a manner consistent with the applicable management objectives and strategies for the 19 properties located in Management Unit B as prescribed in the Pacific City Foredune Management Plan. This Permit shall be valid for a period of five (5) years from the date of this approval. Conditions of Approval are outlined below:

CONDITIONS OF APPROVAL

1. The applicant/property owners shall ensure that posts are in place with markers identifying the acceptable height of the finished grading for the benefit of the contractor(s). Grading shall not result in a Foredune height of less than 4-feet above base flood elevation. A post-elevation certificate shall be submitted to this Department by a registered professional at the conclusion of each Foredune grading project throughout the five-year permit period to maintain a record of grading activities.
2. Upon completion of foredune grading under an approved Foredune Grading Permit, final foredune elevations and conditions shall be surveyed by a registered surveyor, showing compliance with permit conditions. At the conclusion of Foredune grading activities, post-grading Foredune profiles performed by a registered surveyor shall be submitted to the Department and the Oregon Department of Parks and Recreation throughout the five-year permit period, demonstrating grading activities are consistent with the Pacific City Foredune Management Plan. Depending upon site conditions prior to grading, before grading profiles may also be required.
3. Sand graded from foredune lots shall be relocated either to the beach, to low and narrow dune areas on the site, or to alternative beach and dune areas as specified in an approved Foredune Management Plan and in accordance with any requirements from the State of Oregon Parks and Recreation Department. The removal of sand from the foredune management area (including all of Management Units B & C respectively) is prohibited.
4. The vegetation practices outlined in the Pacific City Foredune Management Plan shall be followed. Plantings should be carried out to mimic natural vegetation patterns as much as possible and must occur during the winter cycle (November through April) before and/or after winter storms, when temperatures are between 32 and 60 degrees Fahrenheit and the sand is wet at a depth of 3 inches.
5. The applicants/property owners shall implement the dune stabilization, maintenance and monitoring plan that include visual inspections of the Foredune on a quarterly basis and after severe winter storms, as well as observation of repair/replacement of stabilization efforts when needed due to damage by erosion, trampling of vegetation, grading activities and incomplete survival of any initial plantings. The stabilization, maintenance and monitoring plan shall be reviewed by the Department and the State of Oregon Parks and Recreation Department, and written notice shall be submitted to this Department from OPRD confirming

that this plan has been accepted as part of the Ocean Shores Permit prior to commencement of Fore dune grading activities.

6. Prior to commencing any grading activity, the applicants/property owners shall obtain an approved Ocean Shores Permit from the State of Oregon Parks and Recreation Department (OPRD). A copy of the approved permit shall be submitted to the Department prior to commencement of any Fore dune grading activity.
7. Prior to the commencement of any grading activity, the property owner is responsible for ensuring that the contractor notifies the Department and the State of Oregon Parks and Recreation Department, of the dates grading is going to occur, the equipment to be used, and contact information. It is the property owner's responsibility to ensure that the grading and sand redistribution activities are carried out in a manner that is consistent with these Conditions of Approval and with the management objectives and strategies prescribed for Management Unit B, as applicable, in the Pacific City Fore dune Management Plan.
8. In the event a property within Management Unit B is sold, or ownership otherwise transferred, the new property owner(s) will be responsible for adhering to these conditions.
9. Prior to the commencement of grading activity, the applicant/property owners shall contact the Tillamook County Public Works Department (503-842-3419) should access to the Fore dune be necessary by way of County Roads. A copy of written authorization by the Tillamook County Public Works Department shall be submitted to the Tillamook County Department of Community Development prior to commencement of any grading activity.
10. This permit expires on May 13, 2031. Noncompliance with the Conditions of Approval may result in a revoked permit and issuance of a citation.

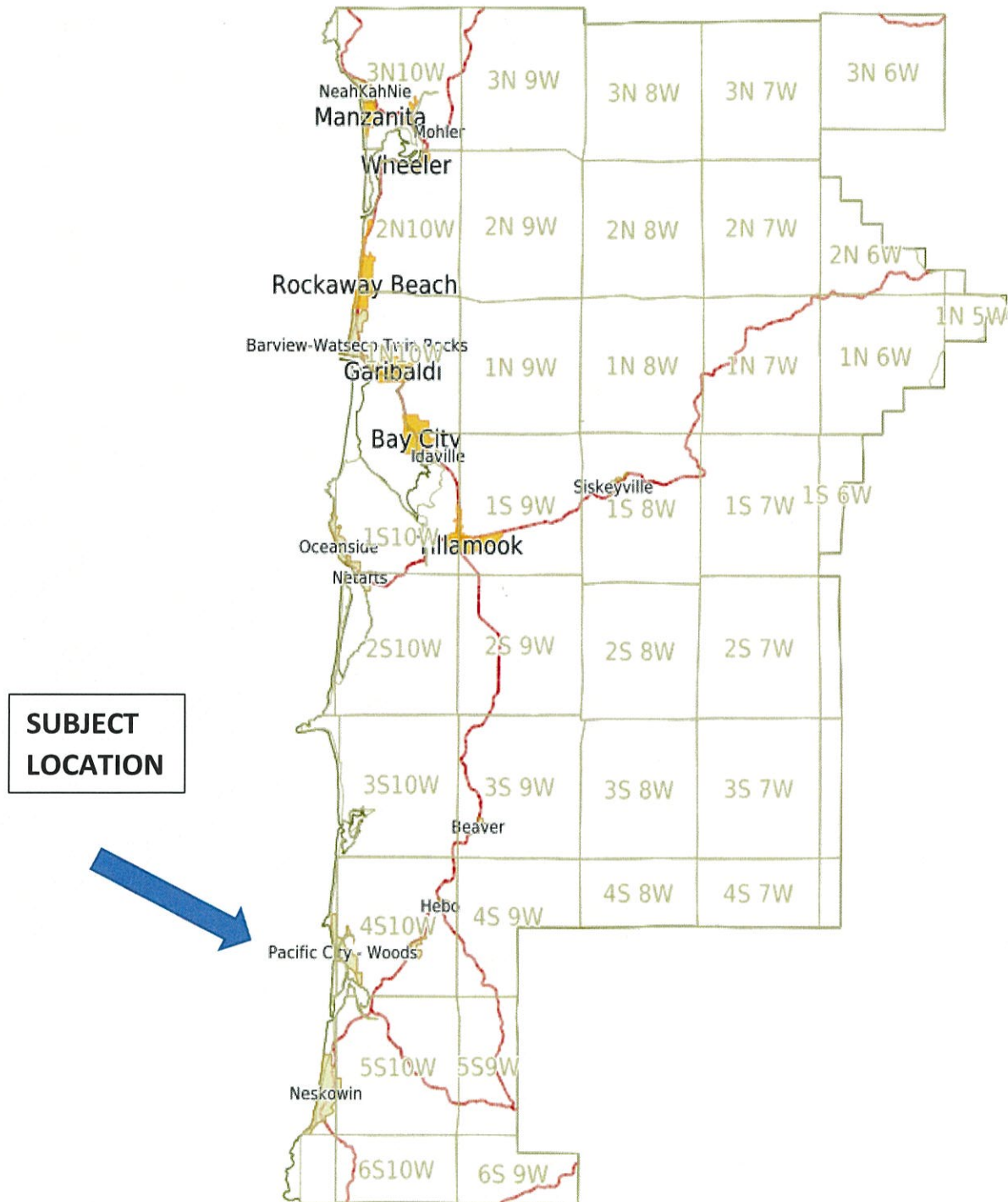
Sincerely,
Tillamook County Department of Community Development



Sarah Absher, CFM, Director

Enc.: Property Identification Maps

VICINITY MAP

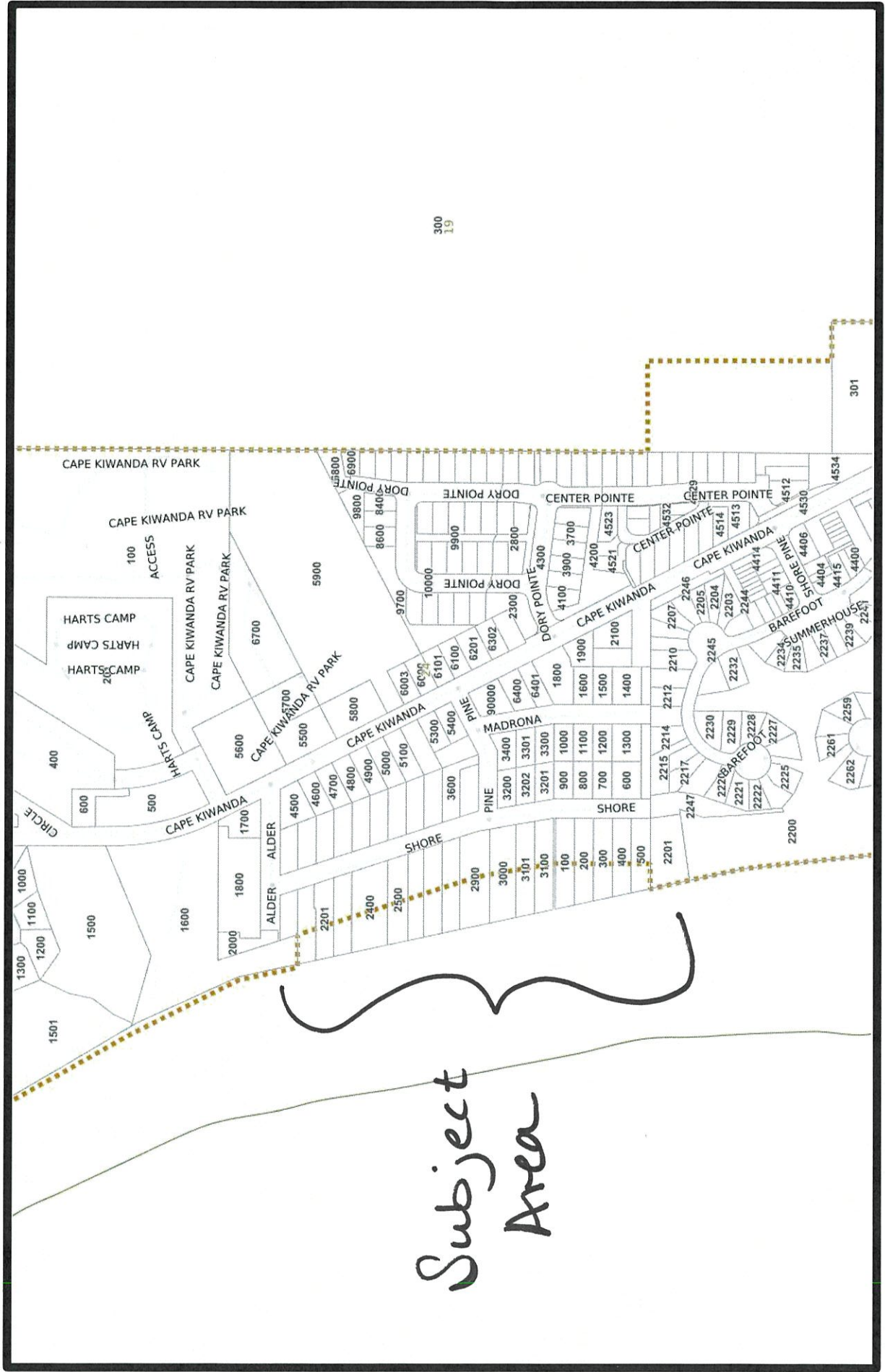


**SUBJECT
LOCATION**



**#851-26-000089-PLNG:
FORDUNE GRADING PERMIT
SHORE DRIVE OCEANFRONT PROPERTIES**

Map





Building (503) 842-3407
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**FOREDUNE GRADING PERMIT REQUEST #851-26-000089-PLNG:
SHORE DRIVE**

Approved with Conditions

May 13, 2026

Prepared by: Sarah Absher, CFM, Director

A handwritten signature in blue ink, appearing to be 'SAB', is written over a circular blue stamp or seal.

I. GENERAL INFORMATION

Description of Request: Foredune Grading Permit review to grade the existing Foredune within Management Unit B of the Pacific City Foredune Management Area (Exhibit B).

Location: Accessed via Shore Drive, a County road, and located within the Pacific City/Woods Community Growth Boundary, the subject properties are designated as Tax Lots 2100, 2200, 2201, 2300, 2400, 2500, 2600, 2700, 2800, 2900, 3000, 3101, and 3100 in Section 24AA and Tax Lots 100, 200, 300, 400, 500 and 2201 of Section 24AD, all located in Township 4 South, Range 11 West of the Willamette Meridian, Tillamook County, Oregon (Exhibit A).

Zone: Section 3.530: Beach and Dune Overlay

Applicants & Property Owners: There are multiple owners associated with this request. The consultant is Bruce Haunreiter, Harper, Houf, Peterson, Righellis, Inc.

Description of project: The applicants/property owners are requesting Foredune Grading Permit approval for ongoing foredune grading and property maintenance within a specified area identified as

those oceanfront properties west of Shore Drive located within the Unincorporated Community of Pacific City/Woods and Management Unit B of the Pacific City Foredune Management Plan (Exhibits A & B). This Foredune Grading permit shall be issued prior to commencement of any foredune grading activity. Foredune Grading permits are valid for a period of five (5) years.

Management Unit B: Management Unit B extends from the southerly boundary of Alder Street, a County road, to one lot north of Tamarack Street, a County road. The project area lies completely within Management Unit B as depicted on the Pacific City Foredune Management Units Map (Exhibit A). This management unit area is adjacent to residentially developed lots (single family dwellings) and experiences relatively heavy to moderate recreational use due to its proximity to the boat ramp and County parking lot. Homeowner access to the beach is uncontrolled along this segment of shoreline.

This segment of shoreline is characterized by a net accumulation of sand over the period 1967 to 1997. During this time, portions of the Foredune area increased in width by as much as 255 feet and in height by as much as 25 feet. This area has also experienced episodic erosion- as much as 50 to 100 feet of Foredune retreat has occurred on at least two occasions over the last 30 years.

The applicant/property owners are proposing to grade that portion of the Foredune located in Management Unit B. This activity is regulated under the provisions of Statewide Planning Goal 18, the Pacific City Foredune Management Plan, and Section 3.350: Beach and Dune Overlay Zone of the Tillamook County Land Use Ordinance.

Foredune morphology along this segment of the shoreline is characterized by a relatively low, wide, graded profile, with the crest along with segment of shoreline ranging from about 35 to 40 feet NGVD in elevation. The foredune area is poorly vegetated on the crest and backslope ranging from open sand to about 30% and on the foreslope from open sand to about 10%. Vegetation consists of patches of European Beachgrass, American Dunegrass, Sea Rocket and Yellow Sand Verbena. Traverse open-sand dunes are evident along the crest and backslope. Gravel deflation surfaces are evident of the foreslope. Both features are indicative of active wind-driven sediment transport within this management unit (Exhibit C).

FEMA Flood Insurance Rate Map (FIRM): The Shore Drive section of the Pacific City/Woods Community is located outside mapped Areas of Special Flood Hazard (SFHA) are depicted on FEMA Flood Insurance Rate Map #41057C0855F (Exhibit A). The FIRM also identifies areas west of the development are mapped Coastal High Hazard "VE Zone", are located on the ocean shore and development activities are under the jurisdiction of the Oregon Department of Parks and Recreation (OPRD) (Exhibit A).

The applicants/property owners are proposing to grade that portion of the Foredune located in Management B as depicted on the grading profiles included as "Exhibit B" of this report. This activity is regulated under the provisions of Statewide Planning Goal 18, the Pacific City Foredune Management Plan, and Section 3.530: Beach and Dune Overlay Zone of the Tillamook County Land Use Ordinance.

It should be noted that two permits are required for Foredune grading activities: a Foredune Grading Permit from the local jurisdiction (Tillamook County) and an Ocean Shores Permit from the State of Oregon Parks and Recreation Department (OPRD). Both permits must be approved prior to the commencement of any grading activities.

A condition of approval has been made reflecting the statement above, requiring both local and state permits be obtained prior to commencement of foredune grading activities.

II. ANALYSIS OF APPLICABLE ORDINANCE CRITERIA

A. Land Use Ordinance Section 3.530: Beach and Dune Overlay Zone

(1) *PURPOSE: The purpose of the Beach and Dune Overlay Zone is to establish criteria and performance standards to direct and manage development and other activities in beach and dune areas in a manner that:*

(a) Conserves, protects and, where appropriate, restores the resources and benefits of coastal beach and dune areas;

(b) Reduces the risks to life and property from natural and man-induced actions on these inherently dynamic landforms; and

(c) Ensures that the siting and design of development in beach and dune areas is consistent with Statewide Planning Goals 7 and 18, and the Hazards Element and Beaches and Dunes Element of the Tillamook County Comprehensive Plan.

(2) *AREAS INCLUDED: All beach and dune areas categorized in the table below and as identified in Open File Report O-20-04, Temporal and Spatial Changes in Coastal Morphology, Tillamook County, Oregon by the Oregon Department of Geology and Mineral Industries (DOGAMI) are subject to the provisions of this section. Beach and dune landforms are identified and mapped in this DOGAMI report. The following table provides a crosswalk between the categories mapped in O-20-04 and the categories subject to the provisions of this Section 3.530 and the Beaches and Dunes Element of the Tillamook County Comprehensive Plan.*

...

(12) *FOREDUNE GRADING: Foredune grading may be performed only as authorized in a foredune management plan adopted and acknowledged in conformance with Statewide Planning Goal 18. As used in this section "foredune grading" means grading that lowers the height of the foredune for view restoration and/or maintenance, or other purposes, and does not include remedial grading authorized by subsection (11) of this section.*

(a) Foredune grading shall require a Foredune Grading Permit. Application, review, decisions, and appeals for Foredune Grading Permits shall be a Type II procedure in accordance with Article 10.

(b) A decision to approve a Foredune Grading Permit shall require findings of compliance with the following requirements:

(A) The proposed foredune grading will be performed on a continuous portion of the foredune of not less than 500 feet in length;

(B) The application for the Foredune Grading Permit includes the written consent of all owners of property within the continuous portion of the foredune to be graded;

(C) The application for the Foredune Grading Permit shall include elevation profiles of existing and proposed foredune conditions prepared by a registered surveyor; and

(D) The proposed foredune grading will conform to all the requirements and specifications of the applicable foredune management plan, including requirements for height and width of the graded foredune, stabilization measures, redistribution of graded sand, and maintenance and monitoring.

(c) Upon completion of foredune grading under an approved Foredune Grading Permit, final foredune elevations and conditions shall be surveyed by a registered surveyor, showing compliance with permit conditions, and submitted to the Tillamook County Department of Community Development.

Findings: A Foredune Grading Permit application has been submitted in accordance with Subsection (12)(a) and has been processed as a Type II review in accordance with Article 10 of the TCLUO. Public notice in accordance with TCLUO Section 10.070 requires notification of this request to be mailed to landowners within 250 feet of the subject property, to allow at least 14 days for written comments, and requires staff to consider comments received in making the decision.

Notice of the request was mailed to property owners, the Pacific City/Woods Citizen Advisory Committee (CAC) and other agencies on March 13, 2026. No comments were received.

Uses within the BD zone are subject to the provisions and standards of the underlying zone and of this Section. Where the provisions of this zone and the underlying zone conflict, the more restrictive provisions shall apply. Other overlay zone and regulatory criteria also may apply to uses within the BD zone: for example, the standards and criteria of the Shoreland Overlay Zone, the Estuary Zones, Estuary Development Standards, Development Requirements for Geologic Hazard Areas, Flood Hazard Overlay Zone, and Requirements for Protection of Water Quality and Streambank Stabilization as set forth in the Tillamook County Land Use Ordinance.

(12)(b)(A) The proposed foredune grading will be performed on a continuous portion of the foredune of not less than 500 feet in length;

Findings: A stretch of foredune that consists of a total of 19 properties is proposed to be graded, redistributing sand across this stretch of the foredune. Profiles provided by Eric Lynch, Surveyor, S&F Land Services, dated October 24, 2025, indicates a total cut of 16.293 cubic yards with a total fill of 16.293 cubic yards for a net difference of 0 cubic yards of fill material (Exhibit B). Included with the application submittal are 12 cross sections depicting ground profiles with elevations (Exhibit B).

(12)(b)(B) The application for the Foredune Grading Permit includes the written consent of all owners of property within the continuous portion of the foredune to be graded;

Findings: The proposed grading activities will commence across 19 for approximately 1,000 linear feet of foredune along the western region of Shore Drive, extending from the intersection of Shore Drive and Alder Street to the northern boundary of Shorepine Village (Exhibits A & B). The submitted information includes copies of signed applications (written consent) of at least one owner per property for all contiguous properties part of the foredune to be graded (Exhibit B).

(12)(b)(C) The application for the Foredune Grading Permit shall include elevation profiles of existing and proposed foredune conditions prepared by a registered surveyor; and

Findings: The application submitted for this proposal includes 12 cross-sections of dune elevation profiles across the 19 properties, completed by Eric D. Lynch, S&F Land Services, a licensed registered surveyor. These profiles depict grading activities with various elevation profiles that confirm grading activities will maintain final elevations at 4-feet above base flood elevation in compliance with Goal 18

policies and FEMA Code of Federal Regulation Requirements and also depicts where sand will be redeposited within this management unit seaward of the foredune crest (Exhibit B).

The narrative of the application states that the objectives of the proposed grading are consistent with those objectives of Management Unit B of the Pacific City Foredune Management Plan, specifically to prevent homes from being inundated with sand and to enhance views; to maintain flood/erosion protections; and to maintain or enhance access with the priority objective being to minimize inundation brought about by excessive accumulation of wind-blown sand and correspondingly maintaining or enhancing ocean views (Exhibit B). A portion of the sand will be redistributed along the ocean shore in front of Management Unit C as shown on the submitted grading profiles (Exhibit B).

(12)(b)(D) The proposed foredune grading will conform to all the requirements and specifications of the applicable foredune management plan, including requirements for height and width of the graded foredune, stabilization measures, redistribution of graded sand, and maintenance and monitoring.

Findings: The application submittal includes a grading plan, dune stabilization plan and monitoring plan in compliance with the Pacific City Foredune Management specifications outlined for Management Unit B (Exhibit B). Applicants state that grading and dune stabilization will follow the approved Pacific City Foredune Management Plan, and that efforts to minimize short-term impacts resulting from grading activities will be performed following completion of grading activities scheduled to commence spring 2026 (Exhibit B). Applicant states that none of the surrounding existing dwellings or the public beach will be adversely impacted by the grading activities (Exhibit B). Redeposition of sand within Management Unit C is located on the ocean shore and subject to review under the jurisdiction of the Oregon State Parks and Recreation Department.

Grading: As outlined in the Pacific City Foredune Management Plan, the removal of sand under the management strategy for these particular management areas is prohibited. Inundating sand shall be disposed of seaward of existing structures and distributed in a manner that shall not impact adjacent dwellings or adversely impact the public beach. View grading down to the V-Zone 100 year plus 4-foot elevation, ideally at a distance of at least 50-feet seaward from the western foundation of oceanfront dwellings, is allowed to these specifications and may occur along the entire length of this management unit. Specifically for Management Unit B, graded sand is to be transferred seaward from high areas behind the Foredune crest to low areas elsewhere along the crest and foreslope. After low areas have been filled, consideration may be given to the transfer of excess sand seaward of the lower foreslope/beachface so as to allow a combination of wave and wind-driven sediment transport to redistribute it.

Vegetative Stabilization: The Pacific City Foredune Management Plan states that planting stand-stilling grasses should occur immediately following view grading and should be carried out so as to mimic natural vegetation patterns as much as possible. Ideally, the capture of sand in the foreslope of this Foredune area will encourage outward as opposed to upward growth of the Foredune, minimizing the potential for inundation and in turn maintain ocean views while also maintaining flood/erosion potential.

Specific planting recommendations for Unit B along the backslope, primary crest, secondary crest and foreslope are outlined on Page 18 of the Pacific City Foredune Management Plan (Exhibit C). These recommendations have been incorporated in the Conditions of Approval for this permit.

The plan also states that in all cases, planting should be carried out during the rainy months (November and April) before and/or after winter storms, when temperatures are between 32 and 60 degrees F and the sand is wet at a 3-inch depth. Fertilizing efforts taking place immediately after planting are preferred with ammonium sulfate fertilizer and follow up fertilization again in the subsequent late fall or early spring rainy period.

(12)(c) Upon completion of foredune grading under an approved Foredune Grading Permit, final foredune elevations and conditions shall be surveyed by a registered surveyor, showing compliance with permit conditions, and submitted to the Tillamook County Department of Community Development.

Findings: Staff finds this requirement can be satisfied through the Conditions of Approval. Staff also finds that a condition of approval can be made to require a copy of the final foredune elevations and conditions be submitted to the Oregon Department of Parks and Recreation following completion of grading activities.

