

# TILLAMOOK COUNTY PLANNING COMMISSION

## HEARING DATE

**June 11, 2026- Beginning at 7:00p.m.**

## LOCATION

Port of Tillamook Bay Conference Center  
4000 Blimp Boulevard, Tillamook, OR 97141

## VIRTUAL & TELECONFERENCE MEETING INFORMATION

*For teleconference access the evening of the hearing, please call 971-254-3149. Conference ID: 887 242 77#. Virtual Meeting Access: <https://www.tillamookcounty.gov/commdev>. Click on Virtual Teams Link. \*Microsoft Teams Meeting Format.*

- I. CALL TO ORDER
- II. ROLL CALL
- III. OLD BUSINESS: NONE
- IV. NEW BUSINESS:

**#851-26-000055-PLNG:** Request for consolidated review and approval of a tentative subdivision plat for "Riverview Meadows Phase 2", a subdivision development comprised of 74 residential lots and three tracts (Tracts D-F) for construction of a water reservoir, designated private open space and a private road system, respectively, together with Geologic Hazard Report review request **#851-26-000056-PNG** and Conditional Use request **#851-26-000139-PLNG**, a request to allow for a road encroachment into the 15-foot riparian buffer along Bob's Creek. Located within the City of Nehalem Urban Growth Boundary, the subject property is zoned Nehalem Mixed Density Residential (NH\_RM) and is accessed via Riverview Meadows Lane, a private road. The subject property is designated as Tax Lot 3600 of Section 23B, Township 3 North, Range 10 West of the Willamette Meridian, Tillamook County, Oregon. Applicant and property owner is Carey Sheldon. *The proposed Riverview Meadows Phase 2 was previously approved as Riverview Meadows Phases 2 & 3. These land use decisions expired prior to final plat approval.*

- V. AUTHORIZATION FOR CHAIR TO SIGN APPROPRIATE ORDERS, IF NECESSARY
- VI. ELECTIONS
- VII. ADMINISTRATIVE DECISIONS: Administrative Decisions are available for public review on the Tillamook County Department of Community Development website: <https://www.tillamookcounty.gov/commdev/landuseapps>
- VIII. HOUSING COMMISSION UPDATE
- IX. DEPARTMENT OF COMMUNITY DEVELOPMENT REPORT
- X. ADJOURNMENT

*The Port of Tillamook Bay Conference Center is accessible to citizens with disabilities. If special accommodations are needed for persons with hearing, visual, or manual impairments that wish to participate in the meeting, please contact 1-800-488-8280x3423 at least 24 hours prior to the meeting in order that appropriate communications assistance can be arranged.*



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*Land of Cheese, Trees and Ocean Breeze*

# MEMO

**Date:** May 28, 2026  
**To:** Tillamook County Planning Commission  
**From:** Sarah Absher, CFM, Director  
**Subject:** Riverview Meadows Phase 2 #851-26-000055-PLNG, et al

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Included with this memorandum are the June 11, 2026, Tillamook County Planning Commission agenda and the associated land use applications for review of a preliminary plat proposal for Riverview Meadows Phase 2 within the City of Nehalem Urban Growth Boundary (UGB).

If you have any questions about the information received, please do not hesitate to contact me by email: [Sarah.Absher@tillamookcounty.gov](mailto:Sarah.Absher@tillamookcounty.gov) or by telephone at 503-842-3408.

Thank You,

A handwritten signature in black ink that reads "Sarah Absher". The signature is written in a cursive, flowing style.



**PRELIMINARY SUBDIVISION PLAT REVIEW**  
**REQUEST FOR “RIVERVIEW MEADOWS PHASE 2”**  
**#851-26-000055-PLNG**  
 TOGETHER WITH  
**CONDITIONAL USE REQUEST # 851-26-000139-PLNG &**  
**GEOLOGIC HAZARD REPORT REVIEW #851-26-000056-PLNG**