III. APPROVED WITH CONDITIONS: Staff has determined that the submitted application is consistent with the Pacific City Foredune Management Plan, subject to the following Conditions of Approval. All sand grading and redistribution activities shall be carried out in a manner consistent with the applicable management objectives and strategies for the 19 properties located in Management Unit B as prescribed in the Pacific City Foredune Management Plan. This Permit shall be valid for a period of five (5) years from the date of this approval. Conditions of Approval are outlined below:

CONDITIONS OF APPROVAL

1. The applicant/property owners shall ensure that posts are in place with markers identifying the acceptable height of the finished grading for the benefit of the contractor(s). Grading shall not result in a Foredune height of less than 4-feet above base flood elevation. A post-elevation certificate shall be submitted to this Department by a registered professional at the conclusion of each Foredune grading project throughout the five-year permit period to maintain a record of grading activities.
2. Upon completion of foredune grading under an approved Foredune Grading Permit, final foredune elevations and conditions shall be surveyed by a registered surveyor, showing compliance with permit conditions. At the conclusion of Foredune grading activities, post-grading Foredune profiles performed by a registered surveyor shall be submitted to the Department and the Oregon Department of Parks and Recreation throughout the five-year permit period, demonstrating grading activities are consistent with the Pacific City Foredune Management Plan. Depending upon site conditions prior to grading, before grading profiles may also be required.
3. Sand graded from foredune lots shall be relocated either to the beach, to low and narrow dune areas on the site, or to alternative beach and dune areas as specified in an approved Foredune Management Plan and in accordance with any requirements from the State of Oregon Parks and Recreation Department. The removal of sand from the foredune management area (including all of Management Units B & C respectively) is prohibited.
4. The vegetation practices outlined in the Pacific City Foredune Management Plan shall be followed. Plantings should be carried out to mimic natural vegetation patterns as much as possible and must

occur during the winter cycle (November through April) before and/or after winter storms, when temperatures are between 32 and 60 degrees Fahrenheit and the sand is wet at a depth of 3 inches.

5. The applicants/property owners shall implement the dune stabilization, maintenance and monitoring plan that include visual inspections of the Fore dune on a quarterly basis and after severe winter storms, as well as observation of repair/replacement of stabilization efforts when needed due to damage by erosion, trampling of vegetation, grading activities and incomplete survival of any initial plantings. The stabilization, maintenance and monitoring plan shall be reviewed by the Department and the State of Oregon Parks and Recreation Department, and written notice shall be submitted to this Department from OPRD confirming that this plan has been accepted as part of the Ocean Shores Permit prior to commencement of Fore dune grading activities.
6. Prior to commencing any grading activity, the applicants/property owners shall obtain an approved Ocean Shores Permit from the State of Oregon Parks and Recreation Department (OPRD). A copy of the approved permit shall be submitted to the Department prior to commencement of any Fore dune grading activity.
7. Prior to the commencement of any grading activity, the property owner is responsible for ensuring that the contractor notifies the Department and the State of Oregon Parks and Recreation Department, of the dates grading is going to occur, the equipment to be used, and contact information. It is the property owner's responsibility to ensure that the grading and sand redistribution activities are carried out in a manner that is consistent with these Conditions of Approval and with the management objectives and strategies prescribed for Management Unit B, as applicable, in the Pacific City Fore dune Management Plan.
8. In the event a property within Management Unit B is sold, or ownership otherwise transferred, the new property owner(s) will be responsible for adhering to these conditions.
9. Prior to the commencement of grading activity, the applicant/property owners shall contact the Tillamook County Public Works Department (503-842-3419) should access to the Fore dune be necessary by way of County Roads. A copy of written authorization by the Tillamook County Public Works Department shall be submitted to the Tillamook County Department of Community Development prior to commencement of any grading activity.
10. This permit expires on May 13, 2031. Noncompliance with the Conditions of Approval may result in a revoked permit and issuance of a citation.

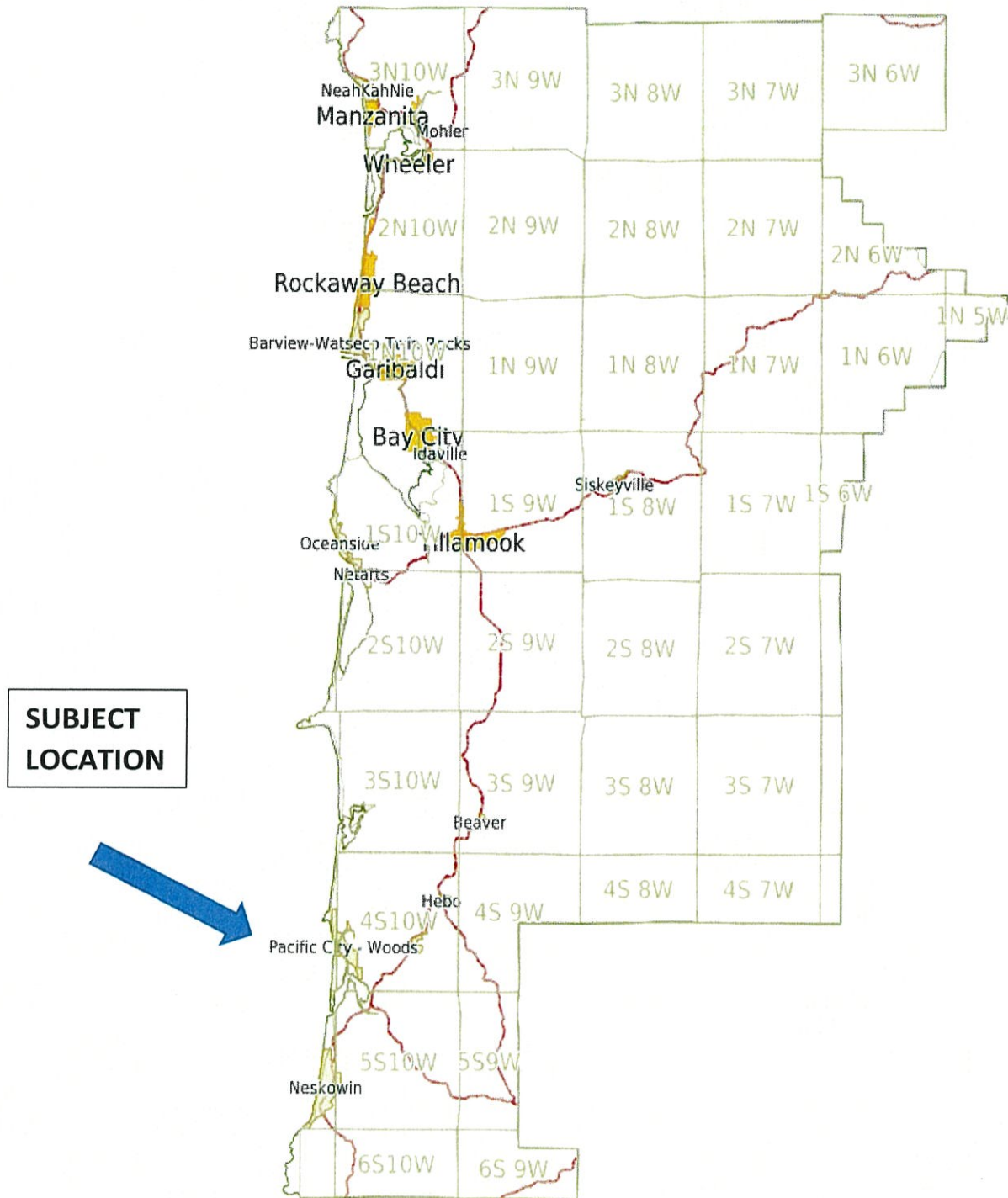
VI. EXHIBITS

All Exhibits referenced herein are, by this reference, made a part hereof.

- A. Maps: Vicinity, Assessor Maps, Zoning Maps, FEMA FIRM
- B. Application Submittal
- C. Pacific City Fore dune Management Plan (Unit B only)
- D. Maintenance & Monitoring Program (Pacific City Fore dune Management Plan)

EXHIBIT A

VICINITY MAP

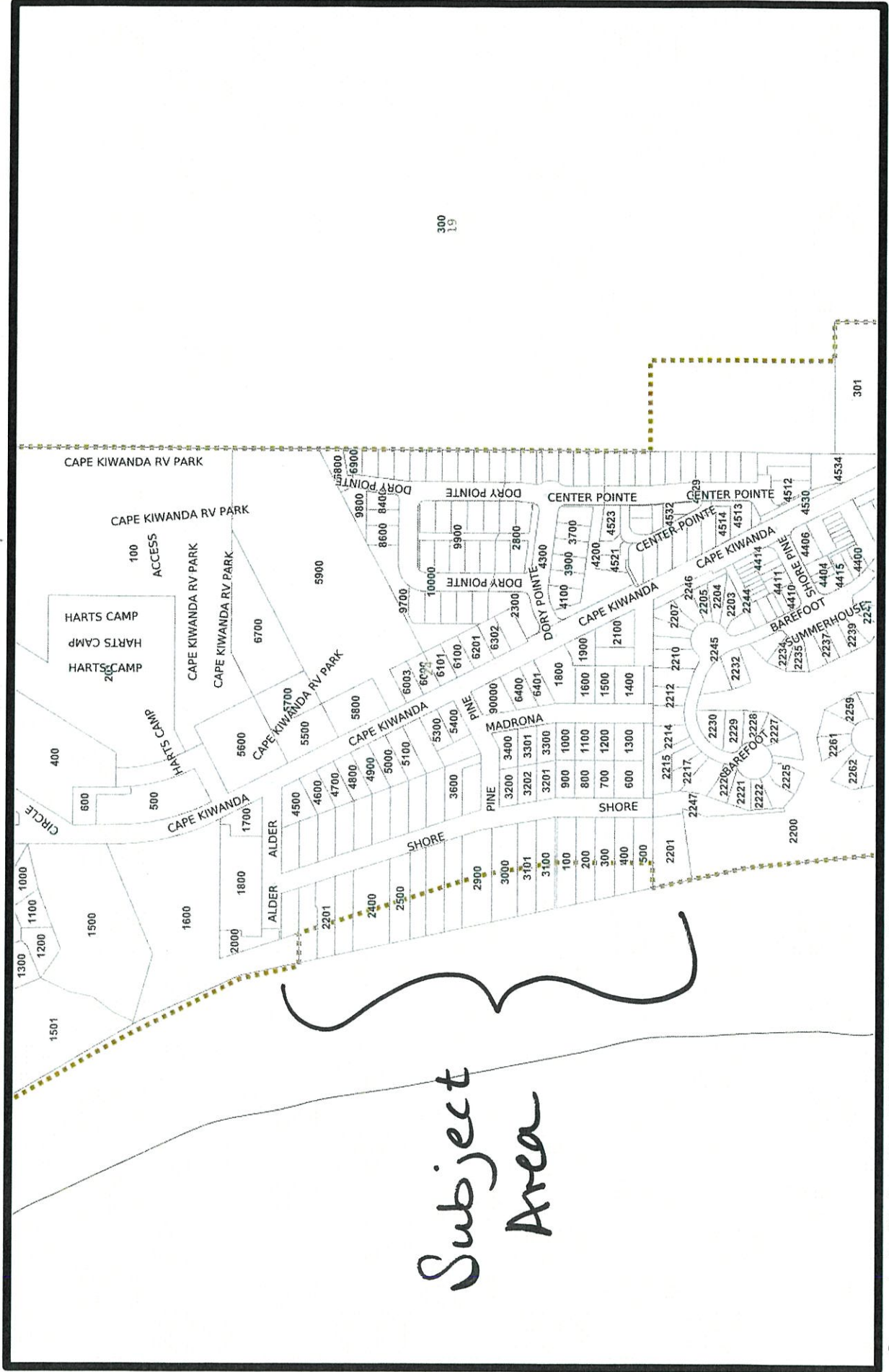


**SUBJECT
LOCATION**



**#851-26-000089-PLNG:
FORDUNE GRADING PERMIT
SHORE DRIVE OCEANFRONT PROPERTIES**

Map



THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSE ONLY

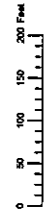
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TILLAMOOK COUNTY

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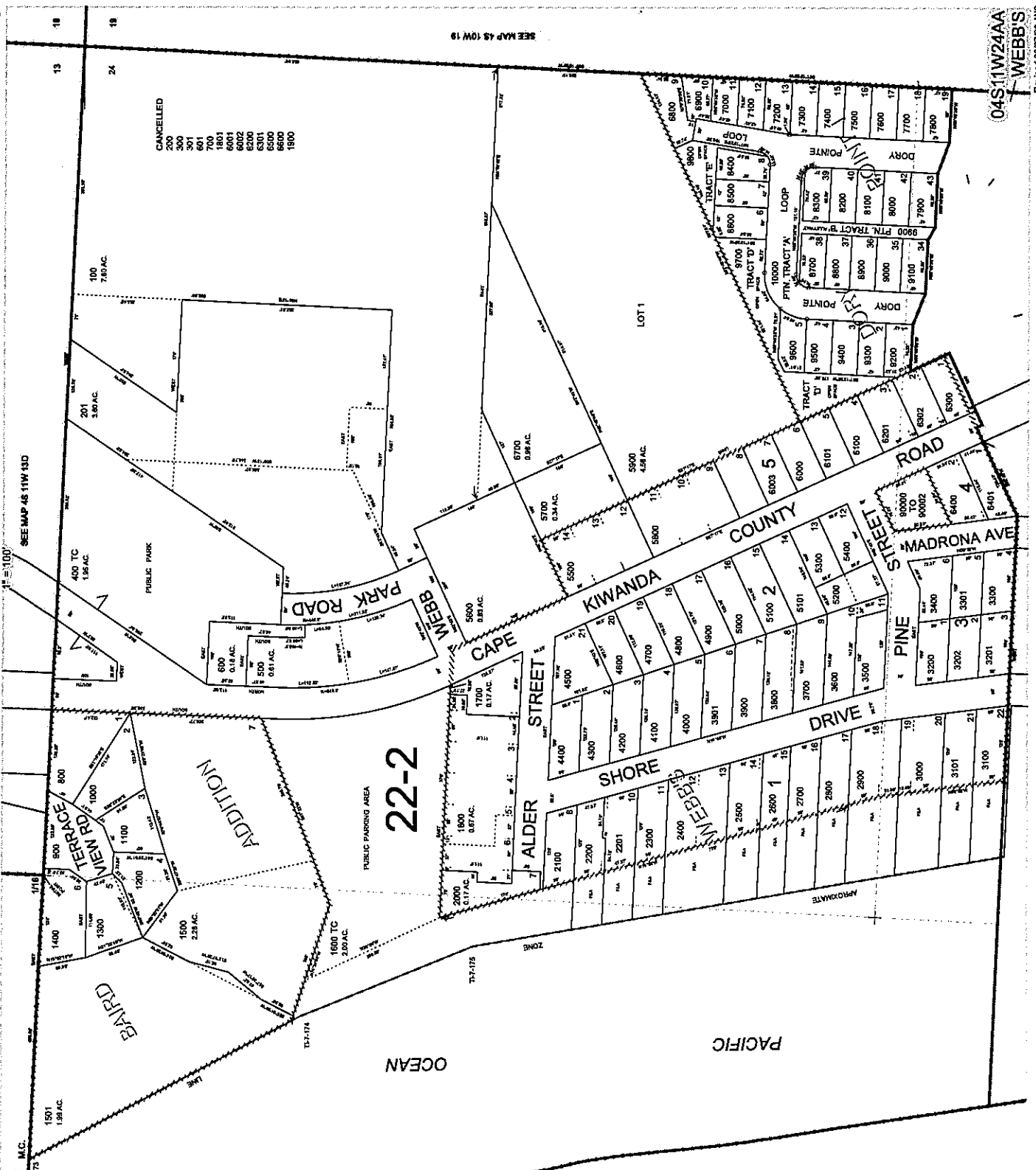
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SEE MAP 48 11W 13D

SEE MAP 48 10W 19

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22-2

PACIFIC

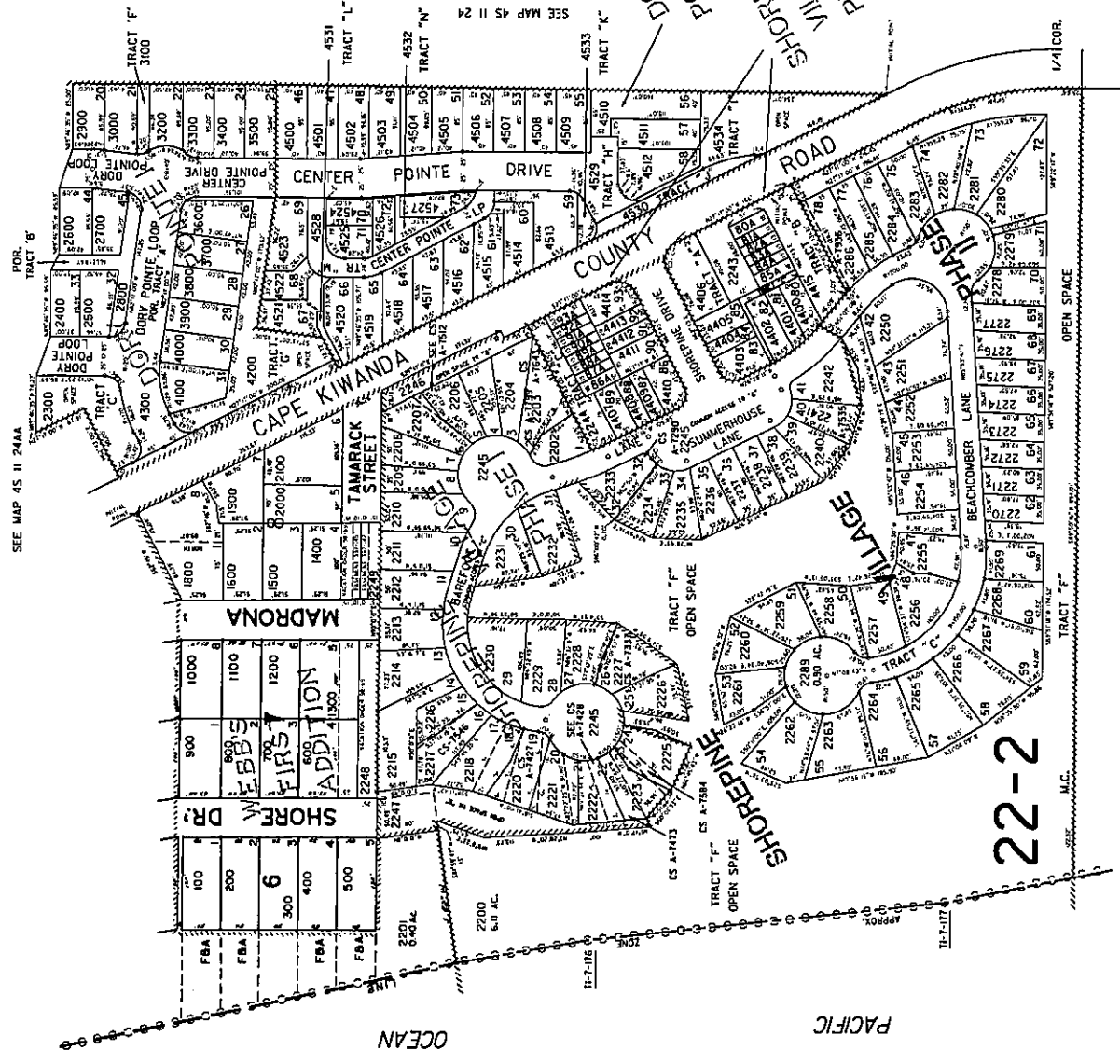
OCEAN

THIS MAP WAS PREPARED FOR
ASSESSMENT PURPOSE ONLY

SE1/4 NE1/4 SEC.24 T.4S. R.11W. W.M.
TILLAMOOK COUNTY

4S II 24AD
WEBB'S

CANCELLED NO.
1700
1701
2219
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2288



4S II 24AD
WEBB'S
Revised 08/18/10, MS

SEE MAP 45 II 240A

22-2

SHORELINE VILLAGE PHASE I
1. SHORELINE VILLAGE PHASE I
2. SHORELINE VILLAGE PHASE I
3. SHORELINE VILLAGE PHASE I
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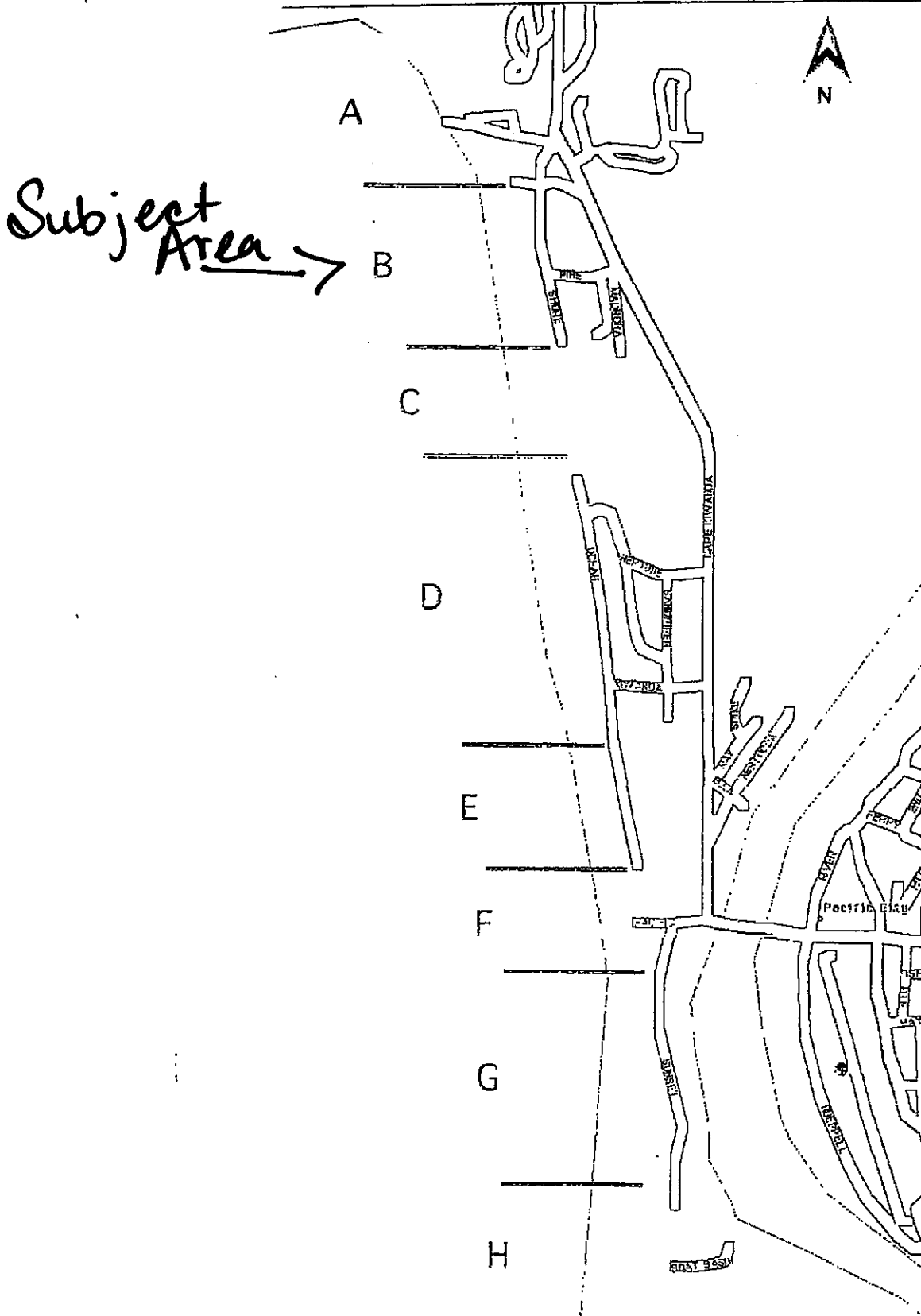
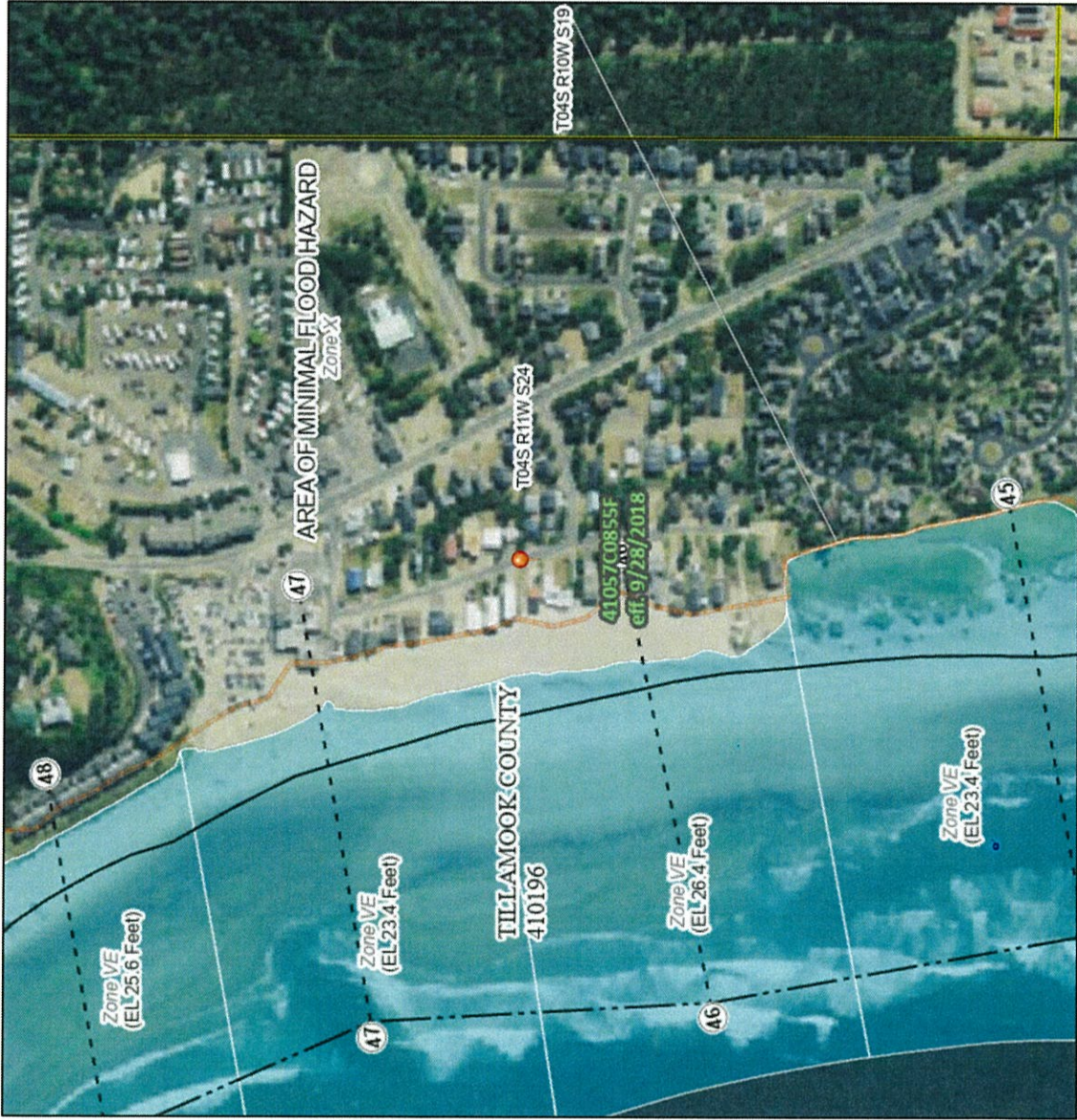


Figure 2. Pacific City Foredune Management Units (see also Appendix A).