**Planning Commission Hearing Date: June 11, 2026**

**Staff Report Date: June 4, 2026**

**Staff Report Prepared by: Sarah Absher, CFM, Director**

**I. GENERAL INFORMATION:**

**Request:** Request for consolidated review and approval of a tentative subdivision plat for “Riverview Meadows Phase 2”, a subdivision development comprised of 74 residential lots and three tracts (Tracts D-F) for construction of a water reservoir, designated private open space and a private road system, respectively, together with Geologic Hazard Report review request #851-26-000056-PNG and Conditional Use request #851-26-000139-PLNG, a request to allow for a road encroachment into the 15-foot riparian buffer along Bob’s Creek (Exhibit B). *The proposed Riverview Meadows Phase 2 was previously approved as Riverview Meadows Phases 2 & 3. These land use decisions expired prior to final plat approval.*

**Location:** Located within the City of Nehalem Urban Growth Boundary, the subject property is zoned Nehalem Mixed Density Residential (NH\_RM) and is accessed via Riverview Meadows Lane, a private road. The subject property is designated as Tax Lot 3600 of Section 23B, Township 3 North, Range 10 West of the Willamette Meridian, Tillamook County, Oregon (Exhibit A).

**Zone:** Mixed Density Residential (NH\_RM)

**Applicant &**

**Property Owner:** Riverview Meadows Development, 23765 SE Highway 212, Damascus, OR 97089

**II. Description of Site and Vicinity**

The subject property is located within the northern region of the City of Nehalem Urban Growth Boundary (UGB) via Northfork Road, a County road and is accessed by Riverview Meadows Lane, a private road (Exhibit A). The subject property is approximately 21.88 acres in size (Exhibit A). The subject property was previously approved for Riverview Meadows Phases 2 and 3, the southern portion as Phase 2 and the northern portion as Phase 3. With a lapse in land use approvals, the phases have now been consolidated and are reflected on the new preliminary plat as “Riverview Meadows Phase 2” (Exhibit B)

The subject property is irregular in shape, located on a plateau east of the City of Nehalem, and contains steep, downsloped areas along the outer edges of the plateau as depicted on the preliminary plats included in “Exhibit B”. The subject property is accessed from two private roads part of the Riverview Meadows development road system: Sunnyview Drive and Vern’s Place (Exhibits A & B).

Subject property is zoned Nehalem Mixed Density Residential (RM) with surrounding properties zoned Nehalem Low Density Residential (LM), Nehalem Marine Residential (MR) and Farm (F-1). Farm zoned properties are located to the east and to the property to the north (Exhibit A).

Riverview Meadows Phase 1 residential properties wrap around and border the southern region of the subject property proposed for phase two development. An outer band of residential properties border phase one lots. Tax lot and ownership information is depicted on the plats included in the Applicant's submittal (Exhibit B). Properties surrounding the northern half of the subject property (that portion of the property intended to be a third phase of development) include a private landowner and Stirnson Lumber Company. Lot layout, surrounding property ownership and a topographic depiction of the area are included on the plats made part of "Exhibit B" of this report.

Service providers include the City of Nehalem, Nehalem Bay Wastewater Agency, Tillamook PUD, Nehalem Bay Fire and Rescue District, Tillamook County Public Works Department and the Tillamook County Sheriff's Office. Responses to notice of this proposal from service providers and public agencies are included in "Exhibit B" and "Exhibit C" of this report.

## A. Natural Features

1. **Topography:** Information contained within the Geologic Hazard Report (GHR) prepared by R. Warren Krager, R.G., C.E.G., and Jason Morgan, PE, Morgan Civil Engineering for development of the subject property indicates topography consists of a relatively level natural terrace approximately 130 feet above mean sea level, with steeper slopes located along the eastern region of the subject property (Exhibit B). Elevations within the proposed building areas vary from approximately 137 feet above sea level to approximately 113 feet. The subject property slopes gently to the southwest with slopes varying from nearly flat to over 5%. The eastern edge of the development slopes down steeply to the east, at roughly 50% (Exhibit B). Based upon DOGAMI Lidar, the eastern slope breaks abruptly downward at generally over 50% and as steep as 80% to 100% locally (Exhibit B).
2. **Soils:** Soils and geology of the site is discussed in the Geologic Hazard Report (GHR) prepared by R. Warren Krager, R.G., C.E.G., and Jason Morgan, PE, Morgan Civil Engineering (Exhibit B). Soils identified by the Natural Resources Conservation Service (NCRS) include Chitwood-Hebo complex, 0 to 5% slopes. Sloped soils at the eastern margin of the subject property are mapped as Templeton-Ecola medial silt loams, 30% to 60% slopes (Exhibit B).
3. **Vegetation:** The subject property is covered in grasses and is regularly maintained (Exhibit B). Evergreen trees are located along the edges of the plateau. The eastern slope is heavily vegetated with blackberries, ferns, trees, and other species typical of a coastal forest (Exhibit B).
4. **Water Features:** The National Wetland Inventory Mapper (NWI) does not identify any wetlands within the area proposed for development as Riverview Meadows Phase 2, however Bob's Creek is an identified feature that runs adjacent to the eastern region of the subject property and is within the area proposed as an additional access to serve this second phase of development (Exhibit A). Drainage ways identified in the immediate area are also depicted on the NWI map (Exhibit A). The map is for general reference only and verification is generally completed through a wetland delineation review process with the Oregon Department of State Lands.