National Flood Hazard Layer FIRMette



123°58'30"W 45°13'11"N



0 250 500 1,000 1,500 2,000 Feet 1:6,000

Basemap Imagery Source: USGS National Map 2023

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE) Zone A, V, A99
- With BFE or Depth Zone AE, AO, AH, VE, AR
- Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD

- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levee, See Notes, Zone X
- Area with Flood Risk due to Levee Zone D

OTHER AREAS

- Area of Minimal Flood Hazard Zone X
- Effective LOMRS
- Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

OTHER FEATURES

- Cross Sections with 1% Annual Chance Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

MAP PANELS

- Digital Data Available
- No Digital Data Available
- Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards. The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 5/10/2026 at 4:08 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time. This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

EXHIBIT B

FOREDUNE GRADING PERMIT APPLICATION

TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT
(Please remit fees with the completed application)

Date Received: _____

Receipt #: _____

PROPERTY OWNER: The Station at Village Center LLC PHONE: 405.202.4477

ADDRESS: _ PO Box 2422 _ CITY: _ Edmond STATE: OK ZIP: 73083

1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.

Township 4S ___ Range 11 W ___ Section 24AA ___ Tax Lot 2100 ___

2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR:

33260 Shore Drive, Pacific City, OR 97135

3. FOREDUNE MANAGEMENT SUBAREA PLAN: _ Unit B

4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:

- a. Description of the proposed work, including location and timing of activities, and equipment to be used;
- b. Plan view and elevations of existing conditions in the grading area;
- c. Plan view and elevations of proposed modifications in the grading area; and
- d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.

(See attached Foredune Grading Permit Application – Section 4 narrative)

I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.

I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.


Deb Maxwell (Feb 5, 2026 12:59:26 CST)

Signature of Property Owner

Feb 5, 2026

Date Signed tworockies@gmail.com

This permit is Valid Only with Tillamook County Approval Stamp Below

FOREDUNE GRADING PERMIT APPLICATION

TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT
(Please remit fees with the completed application)

Date Received: _____

Receipt #: _____

PROPERTY OWNER: Burrus, David & Elise PHONE: 541.280.4835

ADDRESS: 61421 Meeks Trail CITY: Bend STATE: OR ZIP: 97702

1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.

Township 4S Range 11 W Section 24AA Tax Lot 2200

2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR:

33270 Shore Drive, Pacific City, OR 97135

3. FOREDUNE MANAGEMENT SUBAREA PLAN: Unit B


4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:

- a. Description of the proposed work, including location and timing of activities, and equipment to be used;
- b. Plan view and elevations of existing conditions in the grading area;
- c. Plan view and elevations of proposed modifications in the grading area; and
- d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.

(See attached Foredune Grading Permit Application – Section 4 narrative)

I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.

I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.


David Burrus (Feb 5, 2026 08:42:12 PST)

Signature of Property Owner

Feb 5, 2026

Date Signed

davidburrusdds@gmail.com

This permit is Valid Only with Tillamook County Approval Stamp Below

FOREDUNE GRADING PERMIT APPLICATION

TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT
(Please remit fees with the completed application)

Date Received: _____

Receipt #: _____

PROPERTY OWNER: HGM2, LLC PHONE: 520.331.4444

ADDRESS: 1824 Palmcroft Dr NW CITY: Phoenix STATE: AZ ZIP: 85007

1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.

Township 4S Range 11 W Section 24AA Tax Lot 2201

2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR:

33280 Shore Drive, Pacific City, OR 97135

3. FOREDUNE MANAGEMENT SUBAREA PLAN: Unit B

4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:

- a. Description of the proposed work, including location and timing of activities, and equipment to be used;
- b. Plan view and elevations of existing conditions in the grading area;
- c. Plan view and elevations of proposed modifications in the grading area; and
- d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.

(See attached Foredune Grading Permit Application – Section 4 narrative)

I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.

I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.


Brad Vynalek (Feb 5, 2026 16:58:13 MST)

Signature of Property Owner

Feb 5, 2026

Date Signed

brad.vynalek@quarles.com

This permit is Valid Only with Tillamook County Approval Stamp Below

FOREDUNE GRADING PERMIT APPLICATION

TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT
(Please remit fees with the completed application)

Date Received: _____

Receipt #: _____

PROPERTY OWNER: Auth, Joseph T Trustee & Spahn, Amanda M Trustee PHONE: 503.709.1659

ADDRESS: 355 NW 334th Ave CITY: Hillsboro STATE: OR ZIP: 97124

1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.

Township 4S Range 11 W Section 24AA Tax Lot 2300

2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR:

33310 Shore Drive, Pacific City, OR 97135

3. FOREDUNE MANAGEMENT SUBAREA PLAN: Unit B

4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:

- a. Description of the proposed work, including location and timing of activities, and equipment to be used;
- b. Plan view and elevations of existing conditions in the grading area;
- c. Plan view and elevations of proposed modifications in the grading area; and
- d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.

(See attached Foredune Grading Permit Application – Section 4 narrative)

I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.

I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.

Amanda Spahn

Amanda Spahn (Feb 5, 2026 09:50:16 PST)

Signature of Property Owner

Feb 5, 2026

Date Signed

r_spahn@msn.com

This permit is Valid Only with Tillamook County Approval Stamp Below

FOREDUNE GRADING PERMIT APPLICATION

TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT
(Please remit fees with the completed application)

Date Received: _____

Receipt #: _____

PROPERTY OWNER: O'Day, Francis B Trustee & O'Day, Susan A Trustee PHONE: 503.784.2875

ADDRESS: 6411 SW Dolph Dr CITY: Portland STATE: OR ZIP: 97219

1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.

Township 4S Range 11 W Section 24AA Tax Lot 2400

2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR:

33340 Shore Drive, Pacific City, OR 97135

3. FOREDUNE MANAGEMENT SUBAREA PLAN: Unit B

4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:

- a. Description of the proposed work, including location and timing of activities, and equipment to be used;
- b. Plan view and elevations of existing conditions in the grading area;
- c. Plan view and elevations of proposed modifications in the grading area; and
- d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.

(See attached Foredune Grading Permit Application – Section 4 narrative)

I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.

I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.

francis O'Day TRUSTEE
francis O'Day TRUSTEE (Feb 5, 2026 17:02:02 PST)

Signature of Property Owner

Feb 5, 2026

Date Signed

brianoday@eprint.us

This permit is Valid Only with Tillamook County Approval Stamp Below

FOREDUNE GRADING PERMIT APPLICATION

TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT
(Please remit fees with the completed application)

Date Received: _____

Receipt #: _____

PROPERTY OWNER: Lusardi, Pamela J & Robert A PHONE: 503.319.2370

ADDRESS: 5605 Ibox St NE CITY: Salem STATE: OR ZIP: 97305

1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.

Township 4S Range 11 W Section 24AA Tax Lot 2500

2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR:

33360 Shore Drive, Pacific City, OR 97135

3. FOREDUNE MANAGEMENT SUBAREA PLAN: Unit B

4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:

- a. Description of the proposed work, including location and timing of activities, and equipment to be used;
- b. Plan view and elevations of existing conditions in the grading area;
- c. Plan view and elevations of proposed modifications in the grading area; and
- d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.

(See attached Foredune Grading Permit Application – Section 4 narrative)

I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.

I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.


Robert Lusardi (Feb 6, 2026 00:41:25 PST)

Signature of Property Owner

Feb 6, 2026

Date Signed

airportrob@gmail.com

This permit is Valid Only with Tillamook County Approval Stamp Below

FOREDUNE GRADING PERMIT APPLICATION

TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT
(Please remit fees with the completed application)

Date Received: _____

Receipt #: _____

PROPERTY OWNER: Slagle, Margaret A Trustee PHONE: 503.901.6096

ADDRESS: PO Box 187 CITY: Pacific City STATE: OR ZIP: 97135

1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.

Township 4S Range 11 W Section 24AA Tax Lot 2600

2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR:

33380 Shore Drive, Pacific City, OR 97135

3. FOREDUNE MANAGEMENT SUBAREA PLAN: Unit B

4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:

- a. Description of the proposed work, including location and timing of activities, and equipment to be used;
- b. Plan view and elevations of existing conditions in the grading area;
- c. Plan view and elevations of proposed modifications in the grading area; and
- d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.

(See attached Foredune Grading Permit Application – Section 4 narrative)

I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.

I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.

Margaret Slagle
Margaret Slagle (Feb 5, 2026 14:21:15 PST)

Signature of Property Owner

Feb 5, 2026

Date Signed

pduck323@gmail.com

This permit is Valid Only with Tillamook County Approval Stamp Below

FOREDUNE GRADING PERMIT APPLICATION

TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT
(Please remit fees with the completed application)

Date Received: _____

Receipt #: _____

PROPERTY OWNER: Cape Kiwanda Beachfront LLC PHONE: _____

ADDRESS: PO Box 478 CITY: Pacific City STATE: OR ZIP: 97135

1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.

Township 4S Range 11 W Section 24AA Tax Lot 2700

2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR:

33400 Shore Drive, Pacific City, OR 97135

3. FOREDUNE MANAGEMENT SUBAREA PLAN: Unit B


4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:

- a. Description of the proposed work, including location and timing of activities, and equipment to be used;
- b. Plan view and elevations of existing conditions in the grading area;
- c. Plan view and elevations of proposed modifications in the grading area; and
- d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.

(See attached Foredune Grading Permit Application – Section 4 narrative)

I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.

I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.



Linda Johnson (Feb 5, 2026 13:49:50 PST)
Signature of Property Owner

Feb 5, 2026

Date Signed

linjohnson10@gmail.com

This permit is Valid Only with Tillamook County Approval Stamp Below

FOREDUNE GRADING PERMIT APPLICATION

TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT
(Please remit fees with the completed application)

Date Received: _____

Receipt #: _____

PROPERTY OWNER Hansen, Shannon Trustee & Delaney, Patrice A Trustee PHONE 541.965.0036

ADDRESS: PO Box 343 CITY: Kent STATE: OR ZIP: 97033

1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.

Township 4S Range 11 W Section 24AA Tax Lot 2800

2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR:

33420 Shore Drive, Pacific City, OR 97135

3. FOREDUNE MANAGEMENT SUBAREA PLAN: Unit B


4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:

- a. Description of the proposed work, including location and timing of activities, and equipment to be used;
- b. Plan view and elevations of existing conditions in the grading area;
- c. Plan view and elevations of proposed modifications in the grading area; and
- d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.

(See attached Foredune Grading Permit Application – Section 4 narrative)

I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.

I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.


Shannon Hansen (Feb 5, 2026 16:13:59 MST)

Signature of Property Owner

Feb 5, 2026

Date Signed

shannonhansen36@gmail.com

This permit is Valid Only with Tillamook County Approval Stamp Below

FOREDUNE GRADING PERMIT APPLICATION

TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT
(Please remit fees with the completed application)

Date Received: _____

Receipt #: _____

PROPERTY OWNER Dodds, Robert A Jr Trustee & Dodds, Larina D Trustee PHONE 541.760.0555

ADDRESS: 525 NW Lewisburg Ave CITY: Corvallis STATE: OR ZIP: 97330

1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.

Township 4S Range 11 W Section 24AA Tax Lot 2900

2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR:

33440 Shore Drive, Pacific City, OR 97135

3. FOREDUNE MANAGEMENT SUBAREA PLAN: Unit B

4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:

- a. Description of the proposed work, including location and timing of activities, and equipment to be used;
- b. Plan view and elevations of existing conditions in the grading area;
- c. Plan view and elevations of proposed modifications in the grading area; and
- d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.

(See attached Foredune Grading Permit Application – Section 4 narrative)

I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.

I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.

Larina Dodds

Larina dodds (Feb 5, 2026 08:10:37 PST)

Signature of Property Owner

Feb 5, 2026

Date Signed

loridodds1@comcast.net

This permit is Valid Only with Tillamook County Approval Stamp Below

FOREDUNE GRADING PERMIT APPLICATION

TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT
(Please remit fees with the completed application)

Date Received: _____

Receipt #: _____

PROPERTY OWNER Johnston, Martin J Trustee & Johnston, Therese Marie Trustee

PHONE 541.921.0280

ADDRESS: PO Box 1084 CITY: Pacific City STATE: OR ZIP: 97135

1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.

Township 4S Range 11 W Section 24AA Tax Lot 3000

2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR:

33460 Shore Drive, Pacific City, OR 97135

3. FOREDUNE MANAGEMENT SUBAREA PLAN: Unit B

4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:

- a. Description of the proposed work, including location and timing of activities, and equipment to be used;
- b. Plan view and elevations of existing conditions in the grading area;
- c. Plan view and elevations of proposed modifications in the grading area; and
- d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.

(See attached Foredune Grading Permit Application – Section 4 narrative)

I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.

I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.



Marty Johnston (Feb 5, 2026 09:17:12 PST)

Signature of Property Owner

Feb 5, 2026

Date Signed

martyjohnston55@icloud.com

This permit is Valid Only with Tillamook County Approval Stamp Below

FOREDUNE GRADING PERMIT APPLICATION

TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT
(Please remit fees with the completed application)

Date Received: _____

Receipt #: _____

PROPERTY OWNER: Beckett, Anne Marlene Trustee PHONE: 503.307.5528

ADDRESS: 1394 SE 11th Loop CITY: Canby STATE: OR ZIP: 97013

1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.

Township 4S Range 11 W Section 24AA Tax Lot 3101

2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR:

33480 Shore Drive, Pacific City, OR 97135

3. FOREDUNE MANAGEMENT SUBAREA PLAN: Unit B

4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:

- a. Description of the proposed work, including location and timing of activities, and equipment to be used;
- b. Plan view and elevations of existing conditions in the grading area;
- c. Plan view and elevations of proposed modifications in the grading area; and
- d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.

(See attached Foredune Grading Permit Application – Section 4 narrative)

I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.

I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.

Anne Beckett

Anne Beckett (Feb 5, 2026 10:33:05 PST)

Signature of Property Owner

Feb 5, 2026

Date Signed

fpermenter@gmail.com

This permit is Valid Only with Tillamook County Approval Stamp Below

FOREDUNE GRADING PERMIT APPLICATION

TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT
(Please remit fees with the completed application)

Date Received: _____

Receipt #: _____

PROPERTY OWNER: Buckwheat Properties, LLC PHONE: 503.803.6023

ADDRESS: 48 SW Bancroft St CITY: Portland STATE: OR ZIP: 97239

1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.

Township 4S Range 11 W Section 24AA Tax Lot 3100

2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR:

33500 Shore Drive, Pacific City, OR 97135

3. FOREDUNE MANAGEMENT SUBAREA PLAN: Unit B

4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:

- a. Description of the proposed work, including location and timing of activities, and equipment to be used;
- b. Plan view and elevations of existing conditions in the grading area;
- c. Plan view and elevations of proposed modifications in the grading area; and
- d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.

(See attached Foredune Grading Permit Application – Section 4 narrative)

I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.

I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.

Debi Dereiko

Signature of Property Owner

Feb 6, 2026

Date Signed

ddereiko@comcast.net

This permit is Valid Only with Tillamook County Approval Stamp Below

FOREDUNE GRADING PERMIT APPLICATION

TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT
(Please remit fees with the completed application)

Date Received: _____

Receipt #: _____

PROPERTY OWNER: Brill V Smithereens Family Limited Partnership PHONE: 971.237.2650

ADDRESS: 12821 SW Fox Ridge Rd CITY: McMinnville STATE: OR ZIP: 97128

1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.

Township 4S Range 11 W Section 24AD Tax Lot 0100

2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR:

33520 Shore Drive, Pacific City, OR 97135

3. FOREDUNE MANAGEMENT SUBAREA PLAN: Unit B

4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:

- a. Description of the proposed work, including location and timing of activities, and equipment to be used;
- b. Plan view and elevations of existing conditions in the grading area;
- c. Plan view and elevations of proposed modifications in the grading area; and
- d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.

(See attached Foredune Grading Permit Application – Section 4 narrative)

I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.

I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.

Thad Brill
Thad Brill (Feb 5, 2026 09:06:44 PST)

Signature of Property Owner

Feb 5, 2026

Date Signed

thadbrill@icloud.com

This permit is Valid Only with Tillamook County Approval Stamp Below

FOREDUNE GRADING PERMIT APPLICATION

TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT
(Please remit fees with the completed application)

Date Received: _____

Receipt #: _____

PROPERTY OWNER: Brill V Smithereens Family LP PHONE: 971.237.2650

ADDRESS: 12821 SW Fox Ridge Rd CITY: McMinnville STATE: OR ZIP: 97128

1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.

Township 4S Range 11 W Section 24AD Tax Lot 0200

2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR:

33540 Shore Drive, Pacific City, OR 97135

3. FOREDUNE MANAGEMENT SUBAREA PLAN: Unit B

4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:

- a. Description of the proposed work, including location and timing of activities, and equipment to be used;
- b. Plan view and elevations of existing conditions in the grading area;
- c. Plan view and elevations of proposed modifications in the grading area; and
- d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.

(See attached Foredune Grading Permit Application – Section 4 narrative)

I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.

I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.

Thad Brill
Thad Brill (Feb 5, 2026 09:08:44 PST)

Signature of Property Owner

Feb 5, 2026

Date Signed

thadbrill@icloud.com

This permit is Valid Only with Tillamook County Approval Stamp Below

FOREDUNE GRADING PERMIT APPLICATION

TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT
(Please remit fees with the completed application)

Date Received: _____

Receipt #: _____

PROPERTY OWNER: Kistler, Jasha & Melissa PHONE: 623.910.7065

ADDRESS: 21335 NW Saint Helens Rd CITY: Portland STATE: OR ZIP: 97231

1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.

Township 4S Range 11 W Section 24AD Tax Lot 0300

2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR:

33560 Shore Drive, Pacific City, OR 97135

3. FOREDUNE MANAGEMENT SUBAREA PLAN: Unit B

4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:

- a. Description of the proposed work, including location and timing of activities, and equipment to be used;
- b. Plan view and elevations of existing conditions in the grading area;
- c. Plan view and elevations of proposed modifications in the grading area; and
- d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.

(See attached Foredune Grading Permit Application – Section 4 narrative)

I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.

I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.

Melissa Kistler

Melissa Kistler (Feb 6, 2025 12:44:41 PST)

Signature of Property Owner

Feb 6, 2026

Date Signed

nwre23@yahoo.com

This permit is Valid Only with Tillamook County Approval Stamp Below

FOREDUNE GRADING PERMIT APPLICATION

TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT
(Please remit fees with the completed application)

Date Received: _____

Receipt #: _____

PROPERTY OWNER: Thompson, Jacob M & Thomas, Kristen L PHONE: 217.521.5253

ADDRESS: PO Box 219 CITY: Pacific City STATE: OR ZIP: 97135

1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.

Township 4S Range 11 W Section 24AD Tax Lot 0400

2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR:

33590 Shore Drive, Pacific City, OR 97135

3. FOREDUNE MANAGEMENT SUBAREA PLAN: Unit C

4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:

- a. Description of the proposed work, including location and timing of activities, and equipment to be used;
- b. Plan view and elevations of existing conditions in the grading area;
- c. Plan view and elevations of proposed modifications in the grading area; and
- d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.

(See attached ForeDune Grading Permit Application – Section 4 narrative)

I certify that all dune management activities will comply with the Pacific City ForeDune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.

I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.


Jacob Thompson (Feb 5, 2026 07:40:17 PST)

Signature of Property Owner

Feb 5, 2026

Date Signed

jacobmichaelthompson@gmail.com

This permit is Valid Only with Tillamook County Approval Stamp Below

FOREDUNE GRADING PERMIT APPLICATION

TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT
(Please remit fees with the completed application)

Date Received: _____

Receipt #: _____

PROPERTY OWNER: Douglas, Craig & MacKenzie PHONE: 826.204.9101

ADDRESS: PO Box 43 CITY: Cloverdale STATE: OR ZIP: 97112

1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.

Township 4S Range 11 W Section 24AD Tax Lot 0500

2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR:

33600 Shore Drive, Pacific City, OR 97135

3. FOREDUNE MANAGEMENT SUBAREA PLAN: Unit C

4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:

- a. Description of the proposed work, including location and timing of activities, and equipment to be used;
- b. Plan view and elevations of existing conditions in the grading area;
- c. Plan view and elevations of proposed modifications in the grading area; and
- d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.

(See attached Foredune Grading Permit Application – Section 4 narrative)

I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.

I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.

Craig Douglas
Craig Douglas (Feb 5, 2026 13:08:05 PST)

Signature of Property Owner

Feb 5, 2026

Date Signed

craigadouglas@gmail.com

This permit is Valid Only with Tillamook County Approval Stamp Below

FOREDUNE GRADING PERMIT APPLICATION

TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT
(Please remit fees with the completed application)

Date Received: _____

Receipt #: _____

PROPERTY OWNER: Vu, Kelsey May Trustee & Vu, Cuong Manh Trustee PHONE: _____

ADDRESS: 20379 S Sweetbriar Rd CITY: West Linn STATE: OR ZIP: 97068

1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.

Township 4S Range 11 W Section 24AD Tax Lot 2201

2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR:

33650 Shore Drive, Pacific City, OR 97135

3. FOREDUNE MANAGEMENT SUBAREA PLAN: Unit C

4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:

- a. Description of the proposed work, including location and timing of activities, and equipment to be used;
- b. Plan view and elevations of existing conditions in the grading area;
- c. Plan view and elevations of proposed modifications in the grading area; and
- d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.

(See attached Foredune Grading Permit Application – Section 4 narrative)

I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.

I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.