The subject property is identified on Flood Insurance Rate Maps #41057C0207F dated September 28, 2018. With the exception of the road improvements at the intersection of Riverview Drive, a private road, and North Fork Road, a County road, the development is located outside of Areas of Special Flood Hazard (Exhibit A).

## III. APPLICABLE ORDINANCE PROVISIONS & ANALYSIS:

### APPLICABLE ORDINANCE AND COMPREHENSIVE PLAN PROVISIONS:

The request is governed through the following Sections of the City of Nehalem Development Ordinance. The suitability of the proposed use, in light of the criteria, is discussed in Section IV of this report:

## APPLICABLE STANDARDS

- A. Nehalem Development Ordinance Section 157.205: Mixed Density Residential (RM) Zone
- B. Nehalem Development Ordinance Section 157.402: Street Standards
- C. Nehalem Development Ordinance Section 157.404: Land Divisions
- D. Nehalem Development Ordinance Section 157.407: Stormwater Drainage and Grading
- E. Nehalem Development Ordinance Section 157.408: Utility Lines and Facilities
- F. Nehalem Development Ordinance Section 157.440: Geological Hazards
- G. Nehalem Development Ordinance Section 157.442.01: Riparian Vegetation and Small Streams
- H. Nehalem Development Ordinance Section 157.442.02: Buffers Adjacent to EFU Zoned Property
- I. Nehalem Development Ordinance Section 157.507: Conditional Use Permits
- J. Nehalem Development Ordinance Section 157.510: Subdivisions and Planned Developments

## APPLICABLE CRITERIA

- A. Nehalem Development Ordinance Section 157.507.05: Conditional Use Decision Criteria
- B. Nehalem Development Ordinance Section 157.510.05: Subdivision and Planned Developments Decision Criteria

*\*Nehalem Development Ordinance Section 157.210: Flood Hazard Overlay Zone, applies to road improvements at the intersection of Riverview Drive and North Fork Road. The city is completing review of the Floodplain Development Permit as a separate process. A recommended condition of approval has been made requiring a copy of the approved floodplain development permit at the time of final plat approval.*

## IV. ANALYSIS

### A. Nehalem Development Ordinance Section 157.205: Mixed Density Residential (RM) Zone

- The subject property is located within the Nehalem Mixed Density Residential (RM) Zone, and development of properties in this zone are subject to allowable uses and development standards outlined in Section 157.205.
- Specifically, Section 157.205.05: Dimensional Standards establishes minimum lot size and dimensions as follows:

#### *(A) Minimum Lot Size*

##### *1. Single Family Home*

- a. Attached – 4,000 square feet.*
- b. Detached – 5,000 square feet.*

#### *(B) Minimum Lot Dimensions:*

- 1. Lot Width - 40 feet; corner lot - 60 feet along each street frontage.*
- 2. Lot Depth – 85 feet.*

- *Review of the preliminary plat confirms the proposed lots meet the minimum dimensional and size requirements of the RM zone.*

**Findings:** The preliminary plat for “Riverview Meadows Phase 2” consists of 74 residential lots. The preliminary plats Sheets 4-6 confirm the proposed lots meet or exceed the minimum lot size and dimensional requirements outlined above (Exhibit B). Adherence to applicable standards outlined in Section 157.205.06 is required at the time of individual lot development, including compliance with setback requirements, parking standards and building height of structures.