Tuan Nguyen

Tuan Nguyen (Feb 5, 2026 10:12:17 PST)

Signature of Property Owner

Feb 5, 2026

Date Signed

tuan_nguyen126@yahoo.com

This permit is Valid Only with Tillamook County Approval Stamp Below

TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT

Foredune Grading Permit Application – Section 4

a. Description of the proposed work, including location and timing of activities, and equipment to be used;

Foredune grading of the Pacific City Foredune Management Plan (PCFMP) Unit B and the northern portion of Unit C, including the Shore Drive beachfront from Alder Street to the north boundary of the Shore Pine Village subdivision, is proposed to remove excessive sand accumulation, preventing inundation of 19 oceanfront homes and stabilizing the dune.

Re-grading of the foredune for view purposes is permitted under the guidelines, as outlined within the PCFMP. The sand accumulating near the western edge of the existing oceanfront buildings, will be graded and transferred seaward from high areas behind the foredune crest to low areas elsewhere along the crest and foreslope, as recommended in the PCFMP. This grading technique has been working well to mitigate the foredune on the subject properties, and this permit is requesting to continue these practices. None of the surrounding existing dwellings or the public beach will be adversely impacted by the re-grading.

The proposed foredune grading project will restore the dune vegetation per the instructions stated in Units B and C of the PCFMD, including beach grass to promote dune stabilization. The sand-stilling grasses will serve to capture the sand in the foreslope of this foredune area, encouraging outward as opposed to upward growth of the foredune, to minimize the potential for further inundation and maintain ocean views, in addition to maintaining flood/erosion protection potential. Plantings will be designed to mimic natural vegetation patterns, and will be conducted shortly after the sand grading, within the planting window from November to April to ensure plant survival. The attached Dune Stabilization Plan narrative specifies European beach grass (80%) and American dune grass (20%) along the back slope, primary crest, secondary crest, and foreslope. (See attached Pacific City Shore Drive Beach Front Homeowners Dune Stabilization Plan).

The Foredune Grading Plan/Profile has been prepared by S&F Land Services, as well as surveying for the tracts; the existing topography; and the proposed finished grades for the re-graded foredune area. The applicant will comply with federal, state, and local laws and regulations affecting the project, including, but not limited to, Oregon Laws; Oregon Administrative Rules; Oregon Revised Statutes (ORS 390.640); the Oregon Parks and Recreation Department; the Tillamook County Land Use Ordinance (Section 3.530: Beach and Dune Overlay Zone, adopted May 11, 2022); and the Pacific City Foredune Management Plan prepared for the Pacific City Beachfront Homeowners Association July 1998.

Equipment use and planting will occur in the off-season to minimize negative impacts to Pacific City visitors. Equipment to be used includes a CAT 312 excavator and a mini excavator.

b. Plan view and elevations of existing conditions in the grading area;

The existing elevation at the Primary Fore-dune Crest ranges from approximately 30 to 45 feet NAVD88 in elevation. The elevation of the fore-dune toe is approximately 16 feet NAVD88, and the width of the foreslope is around 190 feet. The Base Flood Elevation for the abutting Zone V14 is 8.8.4 feet above mean sea level (NAVD 1988).

(See attached Plans prepared by S&F Land Services)

c. Plan view and elevations of proposed modifications in the grading area;

(See attached Plans prepared by S&F Land Services)

d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.

The project will be completed under the supervision of Bruce Haunreiter, P.E. of Harper Houf Peterson Righellis Inc. (HHPR) and Marty Johnston of the Shore Drive Beachfront Homeowners Association. The mechanical re-grading of the fore-dune area will be accomplished by Mr. Russell Upton, owner of Coastway Construction Co., Inc. The elevation control and staking of the grading limits will be carried out by S&F Land Services. HHPR will also provide a letter of certification upon completion of the re-grading process.

The following are attached as a part of the application:

- *Exhibit A – List of Participating Owners*
- *Exhibit B – Site Photographs*
- *11x17 Plans – Construction Access Plan; Dune Planting Plan; Plan and Cross Sections of Fore-dune Grading prepared by S&F Land Services*

EXHIBIT A

List of participating owners:

Foredune Management Unit B:

Tax Lot 2100 4S-11W-24AA	The Station at Village Center LLC PO Box 2422 Edmond, OK 73083	33260 Shore Drive Pacific City, OR 97135
Tax Lot 2200 4S-11W-24AA	Burrus, David & Elise 61421 Meeks Trail Bend, OR 97702	33270 Shore Drive Pacific City, OR 97135
Tax Lot 2201 4S-11W-24AA	HGM2, LLC 1824 Palmcroft Dr NW Phoenix, AZ 85007	33280 Shore Drive Pacific City, OR 97135
Tax Lot 2300 4S-11W-24AA	Auth, Joseph T Trustee & Spahn, Amanda M Trustee 355 NW 334 th Ave Hillsboro, OR 97124	33310 Shore Drive Pacific City, OR 97135
Tax Lot 2400 4S-11W-24AA	O'Day, Francis B Trustee & O'Day, Susan A Trustee 6411 SW Dolph Dr Portland, OR 97219	33340 Shore Drive Pacific City, OR 97135
Tax Lot 2500 4S-11W-24AA	Lusardi, Pamela J & Robert A 5605 Ibex St NE Salem, OR 97305	33360 Shore Drive Pacific City, OR 97135
Tax Lot 2600 4S-11W-24AA	Slagle, Margaret A Trustee PO Box 187 Pacific City, OR 97135	33380 Shore Drive Pacific City, OR 97135
Tax Lot 2700 4S-11W-24AA	Cape Kiwanda Beachfront LLC PO Box 478 Pacific City, OR 97135	33400 Shore Drive Pacific City, OR 97135
Tax Lot 2800 4S-11W-24AA	Hansen, Shannon Trustee & Delaney, Patrice A Trustee PO Box 343 Kent, OR 97033	33420 Shore Drive Pacific City, OR 97135

Tax Lot 2900 4S-11W-24AA	Dodds, Robert A Jr Trustee & Dodds, Larina D Trustee 525 NW Lewisburg Ave Corvallis, OR 97330	33440 Shore Drive Pacific City, OR 97135
Tax Lot 3000 4S-11W-24AA	Johnston, Martin J Trustee & Johnston, Therese Marie Trustee PO Box 1084 Pacific City, OR 97135	33460 Shore Drive Pacific City, OR 97135
Tax Lot 3101 4S-11W-24AA	Beckett, Anne Marlene Trustee 1394 SE 11 th Loop Canby, OR 97013	33480 Shore Drive Pacific City, OR 97135
Tax Lot 3100 4S-11W-24AA	Buckwheat Properties, LLC 48 SW Bancroft St Portland, OR 97239	33500 Shore Drive Pacific City, OR 97135
Tax Lot 0100 4S-11W-24AD	Brill V Smithereens Family Limited Partnership 12821 SW Fox Ridge Rd McMinnville, OR 97128	33520 Shore Drive Pacific City, OR 97135
Tax Lot 0200 4S-11W-24AD	Brill V Smithereens Family LP 12821 SW Fox Ridge Rd McMinnville, OR 97128	33540 Shore Drive Pacific City, OR 97135
Tax Lot 0300 4S-11W-24AD	Kistler, Jasha & Melissa 21335 NW Saint Helens Rd Portland, OR 97231	33560 Shore Drive Pacific City, OR 97135

Foredune Management Unit C:

Tax Lot 0400 4S-11W-24AD	Thompson, Jacob M & Thomas, Kristen L PO Box 219 Pacific City, OR 97135	33590 Shore Drive Pacific City, OR 97135
Tax Lot 0500 4S-11W-24AD	Douglas, Craig & MacKenzie PO Box 43 Cloverdale, OR 97112	33600 Shore Drive Pacific City, OR 97135
Tax Lot 2201 4S-11W-24AD	Vu, Kelsey May Trustee & Vu, Cuong Manh Trustee 20379 S Sweetbriar Rd West Linn, OR 97068	33650 Shore Drive Pacific City, OR 97135

EXHIBIT B

Site Photographs:

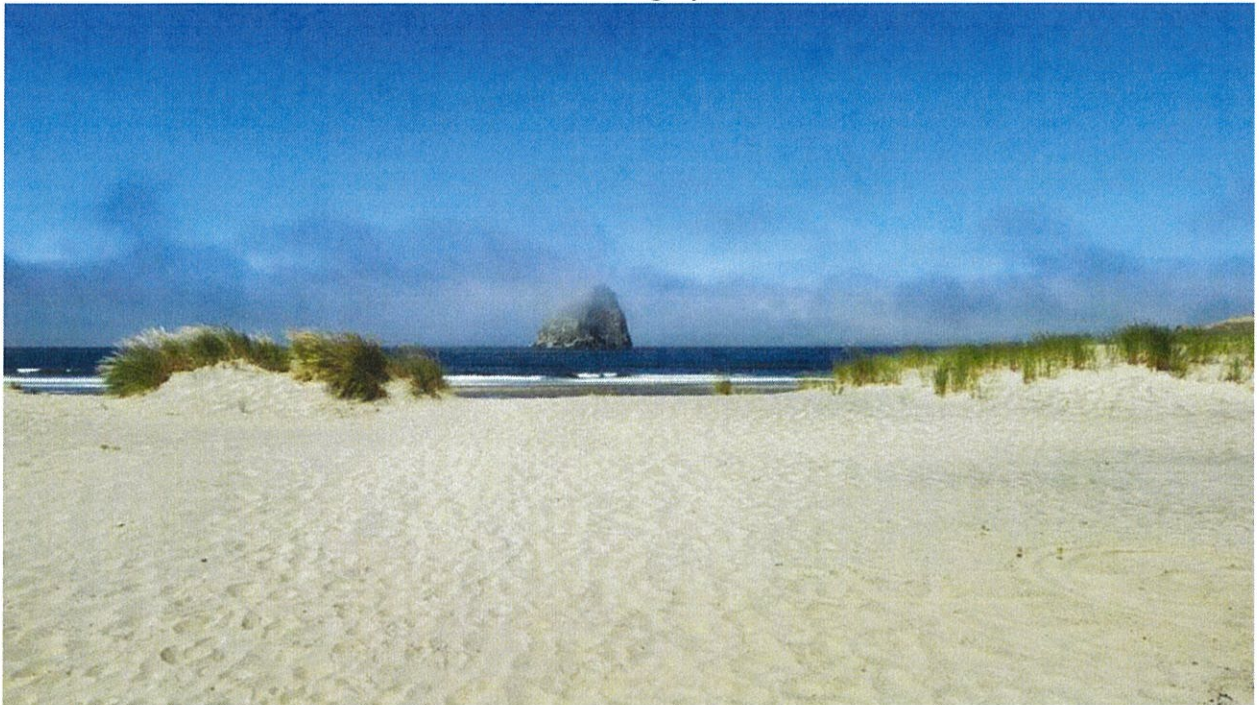


Photo 1 - View of shoreline; photo facing west



Photo 2 - Edge of dune; photo facing south



Photo 3 - Steep slope at edge of dune, facing south



Photo 4 - Steep slope at edge of dune; photo facing north



Photo 5 - Sand inundation of fence and beachfront home



Photo 6 - Sand accumulation in front of home



Photo 7 - Sand accumulation in front of homes; photo facing south



Photo 8 - North edge of project area; photo facing east



Photo 9 - Beachfront homes; photo facing northeast

Job No.: A-02

Date: January 8, 2026

To: Marty Johnston

From: Bruce Haunreiter, PE

Subject: Dune Grading Application Unit B – Pacific City, OR (Unincorporated Tillamook County)



Project Understanding

The property owners fronting the Foredune Unit B within the Pacific City Foredune Management Area have submitted an application for dune grading. Tillamook County and the State will require an as-built of the finished grading as well as monitoring to assure plants are established.

Project Area



Scope of Work

HHPR will prepare as-builts and provide monitoring for 2 years.

1. As -Built Plans
 - a. HHPR Survey crew will setup on-site, establish a coordinate base using GPS and perform an aerial drone survey of the topography. An as-built plan will be prepared with the as-constructed topography and sent to the County/State for review.
2. Monitoring
 - i. HHPR will provide yearly monitoring of the grading to look at plant establishment and any erosion concerns. It is assumed two trips will be required, however additional trips may be performed as needed at a per trip cost.

Assumptions

1. Topo will be performed using aerial drone with an accuracy of 0.1'.
2. Plant reestablishment, if required, will be contracted by the owners.
3. Grading required to correct any erosion concerns will be contracted by the owners.

Fee

For the Scope of Services listed above, Harper Houf Peterson Righellis Inc. proposes to be compensated on a time and material basis per our standard rates with the not-to-exceed amount for the following tasks:

Task 1:	\$ 6,000
Task 2:	\$ 1,000 per visit (2 visits anticipated)

Agreement

Changes to the assumptions or project description that result in significant revisions to our work will be considered additional services. Harper Houf Peterson Righellis Inc. will bill monthly for the work completed in accordance with the attached 2025 Standard Billing Rates. Client and HHPR agree to be bound to the standard terms and conditions observable in "Exhibit A". If this proposal meets with your approval, please sign in the space provided and return a signed copy.












Shore Drive Grading Permit Application

















Final Audit Report

2026-02-06

Created:	2026-02-05
By:	Kirby Maxson (kirbym@hhpr.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAAeDGo6Dxt_6B4qj8c5TsVj86xdYURgnx


"Shore Drive Grading Permit Application" History

-  Document created by Kirby Maxson (kirbym@hhpr.com)
2026-02-05 - 3:28:09 PM GMT
-  Document emailed to tworockies@gmail.com for signature
2026-02-05 - 3:39:20 PM GMT
-  Document emailed to David Burrus (davidburrusdds@gmail.com) for signature
2026-02-05 - 3:39:21 PM GMT
-  Document emailed to brad.vynalek@quarles.com for signature
2026-02-05 - 3:39:21 PM GMT
-  Document emailed to r_spahn@msn.com for signature
2026-02-05 - 3:39:22 PM GMT
-  Document emailed to brianoday@eprint.us for signature
2026-02-05 - 3:39:22 PM GMT
-  Document emailed to Robert Lusardi (airportrob@gmail.com) for signature
2026-02-05 - 3:39:23 PM GMT
-  Document emailed to pcduck323@gmail.com for signature
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-  Document emailed to linjohnson10@gmail.com for signature
2026-02-05 - 3:39:24 PM GMT
-  Document emailed to shannonhansen36@gmail.com for signature
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2026-02-05 - 3:39:26 PM GMT
-  Document emailed to Debi Dereiko (ddereiko@comcast.net) for signature
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-  Document emailed to jacobmichaelthompson@gmail.com for signature
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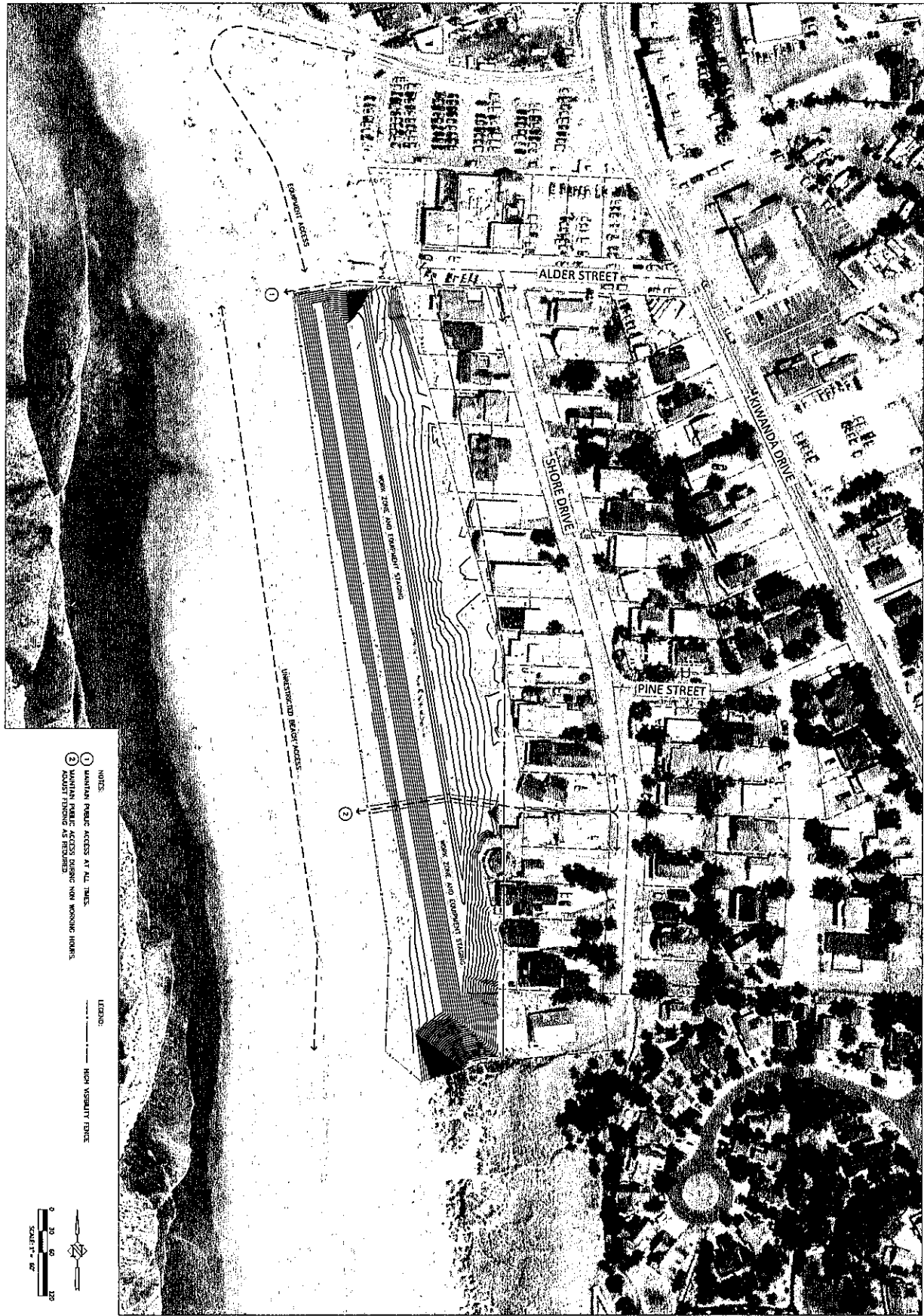
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- NOTES:
- 1 MAINTAIN PUBLIC ACCESS AT ALL TIMES.
 - 2 MAINTAIN PUBLIC ACCESS DURING NON WORKING HOURS. ADULT FENCING AS REQUIRED.

LEGEND:

— HIGH VISIBILITY FENCE

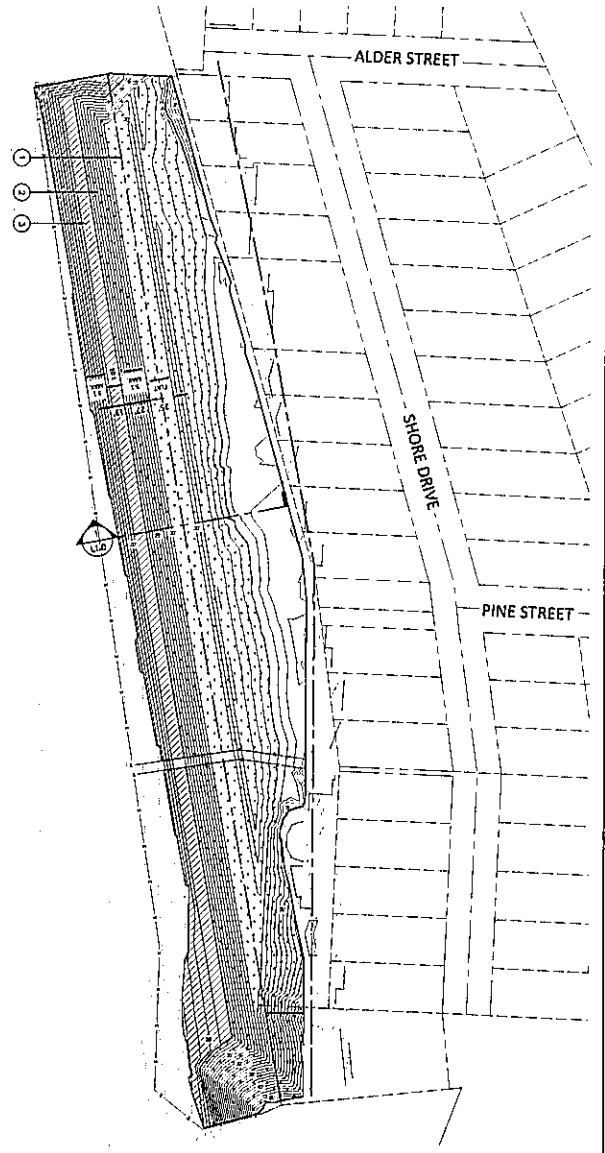


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	DATE	NO.	CHECKED: BMH
MCP-70	REVISIONS		DATE: 10/20/2025

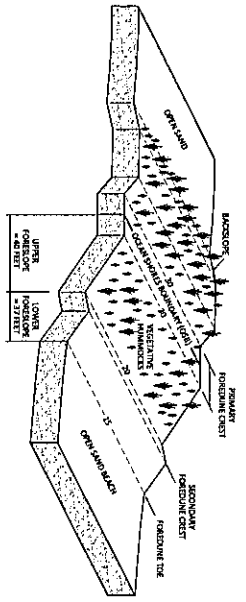
HHP Harper
 Houf Peterson
 Righellis Inc.

ENGINEERS/PLANNERS
 LANDSCAPE ARCHITECTS/DP/AG/OG/RS
 255 SE Seaside Blvd., Suite 200, Portland, OR 97202
 Phone: 503.251.1121 www.hhp.com Inc. 503.251.1171

CONSTRUCTION ACCESS PLAN
SHORE DRIVE FOREDUNE GRADING
 PACIFIC CITY, OREGON



PLANTING PLAN
1"=50'



1. DUNE PLANTING
Scale: 1/4" = 1'-0" (VERT. 1" = 1'-0")

LEGEND

[Symbol]	OPEN SAND
[Symbol]	UPPER FOREDUNE PLANTING
[Symbol]	LOWER FOREDUNE PLANTING
[Symbol]	HIGH VISIBILITY FENCE

PLANTING NOTES:

1. THE SEaward FOREDUNE STRIPS, BETWEEN THE FOREDUNE AND WESTWARD FROM THE SEaward FOREDUNE CREST TO THE SETTING BEACHLINE, WILL BE PLANTED WITH LUPINUS AND PASTURE PRAIRIE GRASS. THE STRIP BETWEEN THE SEaward FOREDUNE CREST AND THE PACIFIC CITY FOREDUNE MAINTENANCE PLAN.
2. THE FOREDUNE STRIPS SHALL BE PLANTED WITH THE EXISTING MIXTURE WITH VARIATION TO A 50% OF APPROXIMATELY 50% FOREDUNE GRASSING PLAN. IN ALL THE STRIPMENTS OVER THE EXISTING MIXTURE TO BE STABILIZED VEGETATION.
3. IF AREA OF PLANTING IS LOCATED IN AN AREA WITHOUT EXISTING VEGETATION, PLANT DUNE GRASS STRIPS AT THE SETTING BEACHLINE AND THE FOREDUNE CREST.
4. AN AREA INCLUDING THE PROPOSED DUNE STRIP AND 1. INSPECT PLANTING IN AREAS THAT HAVE NOT BEEN PLANTED.