Section 157.205.06 requires all development in the RM zone to comply with applicable provisions of this chapter. This includes compliance with off-street parking requirements in Section 157.403, yard and lot setbacks contained in Section 157.443, standards for fencing in Section 157.444, buffers adjacent to EFU zone outlined in Section 157.442, exterior lighting standards and other applicable regulations for properties located in mapped areas of geologic hazard and the flood hazard overlay zone. Applicant’s submittal includes statements of acknowledgement that these standards must be adhered to at the time of individual lot development, and that the lots are of adequate design to ensure relevant standards can be met at the time of zoning review (Exhibit B).

### B. Nehalem Development Ordinance Section 157.401 General Provisions

#### *157.401.01 Purpose*

*The purpose of this Article is to:*

- (A) Carry out the Comprehensive Plan with respect to development standards and policies. Ensure that natural features of the landscape, such as landforms, natural drainage-ways, trees, and wooded areas, are preserved as much as possible and protected during construction.
- (B) Promote and maintain healthy environments and minimize development impacts upon surrounding properties and neighborhoods.

#### 157.401.02 Application of Standards

- (A) Application. The standards set forth in this Article shall apply to single family dwellings, duplexes, multi-family dwellings, land divisions, commercial and industrial projects.
- (B) Alternatives to Standards. The application of these standards to a particular development shall be modified as follows:
  - 1. Development standards which are unique to a particular use, or special use, shall be set forth within the zone or in this Section.
  - 2. Those development standards which are unique to a particular zone shall be set forth in the Section governing that zone.
- (C) Organization. This Article is organized as follows:
  - 1. Standards that apply to all zones, such as street standards or sign regulations, are in Sections 157.402 to 157.419.
  - 2. Standards that apply to specific development or activities, such as a residential accessory building or bed and breakfast establishment, are in Sections 157.420 to 157.439.
  - 3. General standards that apply to a variety of developments or uses, such as fences or construction in geologically sensitive areas, are found in Section 157.430 to 157.459.

#### 157.401.03 Application of Public Facility Standards

Standards for the provision and utilization of public facilities or services available within the City of Nehalem shall apply to all land developments in accordance with the requirements of the City Public Works Department and City Engineer. No development permit shall be approved unless the required improvements are provided prior to occupancy or operation, or unless future provision is assured through a bond, deposit, agreement, or similar instrument approved by the City.

**Findings:** City of Nehalem Comprehensive Plan Goal 1 and Goal 2 elements focus on prioritization of citizen involvement and development of a land use plan for the city. Review of this proposal is consistent with the goals, objectives and policies contained within these two elements- specifically public notification of hearing proceedings and opportunity for citizen input as well as applicable standards and criteria set forth in the City of Nehalem zoning and subdivision ordinances that apply to review of this proposal.

The farm and forest goal elements do not apply to properties within city limits and the city's urban growth boundary. It is important to note however that the city supports preservation and maintenance of agricultural and forest lands, and this support is implemented through Nehalem Development Ordinance Section 157.442.02: Buffers Adjacent to EFU Zoned Property.

The Goal 5 element of the city's comprehensive plan contains goals, objectives and policies focused on the preservation of natural features, natural resources, scenic and historic areas and open spaces. The city's goal is to foster high-quality development consistent with the natural environment. To achieve this goal, objectives and policies include preserving riparian areas, clustering development, protection of scenic views and encouraging open space in developments. Implementation of this goal is through Nehalem Development Ordinance Section 157.442.01: Riparian Vegetation and Small Streams.

The Goal 6 element highlights the importance of air, water and land resources, and contains goals, policies and objectives that ensure protection and improvement of these resources within the city and city's urban growth boundary. Policies require implementation of sedimentation and erosion control measures that are reflected in the city's subdivision ordinance. Policies include monitoring use of herbicides and includes a requirement for persons or organizations to notify the city prior to use. Use of herbicides in the City's watershed is prohibited and, in some instances, requires city approval.