CONSTRUCTION NOTES:

1. OCEAN SHORE BOUNDARY (OSB)
2. UPPER FOREDUNE PLANTING
3. LOWER FOREDUNE PLANTING

DUNE PLANTING PLAN
SHORE DRIVE FOREDUNE GRADING
PACIFIC CITY, OREGON

HHP Harper Houf Peterson Righellis Inc.
ENGINEERING PLANNING ARCHITECTURE LANDSCAPE ARCHITECTURE
200 2nd Berkeley Plaza, Suite 200, Portland, OR 97201
Phone: 503.251.1131 www.hhp.com 503.251.1111

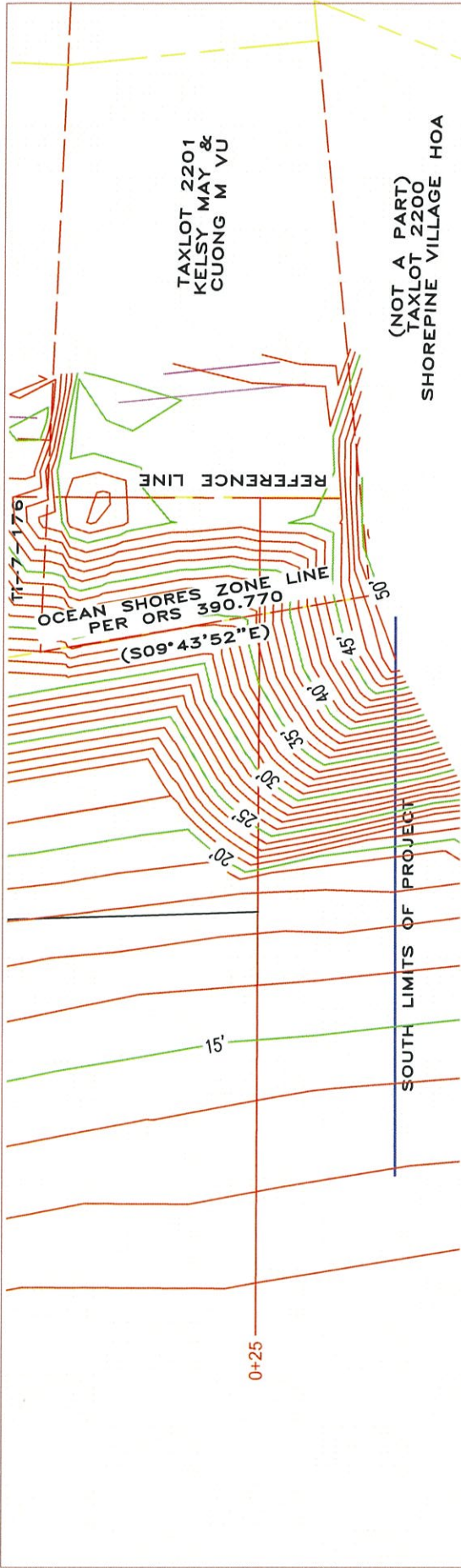
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DRAWN:	DFW
CHECKED:	BAH
DATE:	10/20/2025

REVISIONS

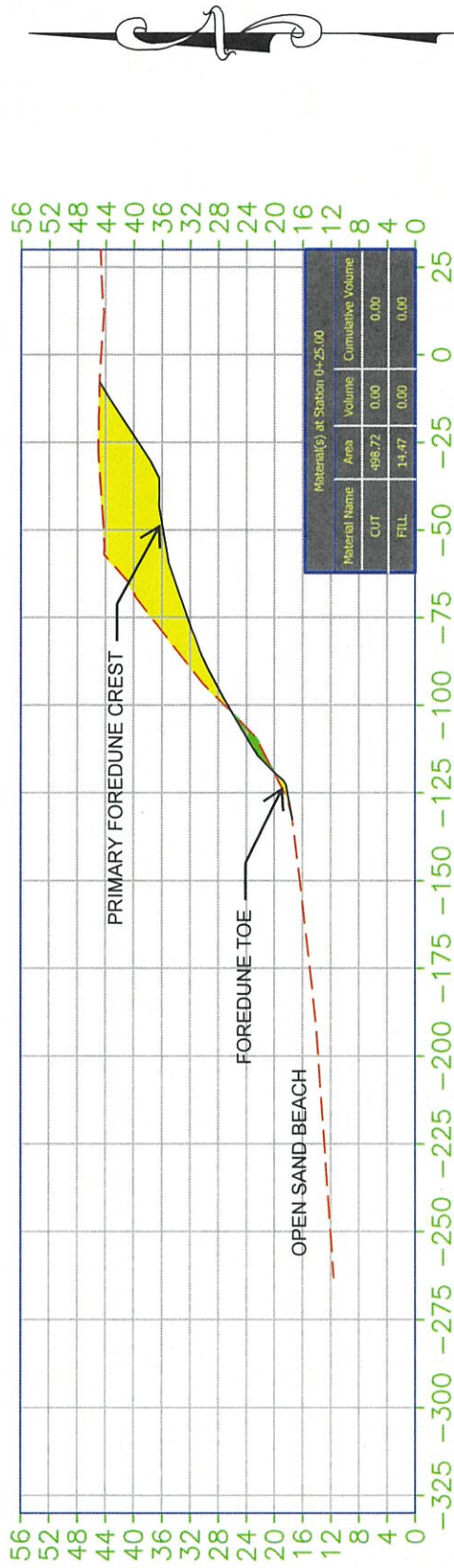
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L1.0

10/20/2025 HCP-70



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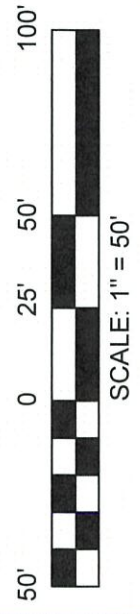


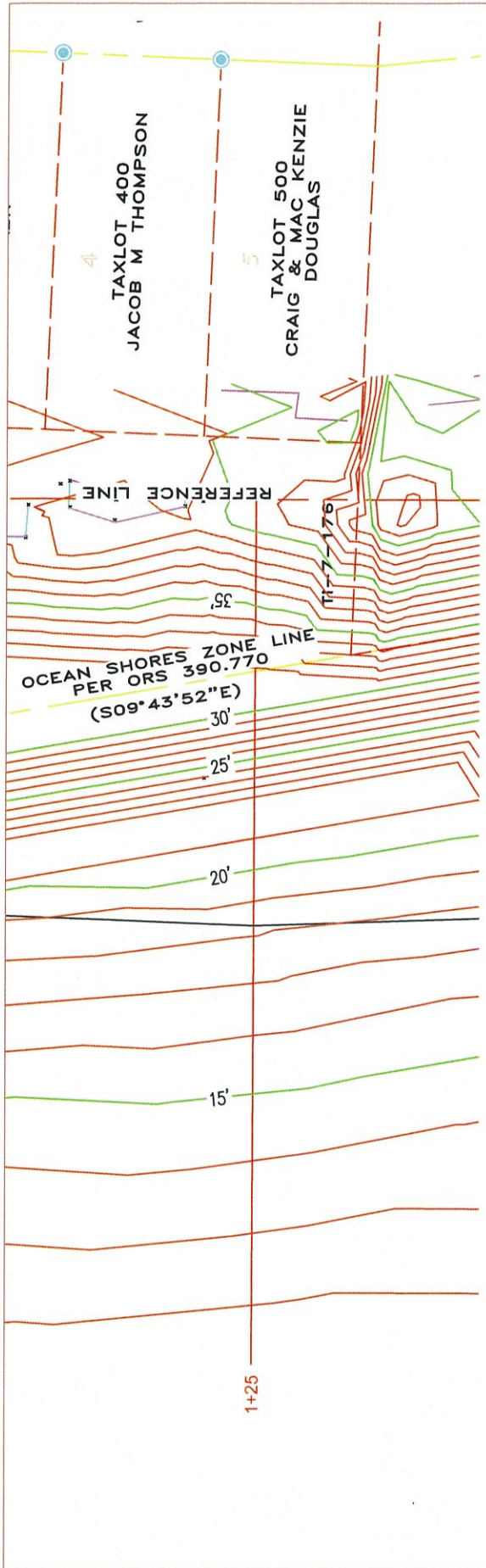
www.sflands.com
info@sflands.com

815 AVENUE F
SEASIDE, OR 97138
(503) 738-3425

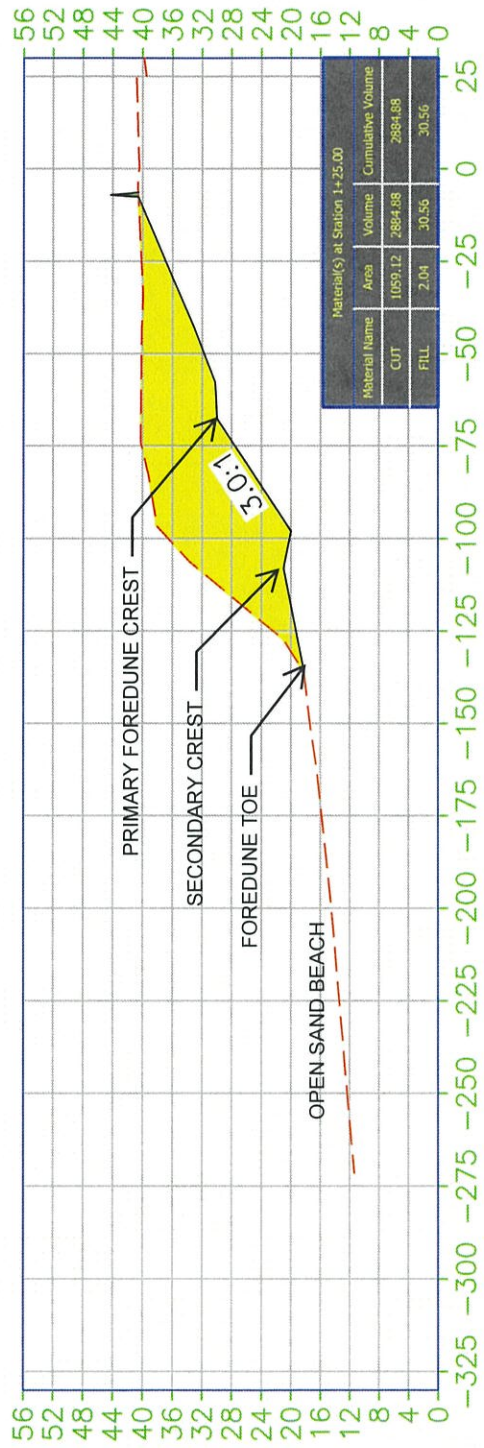
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Proj No: 24-G766-01

DUNE TOPOGRAPHIC SURVEY FOR:
PACIFIC CITY HOMEOWNERS
LOTS 8-22, BLK 1, WEBB'S SUBDIVISION
LOTS 1-4, BLK 6, WEBB'S FIRST ADDITION
& TAXLOT #2201
NE 1/4 SECTION 24, T4S, R11W, W.M.
TILLAMOOK COUNTY



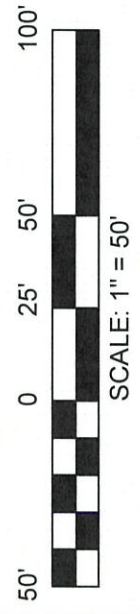


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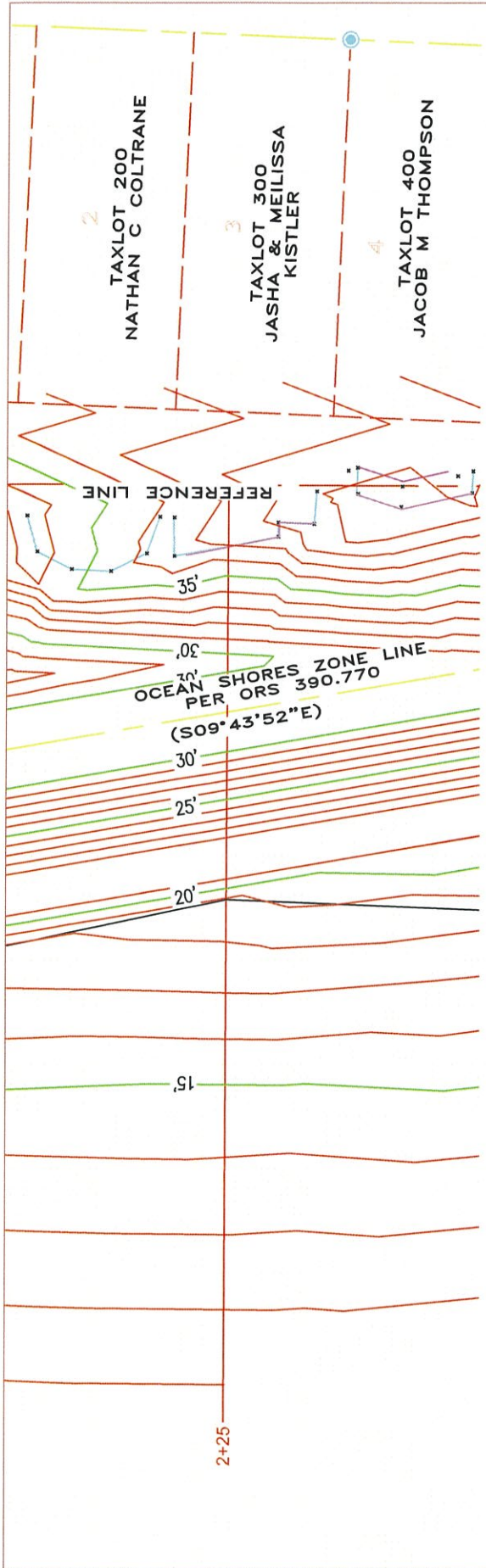


S&F Land Services

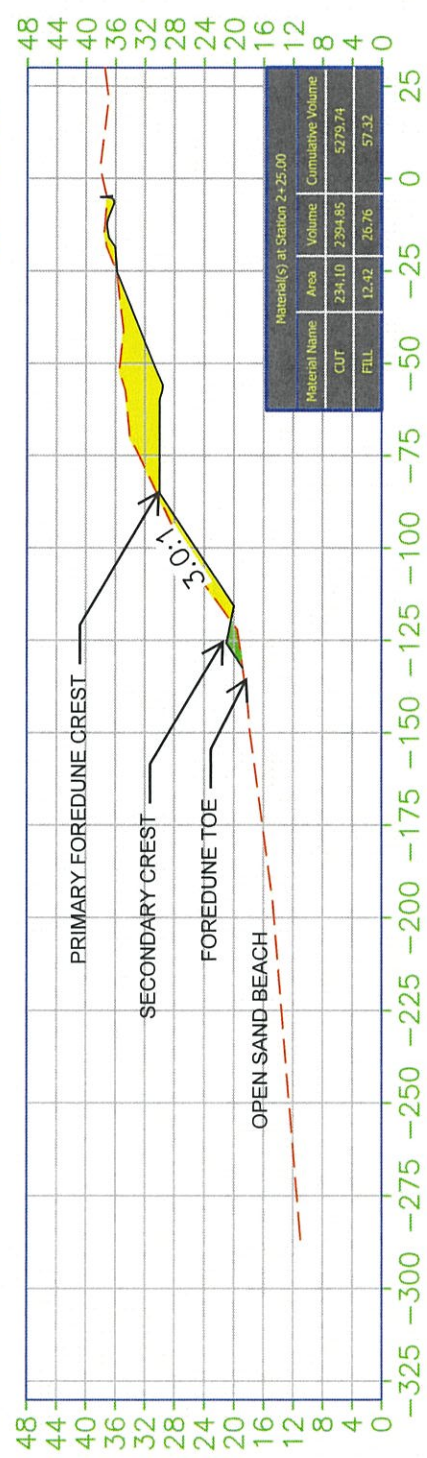
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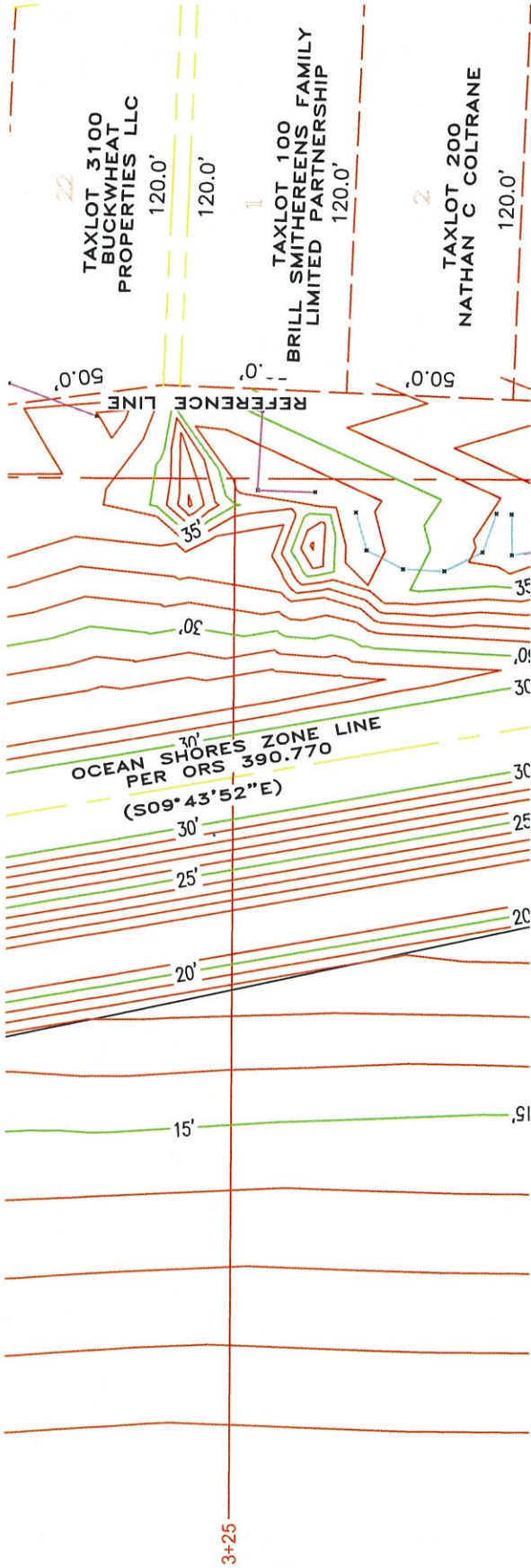
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 TILLAMOOK COUNTY

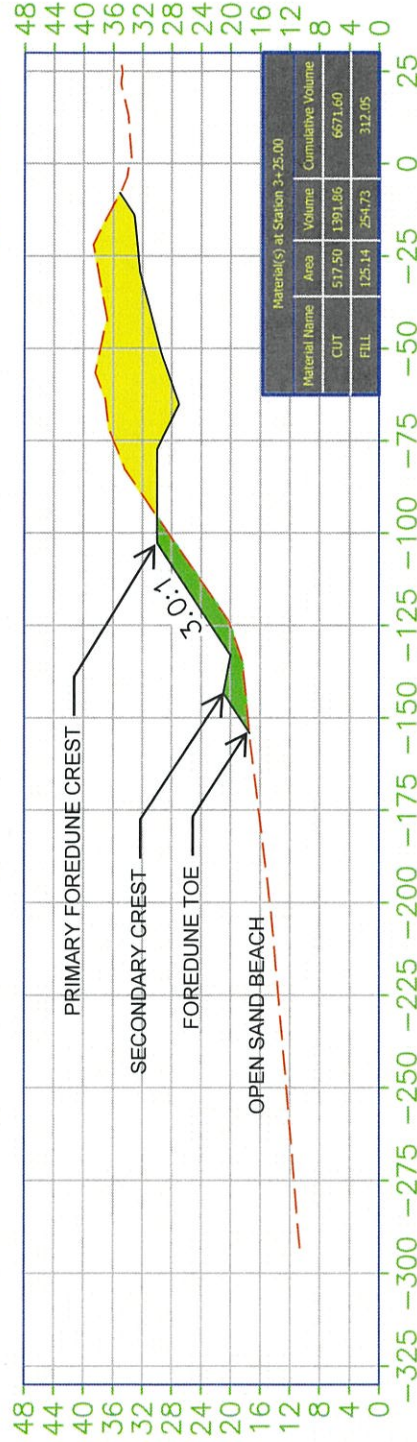


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DUNE TOPOGRAPHIC SURVEY FOR:

PACIFIC CITY
HOMEOWNERS

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LOTS 1-4, BLK 6, WEBB'S FIRST ADDITION
& TAXLOT #2201

NE1/4 SECTION 24, T4S, R11W, W.M.
TILLAMOOK COUNTY



SCALE: 1" = 50'

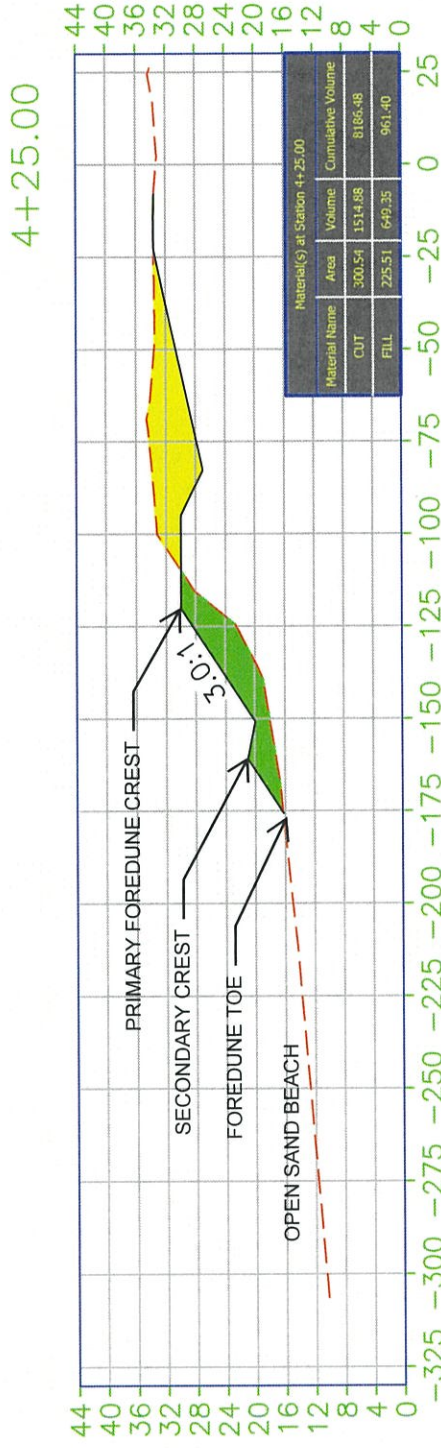
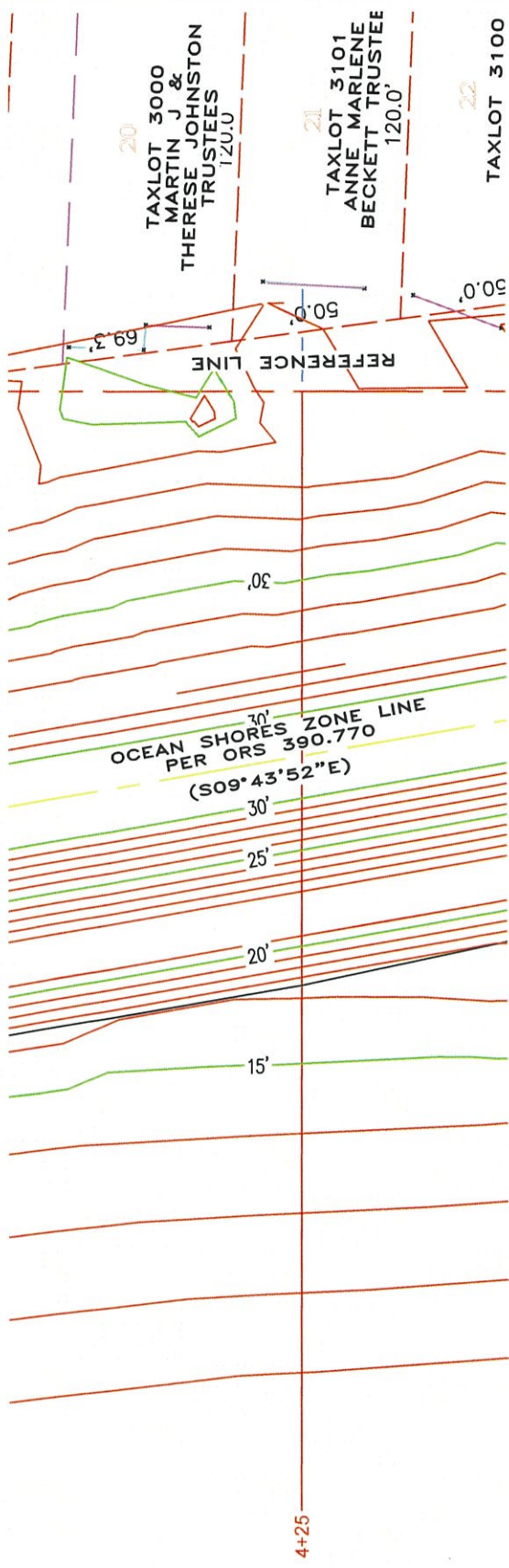
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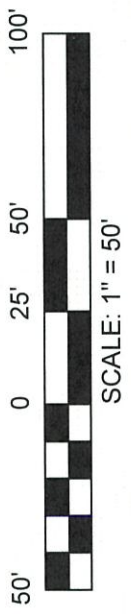


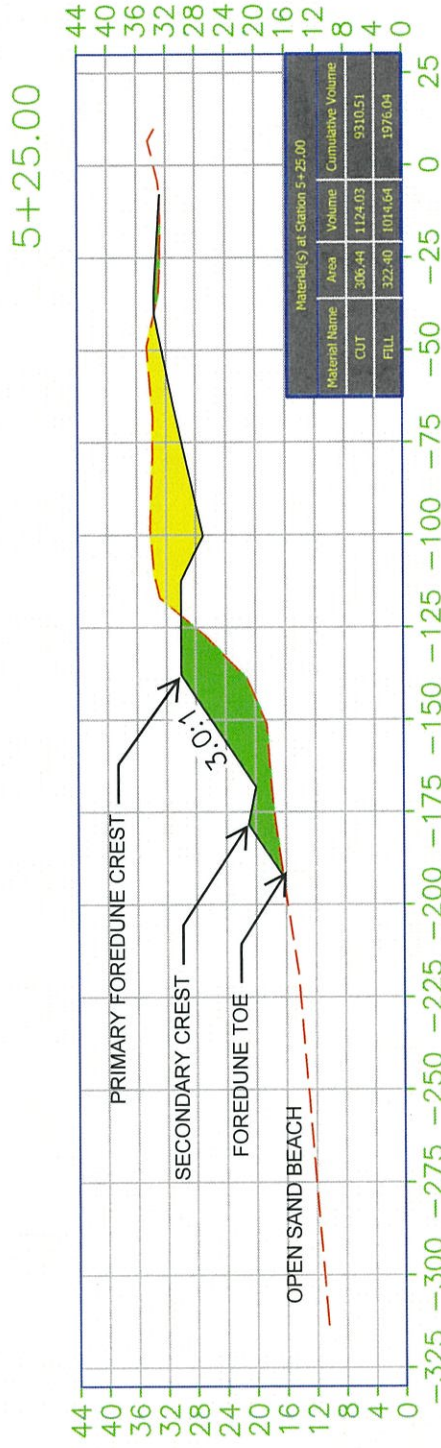
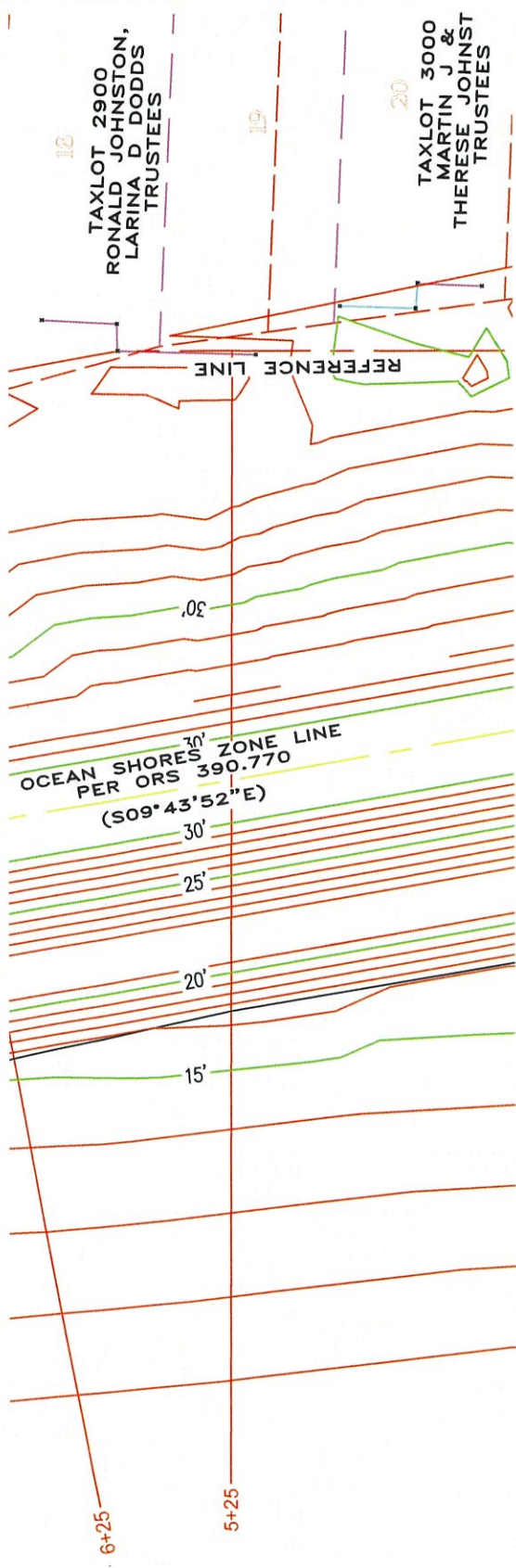
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TILLAMOOK COUNTY





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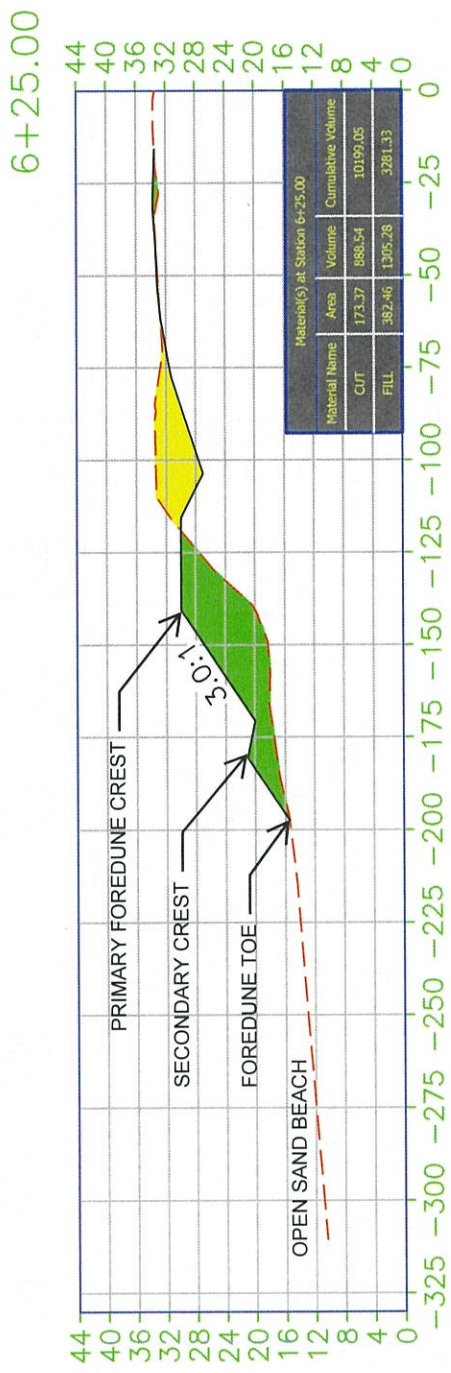
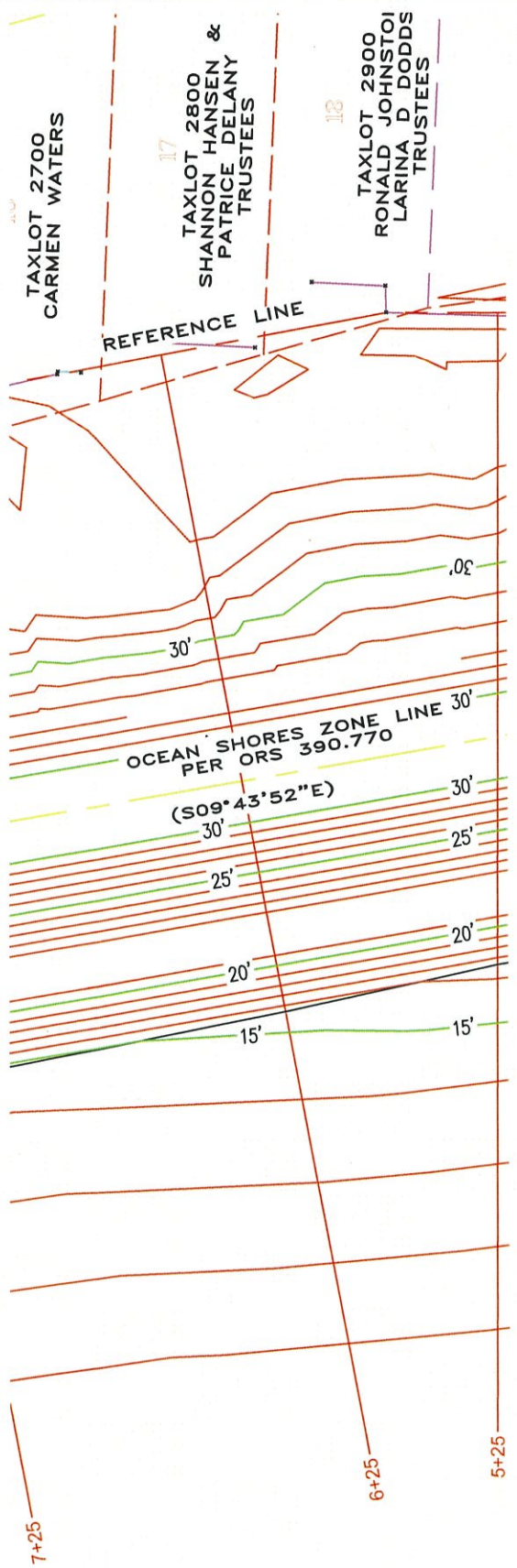
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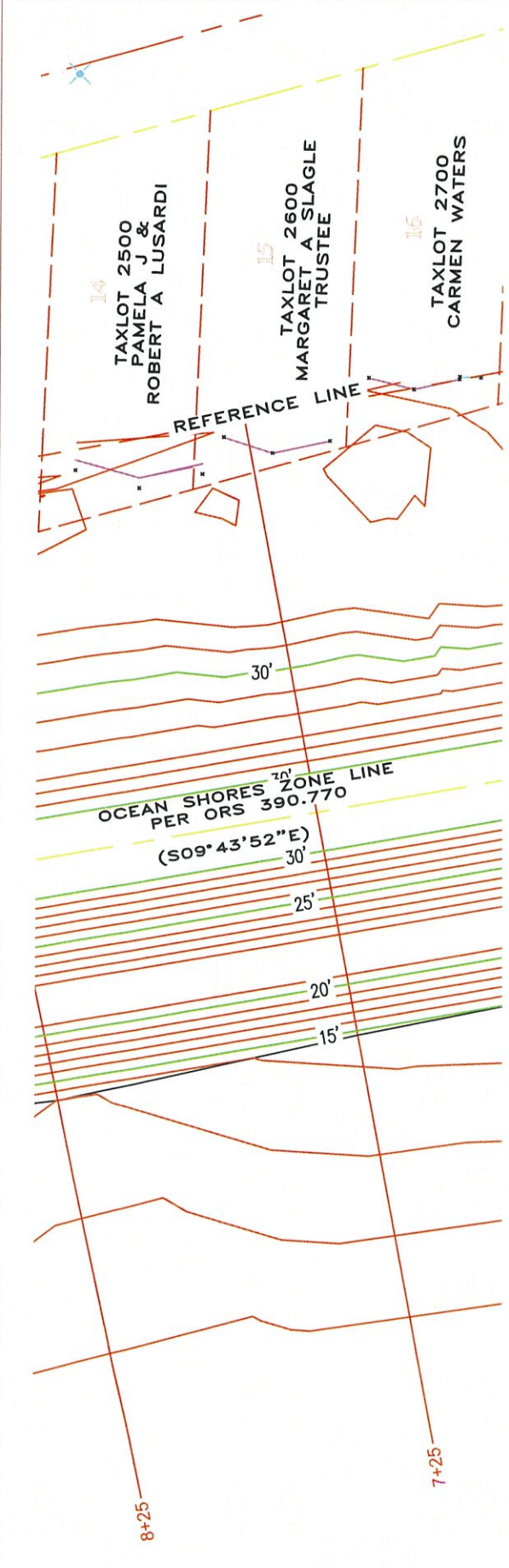


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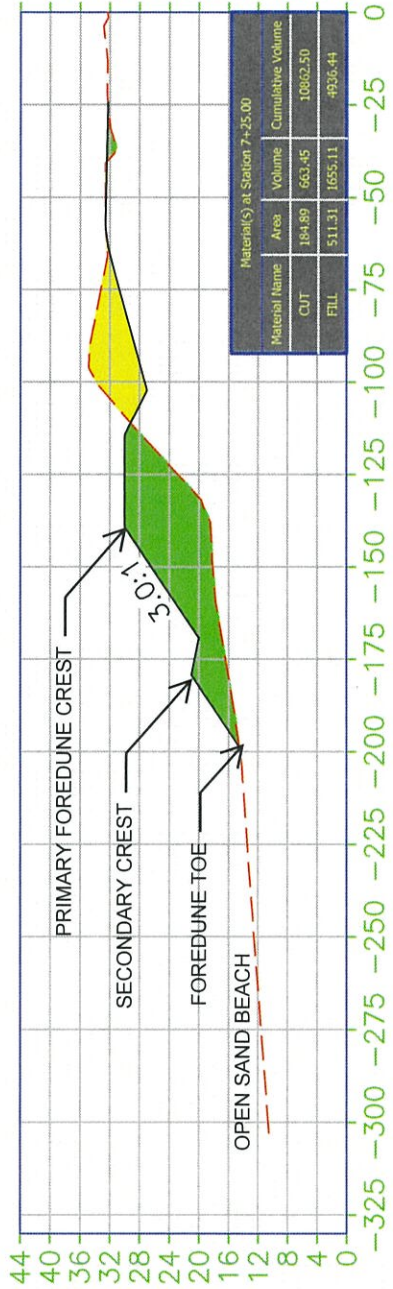
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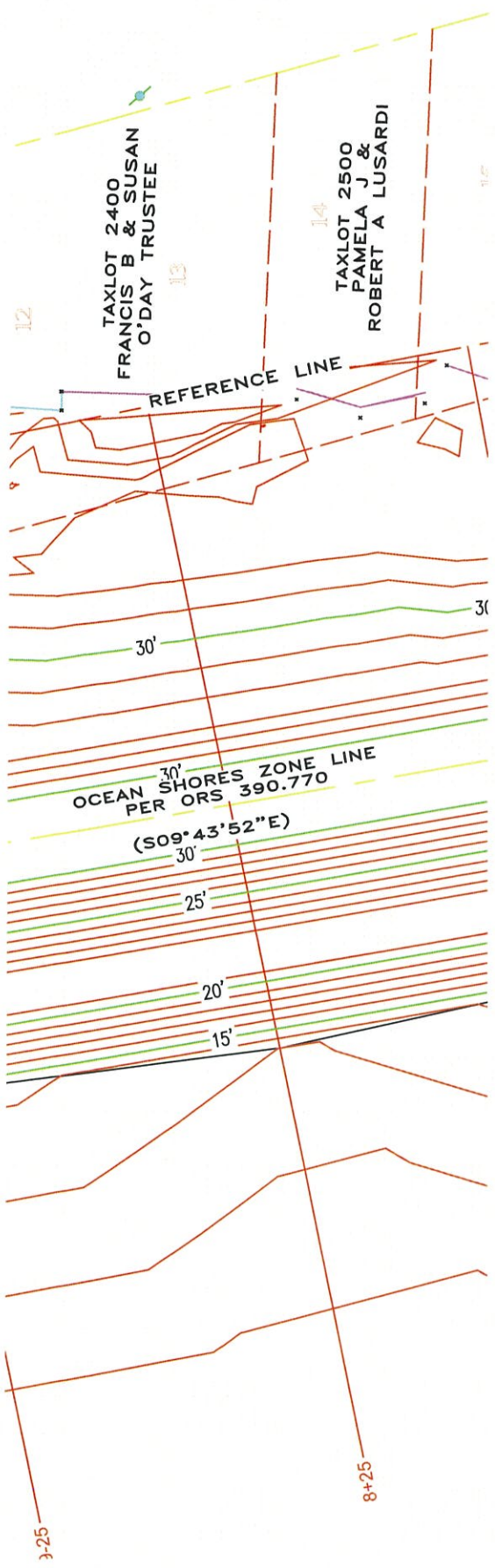


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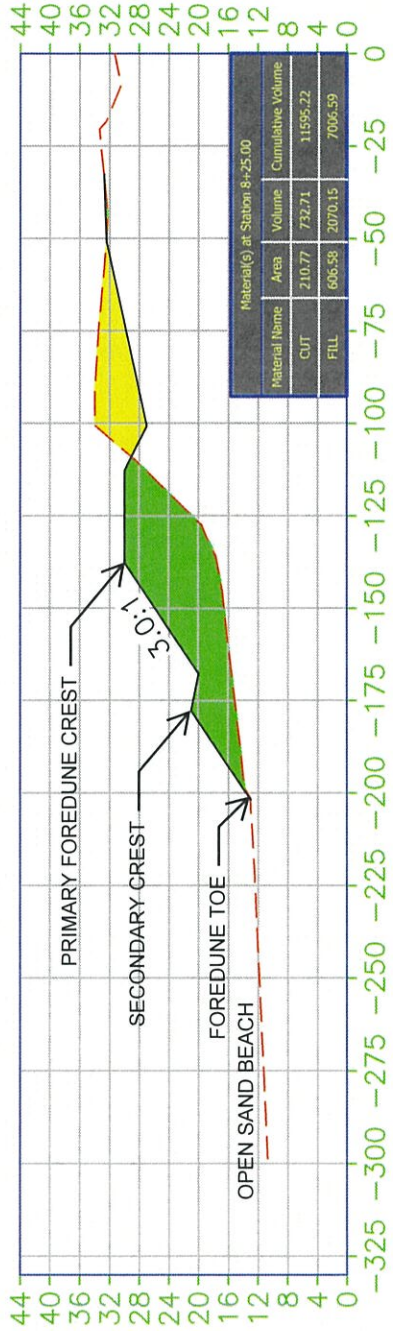
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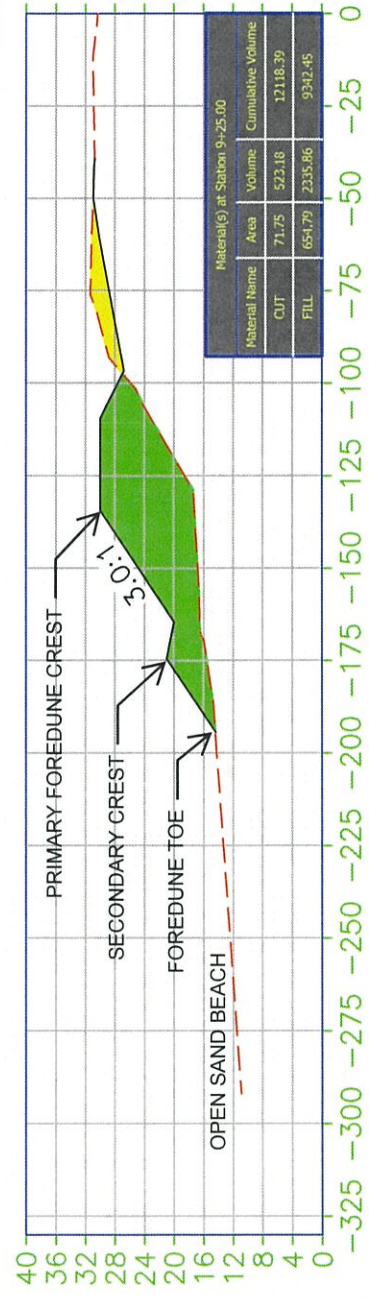
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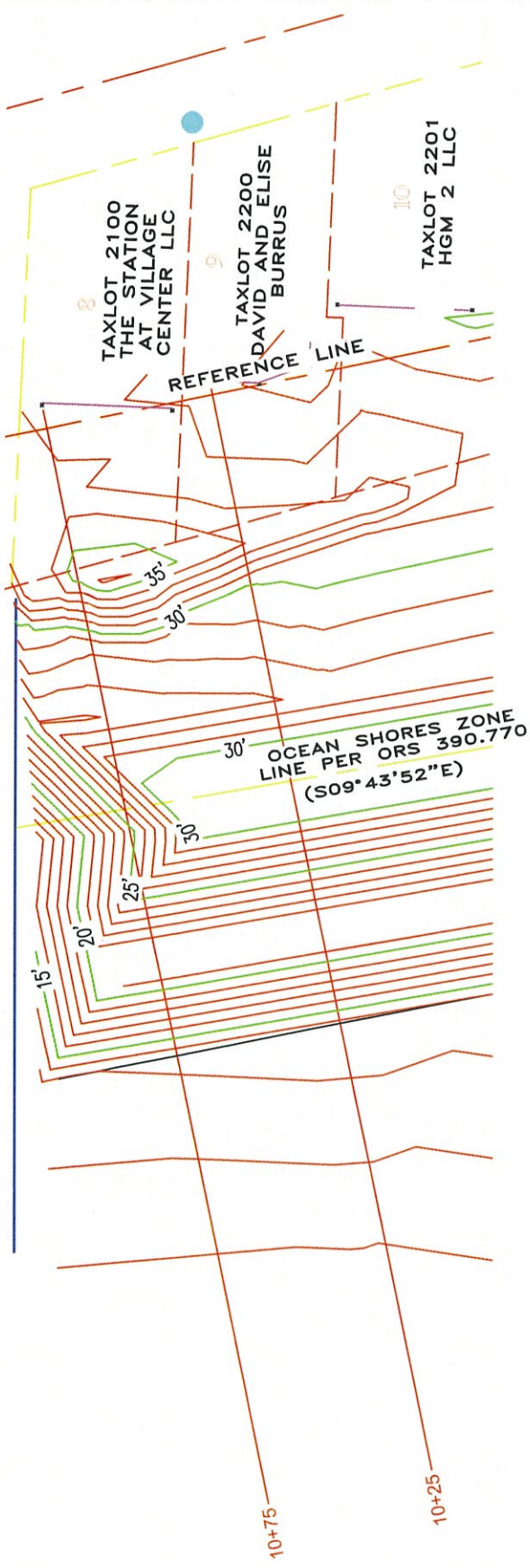


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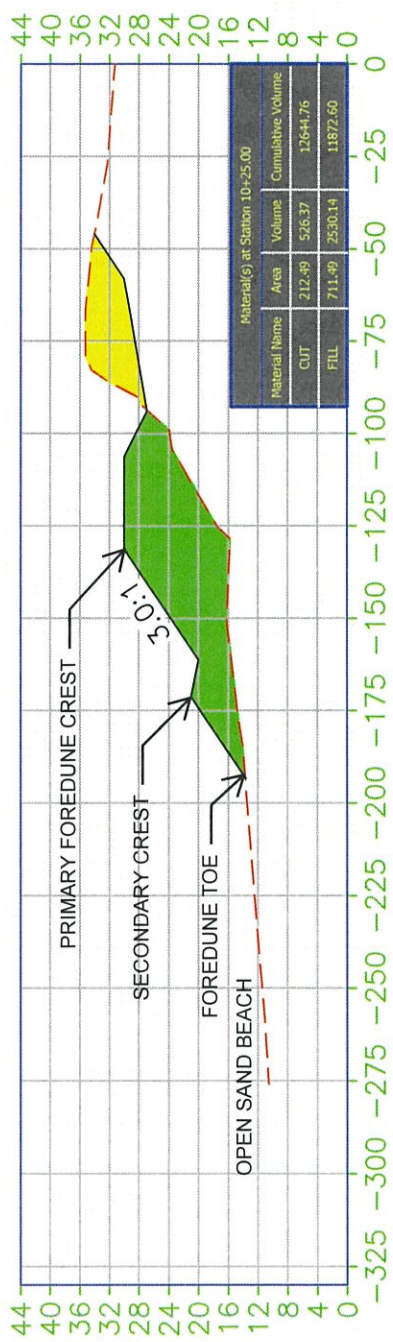
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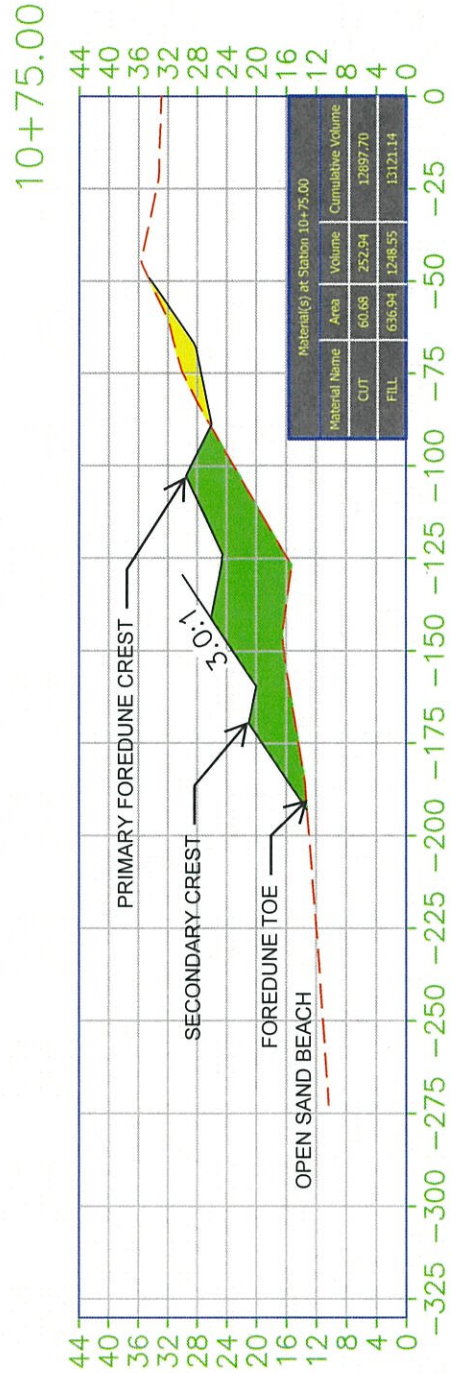
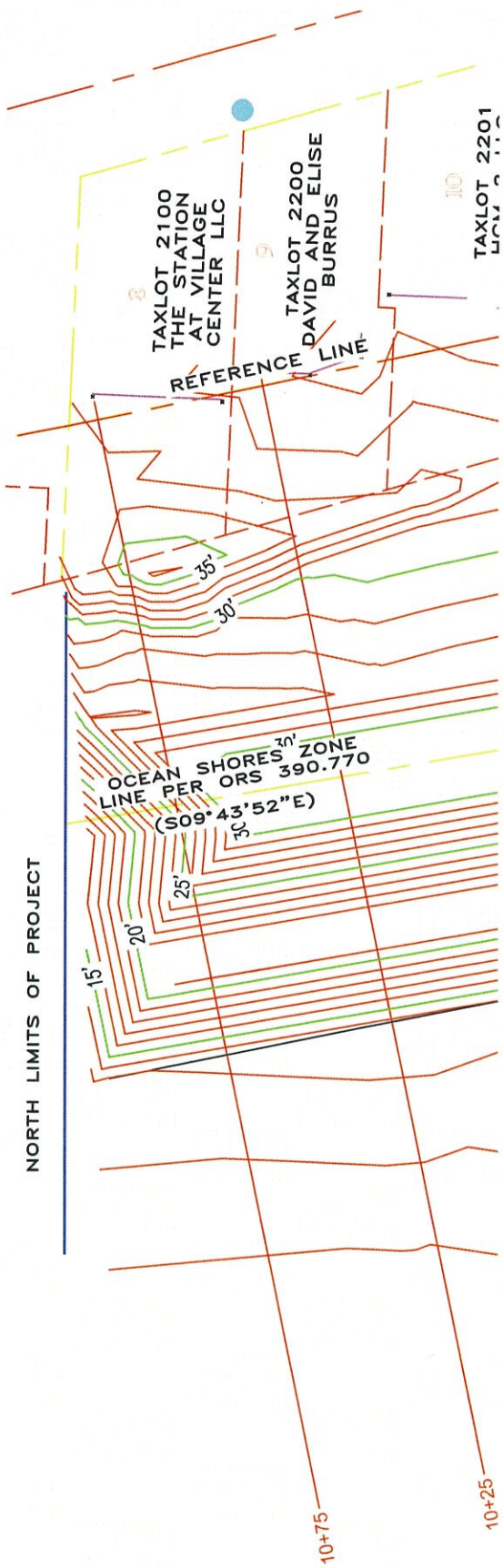
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NORTH LIMITS OF PROJECT



VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

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S&F Land Services

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 815 AVENUE F
 SEASIDE, OR 97138
 (503) 738-3425
 www.sflands.com
 info@sflands.com

August 15, 2024

Marty Johnson
POB 1084
Pacific City, OR 97135
Email: martyjohnson55@icloud.com
Phone: 541-921-0280

RE: Pre-Grading Dune Survey

Mr. Johnson,

On behalf of S&F Land Services, I am pleased to submit this proposal to provide professional surveying services for the 19 adjacent homes in Pacific City as shown on the enclosed Exhibit A.