The Goal 7 element acknowledges that the most significant natural hazards in Nehalem are landslide susceptibility and flooding. This goal element prioritizes reduction and mitigation of risk of natural hazard to life and property. The policies contained within the goal element are carried out through the development requirements contained in Nehalem Development Ordinance Section 157.440: Geological Hazards and Nehalem Development Ordinance Section 157.210: Flood Hazard Overlay Zone.

A Geologic Hazard Report (GHR) has been submitted in compliance with the goals, objectives and policies contained within the Goal 7: Areas Subject to Natural Hazards element of the city's comprehensive plan. The road improvements located at the intersection of Riverview Drive and North Fork Road are subject to the provisions of the Flood Hazard Overlay Zone outlined in Section 157.210 and are subject to Floodplain Development Permit approval by the City of Nehalem.

Applicable goals, objectives and policies contained within the Goal 8: Recreational Needs element of the city's comprehensive plan include a policy for creation of open space for new developments and encourages public pedestrian access. Proposed phase two includes an open space area on the preliminary plat (Exhibit B).

City of Nehalem Goal 9: Economic Development element largely focuses on improvement of the economic base of the community and contains policies for promotion, encouragement and continued support for growth of the city's business district. Given the nature of the goals, objectives and policies contained within this goal element, these goals, objectives and policies do not specifically apply to review of the proposed development.

Goal 10 Housing goal is to provide housing that meets the needs of a variety of age and income groups. Policies recognize and support identified future housing needs for a broad range of housing types and adopts the City's Housing Needs Analysis as part of the Comprehensive Plan. The proposed development of 74 residential lots aligns with the policies of this goal element.

Goal 11 calls for efficient planning of public services such as sewers, water, law enforcement, and fire protection. The goal's central concept is that public services should be planned in accordance with a community's needs and capacities rather than be forced to respond to development as it occurs. Policies require land uses and densities within the city's urban growth boundary to be consistent with the capacity of existing public facilities or the long-range expansion plans for key public facilities such as sanitary sewers and water. Policies also require orderly and efficient manner of expansion of public facilities and services. Policies support development and maintenance of adequate storm drainage facilities.

Applicants continue to work with the city and county on facility design and construction plans for water and storm drainage facilities so that the goals, objectives and policies of the Goal 11 element can be met. City and county comments regarding public facilities are included in "Exhibit C" of this report.

The City's Goal 12: Transportation element of the Comprehensive Plan aim to provide "a safe, convenient, and economic transportation system", and asks for communities to address needs of the transportation disadvantaged". The city's objective is to support a safe, convenient, accessible and economic transportation system for all modes of transportation. Policies include standards for street development, promoting multi-modal transportation facilities and limit opportunities for new road connectivity to Highway 101.

As reflected in the Goal 13: Energy Conservation element of the City's comprehensive plan, the city supports and will encourage efforts of energy conservation. Staff finds the proposed development is not in conflict with these goals, objective and policies.

Goal 14: Urbanization element requires the city to coordinate land-use, development and annexation strategies with Tillamook County. This goal element focuses on lands within the city's urban growth area and reflects roles and responsibilities also made part of the intergovernmental agreement between the two jurisdictions. Policy 4 includes a requirement for findings when reviewing conversion of undeveloped land for urban development, and requires findings be made by the city to confirm existence of orderly and economic extension of public facilities and services.

Coastal goal elements 16-19 of the city's comprehensive plan do not apply to this development proposal.

Adherence to Section 157.401.02: Application of Standards and Section 157.401.03: Application of Public Facility Standards, as applicable, are demonstrated in the Applicant's submittal with findings contained in this report (Exhibit B). Compliance with applicable standards is also reflected in the recommended conditions of approval.

**C. Nehalem Development Ordinance Section 157.402 Street Standards**

157.402: Street Standards

- ...
- (B) *Minimum Rights-of-Way Widths*
1. *Street rights-of-way and improvements shall be the widths and standards listed in the Minimum Right-of-Way Widths Table below.*
  - ...
  3. *Right-of-way classifications, as used herein, shall be construed to mean the following:*
    - (d) *Private street. Street that is not intended, nor shall become a public street with no possibility of through traffic and with adequate turnarounds; and*
- ...
- (I) *Street Names. The City shall approve all street names for conformance with the established pattern and to avoid duplication and confusion.*
- (J) *Private Streets.*
1. *The design and improvement of any private street shall be subject to all requirements prescribed by this chapter for public streets.*
  2. *Private streets shall be named in per provisions in item (I) above.*
  3. *Provision for the maintenance of a private street shall be provided in the form of a maintenance agreement, homeowners association, or similar instrument acceptable to the City. The applicable document shall be recorded against the deed record of each lot or parcel, and if appropriate, placed on the final plat.*
  4. *A turn-around shall be required for any private street which is the sole access, and which is either more than 150-feet or which serves more than one dwelling. Turn-arounds shall comply with the design provisions of the applicable fire district.*