Scope of Work:

1. Dune Grade Elevation Cross Sections:

- a. Survey one cross section at each home
 - i. East extent = westerly edge of existing houses
 - ii. West extent = 10' elevation (NAVD88)
- b. Update existing maps showing
 - i. Building, tax lot lines, current owners name, Ocean Shores Zone line, 2' contours and the FEMA flood elevation line.
 1. ASSUMPTION: none of the elements above have changed since the initial work.
 - ii. Cross section profiles as required.

Deliverables:

- AutoCAD .dwg drawing file and .pdf file.

Schedule:

The deliverables would be furnished within 15 business days of receiving contracted notice to proceed.

Job No.: A-02

Date: March 24, 2025

To: Marty Johnston

From: Bruce Haunreiter, PE

Subject: Dune Grading Application Unit B – Pacific City, OR (Unincorporated Tillamook County)



Project Understanding

The property owners fronting the Foredune Unit B within the Pacific City Foredune Management Area have submitted an application for dune grading. Tillamook County has reviewed the application and requested additional information to meet their application requirements. HHPR will assist with providing the narrative and drawings to meet all requirements as outlined below. Additional work may be required by S & F Land Services to meet plan requirements.

Project Area



Scope of Work

HHPR will prepare responses to the Request for Additional Information (RAI) provided by the County, dated March 7, 2025. This will include the following:

1. Sections 1 through 4 – Update application and narrative
 - a. Update narrative to add mitigation, codes, impacts, other information as noted
 - b. Prepare staging and public safety plan
2. Section 5 – Project Details:
 - a. Provide grading volumes
 - i. Assumes this can be performed by S & F
 - b. Prepare stabilization plan
 - i. Prepare landscape plans showing limits and details of dune vegetation and other stabilization measures
 - ii. Include monitoring schedule
 - iii. Maintenance bond by owner(s) if required

3. Section 7 – Signatures
 - a. Need parks signature; assumes they are willing to sign documents
4. Section 8 – Required Drawings
 - a. Provide plans with dune vegetation; to be shown on plans prepared for Section 5.b.
 - b. Provide temporary access roads; to be shown on plans prepared for Section 5.b.
 - c. Provide 2-foot contours, with cross-sections every 150 feet
 - i. Assumes this can be performed by S & F and coordinated by the owner
5. Section 9 – Application Fees and Calculation Worksheet
 - a. Prepare construction estimate to include survey, monitoring, all construction work
 - i. HHPR can prepare an rough estimate or use an estimate provided by the owners.
6. Section 10 – City / County Planning Affidavit
 - a. Apply for a LUCS from the County.
 - i. This will likely require revisions to work done by S & F to comply with the Pacific City Foredune Management Plan (PCFMP) and show benches, crests, etc. as outlined in the PCFMP.
 - b. Modernize the PCFMP
 - i. Our recommendation is to complete the application per the revisions above. This is a broader discussion on the merit and effort that would be required to update the PCFMP, and whether changes could be made that would benefit the community and all units (not just Unit B). This would likely be a multi-year effort and the community should seek out grant money or funding to reduce the burden on property owners. HHPR is open to discussing possibilities, but for the sake of this proposal, we are not including any work regarding updates to the PCFMP at this time.
7. Any site or group meetings with the County and/or property owners not outlined in the tasks above, if required, will be billed to the client on a time and materials basis, including mileage and travel time. The cost will be agreed-upon prior to any meeting taking place.

Assumptions

1. Permit fees to be paid by the property owners.
2. Geotechnical or Geohazard reports, if required, prepared by others.
3. Assumes additional work by S & F Land Services as noted; HHPR can provide needed updates to the plans for additional cost, if requested.
4. Additional survey, if required, will be by others or additional services by HHPR, and any changes to our fee will be agreed-upon prior to any work.
5. Environmental investigation not included.

Fee

For the Scope of Services listed above, Harper Houf Peterson Righellis Inc. proposes to be compensated on a time and material basis per our standard rates with the not-to-exceed amount for the following tasks:

Task 1:	\$ 1,500
Task 2:	\$ 3,000
Task 3:	\$ 200
Task 4:	\$ 1,500
Task 5:	\$ 1,500
Task 6:	\$ 1,500
Task 7:	Time and Materials (if required)

Agreement

Changes to the assumptions or project description that result in significant revisions to our work will be considered additional services. Harper Houf Peterson Righellis Inc. will bill monthly for the work completed in accordance with the attached 2025 Standard Billing Rates. Client and HHPR agree to be bound to the standard terms and conditions observable in "Exhibit A". If this proposal meets with your approval, please sign in the space provided and return a signed copy.

Approved: Marty Johnston

COASTWAY CONSTRUCTION CO., INC.
P.O. BOX 40
PACIFIC CITY, OR 97135
CCB# 60262

Estimate

Date 9/3/2024
Estimate # 200155

Name / Address

Marty Johnston
martyjohnston55@icloud.com

P.O. #
Terms

Due Date 9/3/2024
Other

Description	Qty	Rate	Total
Sand grading of 19 beachfront homes on Shore Drive in Pacific City. 200 cu/yd per home estimated amount			
Sand grading per yd.	3,800	3.00	11,400.00

Estimate is just that and actual job cost may vary depending on conditions.

Subtotal	\$11,400.00
Sales Tax (0.0%)	\$0.00
Total	\$11,400.00

COASTWAY CONSTRUCTION CO., INC.

503 965 6300



BROS. & HOES LANDSCAPING INC.

Phone: 503-398-5586 Fax: 503-398-5583

Email: bros.hoeslandscaping@gmail.com

P.O. Box 102 Pacific City, OR 97135

LICENSED, BONDED & INSURED



CCB# 183477

LCB# 8710

Home and Lot owners

Shore Drive, Pacific City

Beach Grass Planting and Dune Stabilization

Project Overview:

This estimate is provided for the planting of beach grass and dune stabilization across 19 lots along Shore Drive in Pacific City. The purpose of this project is to ensure that the dunes are stabilized, which is vital in preventing erosion and protecting the properties from coastal weather conditions. The estimated cost is based on an hourly rate, but please note that the final cost may vary depending on the requirements and guidelines provided by the Oregon State Parks (OSP).

Estimate Details:

- Cost per house or lot: \$1,500 x 19 = \$28,500

- Scope of Work: Layout and planting of beach grass for dune stabilization across 19 lots on Shore Drive***

Please note that this is a preliminary estimate. The final cost may increase or decrease based on the final dune stabilization plan provided by Oregon State Parks (OSP).

Important Considerations:

Dune stabilization and beach grass planting are critical components of coastal management. The specific requirements for planting and maintaining beach grass are guided by the Oregon State Parks and may include:

- Planting Density: *OSP typically requires a specific number of plants per square foot to ensure adequate coverage and stabilization.*

- Plant Species: *Only native species of beach grass may be used, such as *Ammophila breviligulata* (American Beachgrass) or *Ammophila arenaria* (European Beachgrass).*

- Timing of Planting: *The planting season is usually during the cooler, wetter months to ensure the grass establishes before the dry season.*

- Site Preparation: *This may involve removing non-native vegetation, grading, and preparing the site to enhance the chances of successful stabilization.*

- Maintenance: *Regular maintenance, including watering and potentially replanting, may be required, particularly in the first year following planting.*

Disclaimer:

This estimate is based on the current understanding of the project and available information. Upon receiving the finalized dune stabilization plan from Oregon State Parks, we will reassess the project scope, which may result in adjustments to the estimated cost. We will keep you informed of any changes and work closely with you to ensure the project meets all regulatory requirements while staying within budget.

EXHIBIT C

Pacific City

Foredune Management Plan:

MANAGEMENT STRATEGY

prepared for

Pacific City Beachfront Homeowners Association

P.O. Box 601

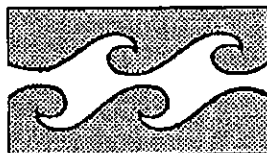
Pacific City, OR 97135

by

Shoreland Solutions **

P.O. Box 1046

Newport, OR 97365



July 1998

DRAFT

Preface

This document outlines a strategy for management of the foredune area fronting the rural community of Pacific City in Tillamook County, Oregon. The proposed strategy takes the form of recommendations on the types of sand management practices applicable within this area.

This document is one in a set of documents that together constitute the Pacific City Foredune Management Plan. Other documents in this set are: the Background Report, which reviews the factors affecting the stability of shoreline in the management area; the Monitoring Program, which describes the types of information to be collected and analyzed in order to evaluate the success of the management strategy; the Maintenance Program, which describes activities needed to ensure the success of the management strategy; and the Implementing Ordinance, which is the formal mechanism for carrying out prescribed sand management practices. This set of documents is intended to address the requirements of Statewide Planning Goal 18: Beaches and Dunes - Implementation Requirement 7 and Section 3.087 (4)(C) (2) of the Tillamook County Land Use Ordinance regarding foredune grading.

This document was prepared by Shoreland Solutions at the request of the Pacific City Beachfront Homeowners Association.

List of Tables and Figures

Table 1. Type and Timing of Prescribed Management Practices

Table 2. Setting, Objectives, and Management Practices for Management Unit A

Table 3. Setting, Objectives, and Management Practices for Management Unit B

Table 4. Setting, Objectives, and Management Practices for Management Unit C

Table 5. Setting, Objectives, and Management Practices for Management Unit D

Table 6. Setting, Objectives, and Management Practices for Management Unit E

Table 7. Setting, Objectives, and Management Practices for Management Unit F

Table 8. Setting, Objectives, and Management Practices for Management Unit G

Table 9. Setting, Objectives, and Management Practices for Management Unit H

Figure 1. The Pacific City Foredune Management Area.

Figure 2. Pacific City Foredune Management Units.

Figure 3. The Pacific City Design Foredune.

Figure 4. Cross-section Showing Profile Change over the Period 1967 to 1997 in Management Unit A.

Figure 5. Plan Map Showing Proposed Management Practices for Management Unit A.

Figure 6. Cross-sections Showing Profile Change over the Period 1967 to 1997 in Management Unit B.

Figure 7. Plan Map Showing Proposed Management Practices for Management Unit B.

Figure 8. Cross-sections Showing Profile Change over the Period 1967 to 1997 in Management Unit C.

Figure 9. Plan Map Showing Proposed Management Practices for Management Unit C.

Figure 10. Cross-sections Showing Profile Change over the Period 1967 to 1997 in Management Unit D.

Figure 11. Plan Map Showing Proposed Management Practices for Management Unit D.

Figure 12. Cross-section Showing Profile Change over the Period 1967 to 1997 in Management Unit E.

Figure 13. Plan Map Showing Proposed Management Practices for Management Unit E.

Figure 14. Cross-section Showing Profile Change over the Period 1967 to 1997 in Management Unit F.

Figure 15. Plan Map Showing Proposed Management Practices for Management Unit F.

Figure 16. Cross-section Showing Profile Change over the Period 1967 to 1997 in Management Unit G.

Figure 17. Plan Map Showing Proposed Management Practices for Management Unit G.

Figure 18. Cross-sections Showing Profile Change over the Period 1967 to 1997 in Management Unit H.

Figure 19. Plan Map Showing Proposed Management Practices for Management Unit H.

Pacific City

Foredune Management Plan:

MANAGEMENT STRATEGY

Table of Contents

Overview	1
Management Unit Strategies	
Management Unit A	7
Management Unit B	13
Management Unit C	19
Management Unit D	25
Management Unit E	32
Management Unit F	38
Management Unit G	44
Management Unit H	50
Limitations	57
Appendix A:	
Management Units, Transect Locations, and Key Characteristics along the Pacific City shoreline.	

Pacific City
Foredune Management Plan:
MANAGEMENT STRATEGY

Overview

The Pacific City foredune management area extends from Nestucca Spit State Park on the south to Cape Kiwanda State Park on the north (Figure 1). It encompasses the foredune area fronting the rural community of Pacific City in Tillamook County, Oregon. Its landward boundary is specifically defined as the seaward (western) wall-supporting foundation of existing structures and a direct line between the foundations where there is no structure.

At least since the late 1960's the shoreline along much of this area has exhibited a net seaward migration due to sand accumulation. Sand accumulation since the early 1980's has been dramatic. This increase in beach and dune sand volume has enhanced ocean flood/erosion protection potential. However, it has also presented problems for local residents and visitors alike, as the accumulating sand and the accompanying growth in height and width of the foredune area has led to the inundation of oceanfront homes, the reduction of ocean views, and the restriction of beach access.

While much of the shoreline fronting Pacific City has experienced net accretion over the last 30 years, at least two episodes of erosion have occurred during this time. During one such episode in the late 1970's Nestucca Spit was breached. Extensive foredune retreat occurred elsewhere along the Pacific City shoreline at this time and, as a result, as much as 2500 feet of riprap was placed above the shoreline along the central portion of the management area.

Following from the above, the overall objectives of the proposed foredune management strategy in order of priority are:

- To maintain or enhance ocean flood/erosion protective functions of the natural foredune area;
- To minimize inundation brought about by excessive accumulation of wind-blown sand and correspondingly maintain or enhance ocean views; and
- To maintain or enhance access to recreational uses associated with the open sand beach.

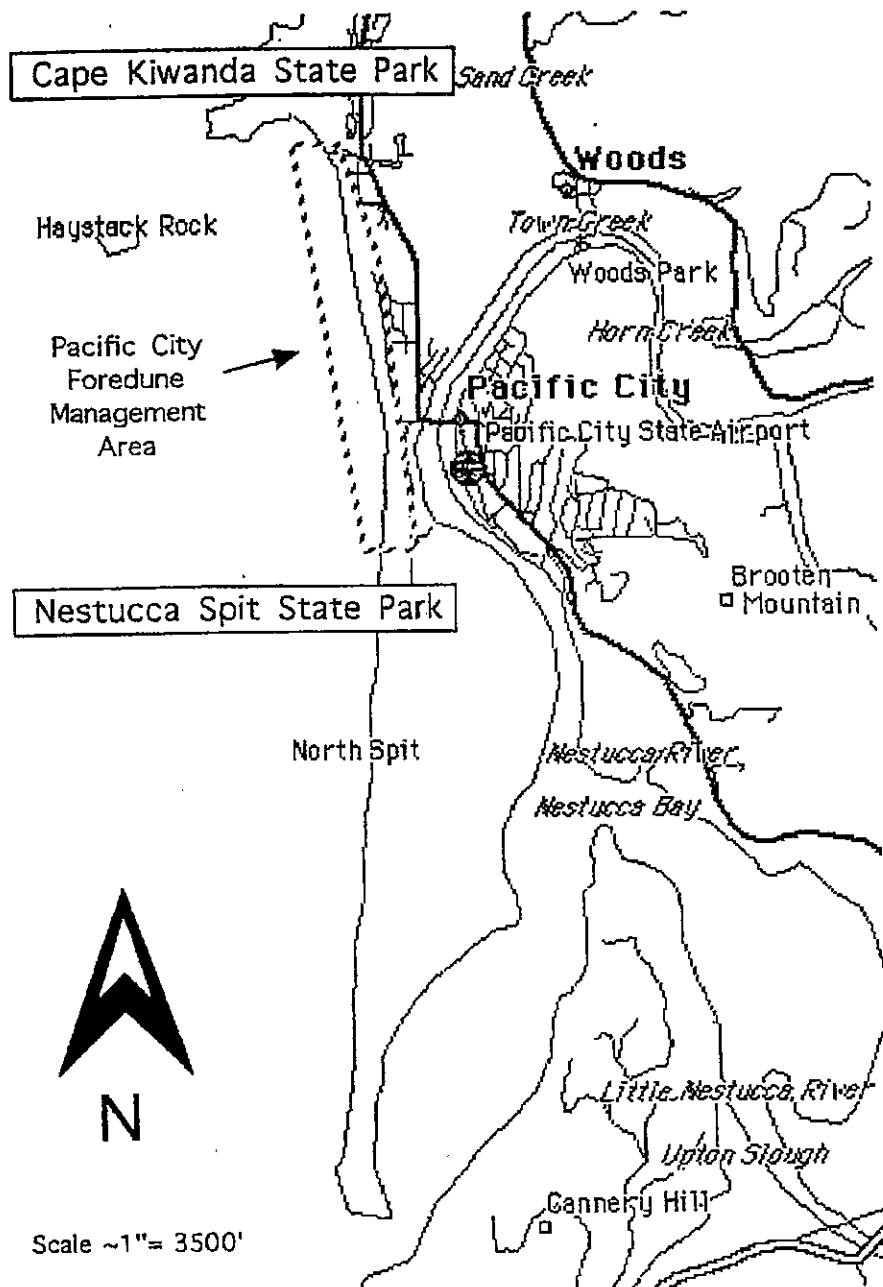


Figure 1. The Pacific City Foredune Management Area

The recognition of individual *management units* within the overall management area constitutes the framework of the proposed foredune management strategy (Figure 2 and Attachment A: for additional

information see the Background Report). Individual management units are distinguished by the combination of physical and social settings that exist within each area. For each management unit the relative priority of the management objectives identified above is established on the same basis. The result is that different types of management practices are prescribed for different management units.

Initially, prescribed management practices will focus on areawide foredune grading and vegetative stabilization (Table 1). Under the proposed strategy foredune grading, specifically *view grading*, may be conducted in areas where the elevation of the foredune exceeds the 'V-zone 100 year plus 4 foot' elevation. Grading down to the 'V-zone 100 year plus 4 foot' elevation is allowed in these areas. As a basis for further defining the extent of grading in these areas, a *design foredune configuration* has been identified - a foredune area with sufficient height and width to withstand storm wave attack (Figure 3: for additional information see the Background Report). Under the proposed strategy it is envisioned that view grading will be conducted within smaller *subareas* within the individual management units. Priority will be given to the transfer of sand from high areas behind the foredune crest to low areas elsewhere along the crest and foreslope. Only after low areas within the subareas have been filled, will 'excess' sand (i.e. that which exists above and beyond prescribed foredune elevations and widths) be transferred seaward of the lower foreslope/ beachface so as to allow a combination of wave and wind-driven sediment transport to redistribute it.

Table 1. Type and Timing of Prescribed Management Practices

	PHASE I Years 0 - 2	PHASE II Years 3 - 5
Foredune Grading	•	•
Vegetative Stabilization	•	•
Access Management	•	•
Monitoring	•	•
Maintenance	•	•

Remedial grading is another type of foredune grading called for within the foredune management strategy. Remedial grading is defined as the limited transfer or removal of sand which has, or is soon to be, piled up against exterior walls, windows, doors, or decks and thus interferes or is about to interfere with access to or with the safe use or occupancy of existing structures. Unlike view grading which is carried out on an areawide basis, it is envisioned that remedial grading will be conducted by individual property owners on an as needed basis. Although it is an activity that would occur outside of the

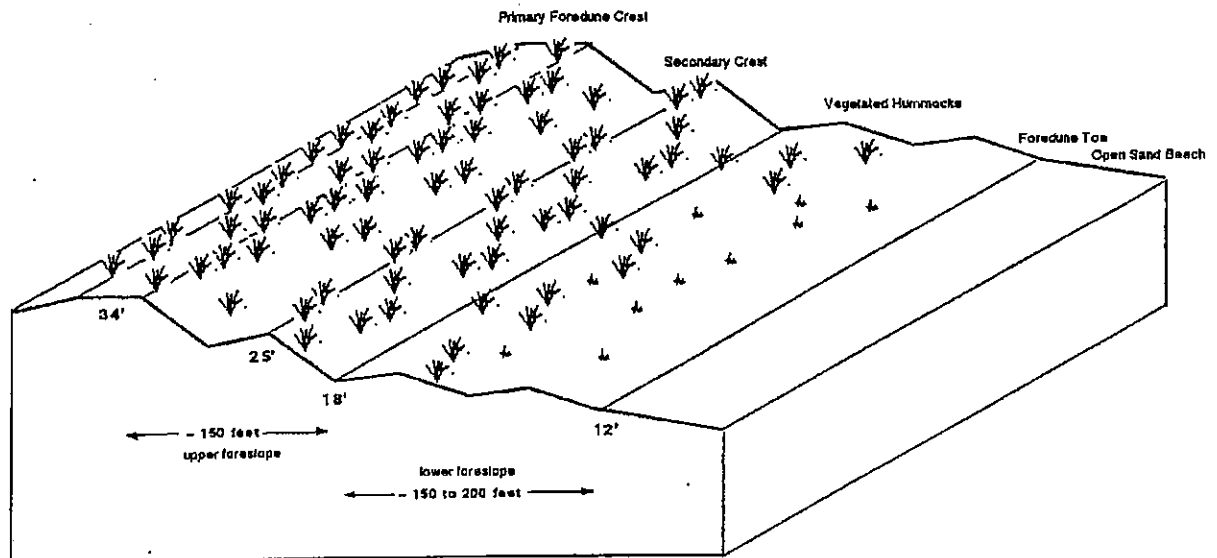


Figure 3. The Pacific City Design Foredune.

identified foredune management area, the proposed foredune management strategy also calls for the *grading of vacant lots*.

Typically, vegetative stabilization will be conducted in association with view grading. Primary grasses are to be planted in the graded areas along and directly landward of the foredune crest so as to stabilize these open sand areas and thereby reduce the potential for sand inundation. Primary grasses are also to be planted along the upper and lower foreslope. It is envisioned that the ability to capture and hold sand in these areas will encourage growth in foredune width as opposed to height, and thereby maintain flood/erosion protection potential as well as reduce the potential for sand inundation. The central portion of the management area is one location where less extensive planting is likely. Here, dwellings are fronted by riprap and lie in relatively close proximity to the shoreline. Other locations where planting is likely to be limited are in the vicinity of the Dory Boat Ramp and the Turnaround. Recreational use is particularly heavy in these areas.

Access management is another management practice prescribed throughout the management area under the proposed foredune management strategy. Access management is needed to address potential conflicts between vegetative stabilization and recreational use. It may involve, for example, placing informational and/or educational signs at identified points along the foredune to direct residents and visitors away from recently planted areas.

Although much of the first two years of foredune management efforts will focus on areawide foredune grading and vegetative stabilization, the proposed strategy also calls for areawide monitoring and maintenance during this time. Monitoring will typically involve biannual visual inspections and elevation surveys in 'active' management areas (i.e. those areas where areawide foredune grading and vegetative stabilization have been conducted). Maintenance measures may include remedial grading, noted above, as well as foreslope shaping and repair planting. In the years following initiation of prescribed management practices, monitoring and maintenance are likely to be the focus of foredune management efforts. Recommended project monitoring and maintenance measures are detailed in the Monitoring Program and Maintenance Program documents respectively.

The proposed foredune management strategies for each of the identified management units is given below. It includes a more detailed description of the setting, objectives, and prescribed management practices associated with each of the management units. Before proceeding, it should be noted that the exact specifications pertaining to foredune grading and vegetative stabilization within management units will be developed in the context of subarea plans. In this way the needs of individual property owners can be provided for in a manner consistent with the management unit strategies.

Management Unit B

Setting. This management unit extends from the southern boundary of Alder Street (the line between Tax Lots 2000 and 2100) to one lot north of Tamarack Street (the line between Tax Lots 300 and 400).

This segment of shoreline is characterized by a net accumulation of sand over the period 1967 to 1997. Specifically, portions of the foredune area have increased in width by as much as 255 feet and in height by as much as 25 feet during this time (Table 3; Figure 6a and 6b). This area has also experienced episodic erosion. As much as 50 to 150 feet of foredune retreat has occurred on at least two occasions over the last 30 years.

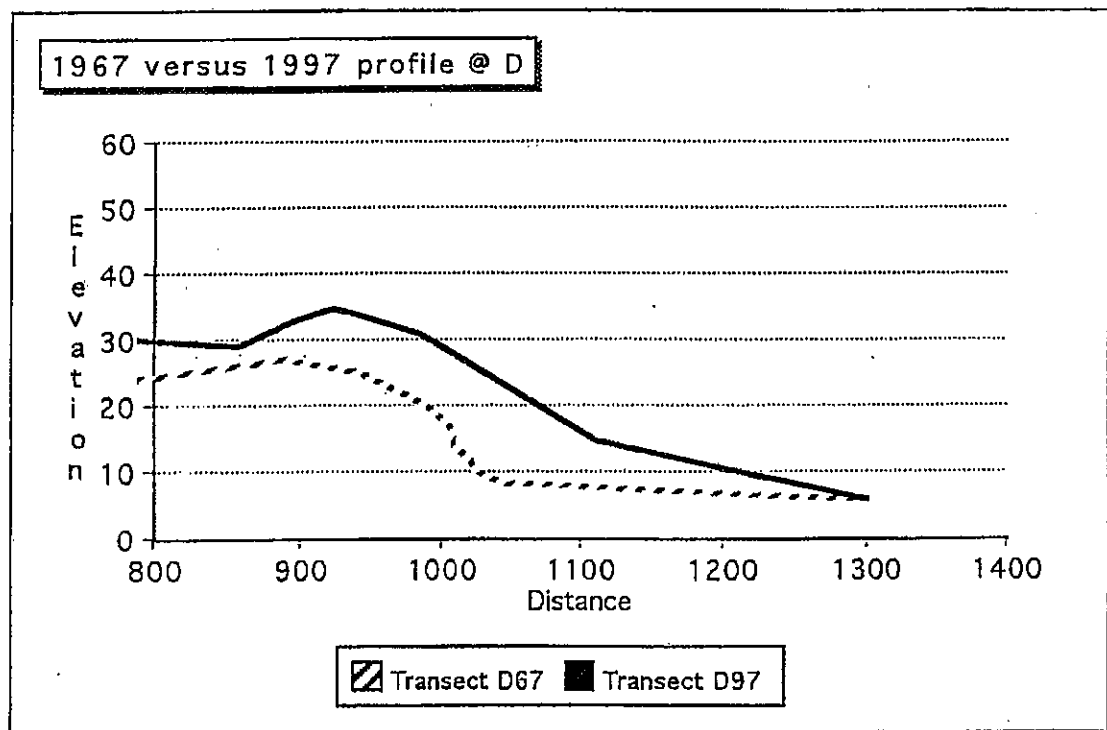


Figure 6a. Cross-section Showing Profile Change over the Period 1967 to 1997 in Management Unit B.

Currently, foredune morphology along this segment of shoreline is characterized by a relatively low, wide, graded profile ('Type B' morphology). The foredune crest along this segment of shoreline ranges from about 35 to 40 feet NGVD in elevation. The elevation of the foredune toe is around 16 feet NGVD. The width of the foreslope is around 190 feet. The foredune area is poorly vegetated, with vegetation cover

Table 3. Setting, Objectives, and Management Practices for Management Unit B (Alder Street to Tamarack Street)

Setting

- **Net Accretion**
1967 versus 1997
 @ 10' contour +15' to 25' elevation
 + 195' to 255' width
 @ 20' contour +10' to 15' elevation
 + 80' to 130' width
 25' to 30' 35' to 40' elevation
 of primary foredune crest
- **Episodic Erosion** 50' to 150'
- **'Type B' morphology**
 low, wide, graded profile
 crest elevation 35' to 40'
 toe elevation 15' to 16'
 foreslope width 185' to 190'
- **Poorly vegetated**
 crest and backslope
 open sand to 10 to 30% patchy cover
 foreslope
 open sand/gravel to 10% patchy cover
- **R2- residential**
 dwelling elevation **low** 28' to 31'
 dwelling location -50' to 140' from OPRD
 Vegetation Line
- **Heavy to Moderate Recreational Use**
 with Uncontrolled Access
- **Sand Inundation, limited Riprap**

Objectives

- **Maintain Flood/Erosion Protection**
- **Minimize Sand Inundation**
 and
 Enhance Ocean Views
- **Maintain or Enhance Access**

Management Practices

- **View Grading**
 elevation location
 Foundation 34' @ 0'
 Primary Crest 34' @ 50'
 Secondary Crest 25' @ 150'
 Toe of Foreslope 12' @ 350'
- **Remedial Grading** 30' seaw
- **Vegetative Stabilization**
 Backslope 60 to 90% cover
 Primary Crest 60 to 90% cover'
 Secondary Crest 60 to 90% cover
 Upper Foreslope 30 to 60% cover
 Lower Foreslope 10 to 30% cover
- **Access Management**
 Alder Street
 Pine Street
 Tamarack Street
- **Monitoring and Maintenance**

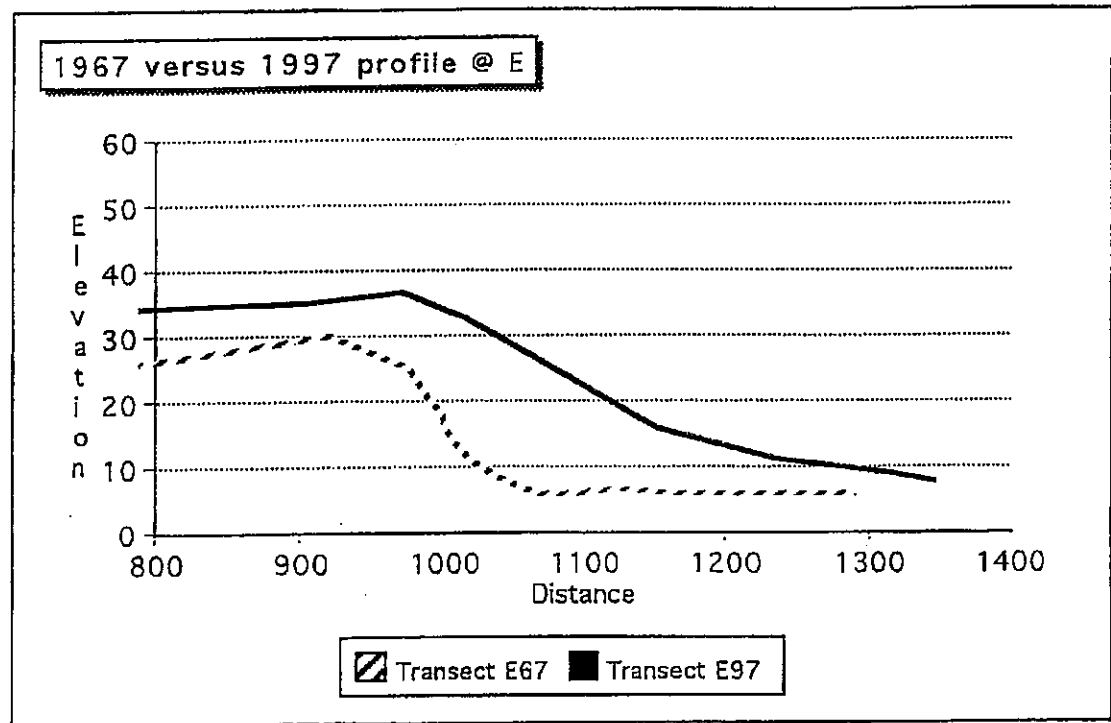


Figure 6b. Cross-section Showing Profile Change over the Period 1967 to 1997 in Management Unit B.

on the crest and backslope ranging from open sand to about 30% and on the foreslope from open sand to about 10%. Vegetation cover consists mostly of patches, or 'hummocks', of European Beachgrass. American Dunegrass, Sea Rocket, and Yellow Sand Verbena are among other species that exist locally. Transverse open-sand dunes are evident along the crest and backslope. Gravel deflation surfaces are evident on the foreslope. Both of these features are indicative of active wind-driven sediment transport within this management unit.

Zoning along this segment of shoreline is R2- Medium Density Urban Residential. Correspondingly, the area is occupied by single family residential dwellings. With finished/garage floor elevations ranging from about 28 to 31 feet NGVD, dwellings are relatively low compared to the existing 'V-zone 100 year plus 4 foot' elevation. Dwellings are located at distances as close as 50 feet and as far as 140 feet landward of the OPRD 1969 Statutory Vegetation Line. Because of its proximity to The Dory Boat Ramp and County Parking Lot this segment of shoreline experiences relatively heavy to moderate recreational use. Also, homeowner access to the beach is uncontrolled along this segment of shoreline. Riprap exists along top of the beach at the southern end of this management unit. Drifting sand has been identified as a

problem all along this segment of shoreline.

Management Objectives (with relative priority in bold)

- To maintain or enhance ocean flood/erosion protective functions of the natural fore-dune area;
- **To minimize inundation brought about by excessive accumulation of wind-blown sand and correspondingly maintain or enhance ocean views; and**
- To maintain or enhance access to recreational uses associated with the open sand beach.

Recommendations. Prescribed management practices for this management unit are outlined in Table 3, illustrated in Figure 7, and summarized below.

- **Sand Removal** - The removal of sand from the fore-dune management area is prohibited under the proposed fore-dune management strategy.
- **Fore-dune Grading** - View grading down to the 'V-zone 100 year plus 4 foot' elevation may occur along the entire length of this management unit. Ideally, a primary fore-dune crest will be established at an elevation at or above the 'V-zone 100 year plus 4 foot' elevation and at a distance at least 50 feet seaward from the western foundation of oceanfront dwellings. At an elevation of approximately 25 feet NGVD, an irregular secondary fore-dune crest will be located approximately 100 feet seaward from the primary fore-dune crest. The lower foreslope will extend out a distance about 200 feet seaward from the secondary fore-dune crest and down to an elevation of about 12 feet NGVD.

Graded sand is to be transferred seaward from high areas behind the fore-dune crest to low areas elsewhere along the crest and foreslope. After low areas have been filled consideration may be given to the transfer of excess sand seaward of the lower foreslope/ beachface so as to allow a combination of wave and wind-driven sediment transport to redistribute it.

Remedial grading should be allowed on an as needed basis. It may be fairly extensive in scope and regular in frequency following initial grading and planting. However, it is anticipated that the scope and frequency of remedial grading in this area will decrease over time.

- **Vegetative Stabilization** - The planting of stand-stilling grasses immediately following view grading is recommended in this management unit under the proposed strategy. It is envisioned that the capture of sand in the foreslope of this fore-dune area -essentially encouraging outward as opposed to upward growth of the fore-dune- will not only minimize the potential for inundation and in turn maintain ocean views, but will also maintain flood/erosion protection potential.

Planting should be carried out so as to mimic natural vegetation patterns as much as possible. Specific planting recommendations for this management unit are as follows:

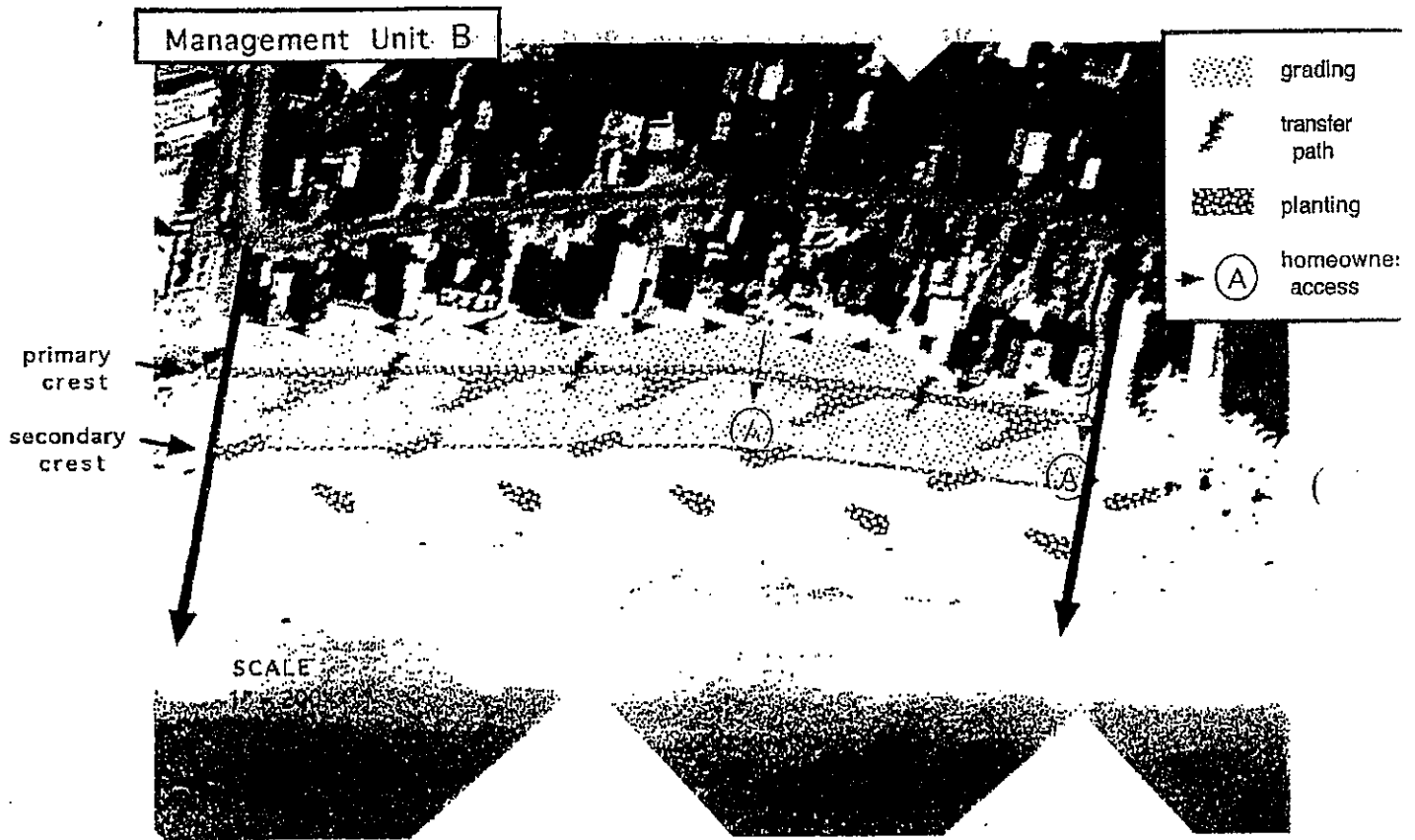


Figure 7. Plan Map Showing Proposed Management Practices for Management Unit B.

Along the backslope plant primary grasses (e.g. 80% European Beachgrass and 20% American Dunegrass) at moderate densities (e.g. hill spacing of 18" with 3 culms per hill) to achieve greater than 60% cover.

Along the primary crest plant primary grasses (e.g. 80% European Beachgrass and 20% American Dunegrass) at high densities (e.g. hill spacing of 12" with 5 culms per hill) to achieve greater than 60% cover down to an elevation of about 25 feet NGVD.

Along the secondary crest and foreslope plant primary grasses (e.g. 80% European Beachgrass and 20% American Dunegrass) at high densities (e.g. hill spacing of 12" with 5 culms per hill) to achieve as much as 60% cover over the area from about 25 feet to 18 feet NGVD in elevation and plant primary grasses (e.g. 80% European Beachgrass and 20% American Dunegrass) at moderate densities (e.g. hill spacing of 18" with 3 culms per hill) to achieve as much as 30% cover over the area from about 18 feet to 14 feet NGVD in elevation. Vegetation planted below an elevation of about 16 feet NGVD is best viewed as sacrificial, in that it may well be lost during winter storms and as a result need to be replanted on a regular basis.

In all cases, planting should be carried out during rainy months (November through April) before and/or after winter storms, when temperatures are between 32 and 60 degrees F and the sand is wet at a 3 inch depth. Preferably immediately after planting, fertilize with ammonium sulfate fertilizer (N-P-K:21-0-0) at a rate of ~200 - 400 pounds per acre, with follow up fertilization again in the subsequent late fall or early spring rainy period (after SCS, 1991).

- **Access Management** - Access management measures warranted in this area include the posting of signs identifying sensitive foredune areas and directing not only recreational users, but homeowners away from these areas. In this regard it is recommended that, in addition to the beach access at Alder Street, homeowner access paths be established in the vicinity of Pine Street and Tamarack Streets.
- **Monitoring and Maintenance** - Recommended monitoring and maintenance measures are detailed in the Monitoring Program and Maintenance Program documents respectively.

EXHIBIT D

Pacific City

Foredune Management Plan: Maintenance and Monitoring Program

Introduction

Monitoring and maintenance of the foredune system has been identified as an essential element of the Pacific City Foredune Management Plan. These actions are a necessary follow-up to initial implementation. Monitoring of the foredune is needed to evaluate the success of the management strategy and identify actions needed to maintain the integrity of the foredune system. Monitoring will focus on regular inspection of active management areas and baseline data collection over a five-year period following implementation of the plan. At the end of the five-year period, a detailed evaluation of the foredune management strategy should be conducted and summarized in a report. The evaluation should involve not only a determination of the extent to which the plan objectives have been achieved, but also a review and update of the background information upon which the strategy is based. Regular maintenance will generally involve repair planting and fertilization of sand stiling grasses. In later years, planting of secondary species may occur in some areas. Maintenance may also involve foreslope shaping and remedial grading.

Monitoring Inspections

Monitoring Inspections involves visual inspections by a qualified professional on a quarterly basis and after severe winter storms. The purpose of these inspections is to evaluate the condition of the foredune area so as to determine what types of maintenance measures might be warranted. For example, areas will be identified where repair planting is needed. Similarly, determinations will be made as to whether remedial grading is needed. Areas where foreslope shaping is appropriate as a response to erosion during winter storm events might also be identified. Finally, the condition of beach access points will also be examined. Such regular inspections also provide the basis for mid-course corrections to the foredune strategy. Quarterly inspections shall include determination of graded areas, planted areas, condition of transfer and access points, vegetative coverage, and crest/profile conditions.

Vegetation Management

Repair planting will generally be needed to maintain plant cover due to damage by erosion or trampling, grading activities, as well as incomplete survival of initial plantings. The foreslope and crest of foredunes, and other more exposed areas with less than 30% vegetative cover should be replanted with beachgrass at high densities, as described in the management strategy. The backslope of foredunes, and other less exposed areas with less than 60% vegetative cover should be replanted with beachgrass at lower densities. Repair plantings should be fertilized immediately after planting with 21-0-0 ammonium sulfate at a rate of 2.5 pounds per 1000 square feet and watered. In all areas where new

plantings are getting established fertilizer should be applied during the spring and fall to maintain continued plant vigor.

Secondary plantings may be established in the backslope areas. This should be done when initial stabilizing vegetation is well established (generally after two years). Plants appropriate for secondary stabilization include salal, evergreen huckleberry, shore pine, purple beach pea, seashore lupine, and tree lupine. Planting of secondary species should occur directly in the existing stand of beachgrass. Care should be taken to minimize removal or destruction of beach grass so that it can continue to stabilize the area while secondary species become established. Succession should occur naturally since beachgrass tends to thin out and die where it is cut off from sand accretion.

Foreslope Shaping

Foreslope shaping, limited principally to redistribution of sand presently in the foreslope area, is an appropriate maintenance measure when:

- The crest and foreslope are so dissected and irregular that they significantly impede proper growth of the foredune. In this instance, shaping will involve evening of crest height as well as evening of the foreslope to an angle between 25 and 33 degrees.
- The foreslope is scarped in response to wave undercutting. In this instance, shaping will involve grading a portion of the crest just large enough to fill in the foreslope to an angle between 25 and 33 degrees.
- The foreslope is being nourished with sand from outside the management unit. In this instance, shaping will involve filling in the foreslope to an angle between 25 and 33 degrees.

In all instances, foreslope shaping should be carried out so as to minimize disturbance (i.e. moving as little sand as possible and tapering shaped areas into unshaped areas). Vegetated areas that are not seriously damaged or buried in more than three feet of sand should be immediately fertilized. Areas graded more than three feet in height or buried in more than three feet of sand should be immediately replanted and fertilized.

Remedial Grading

Remedial grading refers to the clearing of sand necessary to maintain the function of an allowed use. Removal of sand that has accumulated along streets qualifies as remedial grading. Removal of sand which has piled up against exterior walls, doors, or windows, and blocks access or may cause damage to a structure also qualifies as remedial grading. In this regard, recommendations for remedial grading around residential or commercial structures are as follows:

- Oceanfront yards: Sand may be removed to the level of the top sill of the foundation within 20 to 30 feet of the structure. From the sill level, the graded area should slope upward to the elevation of the fronting foredune. This slope should not exceed 2:1.
- Side yards: Sand may be removed to the top of the sill of the foundation within 5 to 10 feet of the structure. From the sill level, the graded area should slope upward to match adjacent grade. This slope should not exceed 2:1.
- Front yards: All sand that is landward of the structure may be removed to the top of the sill of the foundation, provided grading in this area does not create a slope in excess of 2:1 with adjacent properties. Grading should not lower the front yard below the level of adjacent streets or roads, except to clear driveways.

Areas graded more than three feet in height should be immediately replanted and fertilized. All graded sand must remain within the management area. Preferably, graded sand should be used to fill low dune areas within individual management units. However, graded sand may also be used to nourish adjacent management units.

Access Management

Plant species used for stabilization are particularly vulnerable to trampling. However, it is unrealistic to expect that pedestrian or vehicular traffic in recently planted foredune areas can be completely restricted. Thus, foredune stabilization needs to be carried out while simultaneously providing for recreational use of the foredune area.

Initially, access management should emphasize resident and visitor education and encourage voluntary cooperation with foredune management efforts. In this regard, informational signs need to be prepared. The purpose of these signs is to identify sensitive foredune areas and direct recreational users away from these areas. These signs should be placed at identified access points as shown in the Management Strategy. In some instances, signing may need to be accompanied by more formal access management measures, namely post and rope fencing.

The success of initial efforts to direct recreational users away from sensitive foredune areas is to be evaluated in the context of project monitoring. Should initial efforts fail, then consideration needs to be given to implementation of more strict access management measures. Such measures include extensive post and rope fencing of identified access trails, wooden walkover structures, and temporary access restriction using fencing in particularly sensitive foredune areas. (e.g. recently graded newly planted areas, repaired areas, highly dissected established foredune areas.