157.402.07: Lots and Parcels Served by Private Streets or Easements

- The following shall apply to all lots and parcels that are accessed by either a private street or private access easement:*
- (A) *Lot and Parcel Size. The easement containing the private street or access easement shall be excluded from the lot or parcel size calculation.*
- (B) *Setbacks. The line fronting along a private street or access easement shall be considered a property line. Setbacks to the garage and home shall be measured from this easement line.*
- (C) *Lot Depth and Width. Where required by the underlying zone, the lot width shall be measured along the easement boundary and the lot depth shall be measured from the easement boundary to the rear lot line.*

**Findings:**

- Applicant has proposed a private street system with a design of 50-foot-wide travel lanes (Exhibit B).
- Streets are part of a continuation of the existing private road system of the Riverview Meadows development (Exhibit B).
- Street intersections are designed at a 90-degree angle, except where site topography and lot configurations require modified design (Exhibit B).
- All streets are constructed at a grade less than 12% and comply with centerline radii requirements as applicable (Exhibit B).
- The Nehalem Bay Fire and Rescue District has received copies of the proposed private street system for their review (Exhibit B).
- Street names are provided on the preliminary plats (Exhibit B). The County Surveyor's Office, Tillamook County Public Works and 911 are in receipt of copies of the preliminary plats for review of the private street system and proposed road names.

- The subject property is outside of city limits. Standards of this section specific to development of properties within city limits are not applicable (Exhibits A & B).
- A traffic impact study is included with the Applicant's submittal as "Exhibit H" with an updated memorandum (Exhibit B).
- Tillamook County Public Works comments are included in "Exhibit C" of report and has provided a list of construction requirements that are reflected in the recommended conditions of approval.

**D. Nehalem Development Ordinance Section 157.404: Land Divisions**

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157.404.03 Standards for Lots or Parcels

The following standards shall apply to all Partitions and Subdivisions.

- (A) Minimum Lot Area. The minimum lot area shall conform to the requirements of the applicable zone in which the parcel is located. Access easements, or the access strip to a flag lot, shall not be included in the calculation of lot area for purposes of determining compliance with any minimum lot size provision of this Chapter.
- (B) Minimum frontage. Every lot shall abut a street, other than an alley, for at least 20 feet.
- (C) Access and Spacing. Access and spacing standards for streets in Nehalem shall conform to the following access management spacing standards as indicated below.

<u>Functional Class</u>	<u>Maximum Block Length</u>	<u>Minimum Block Length</u>	<u>Minimum Driveway Spacing</u>	<u>Minimum Intersection Set Back</u>
Collector	1,000 feet	200 feet	100 feet	150 feet

- (D) Access and Spacing for Highway 101 and Arterials. Access and spacing standards for Highway 101 within the City, and arterials shall conform to the Oregon Highway Plan (OHP) access management spacing standards as indicated below.

<u>Roadway</u>	<u>Speed Limit</u>	<u>Spacing Standard (rural)</u>	<u>Spacing Standard (urban)</u>
U.S. 101	55 or higher	1,320 feet	1,320 feet
	50	1,100 feet	1,100 feet
	40 & 45	990 feet	800 feet
	30 & 35	770 feet	500 feet
	25 & lower	550 feet	350 feet

- (E) Private Street Access. Residential lots or parcels may be accessed by a private street developed in accordance with the provisions of Section 157.403 when it is determined that a public street access is: 1. Infeasible due to parcel shape, terrain, or location of existing structures; and 2. (F) Unnecessary to provide for the future development of adjoining property.
- (F) Flag Lots. Flag lots (or parcels) shall be subject to the following development standards:
  1. The access strip shall be a minimum of 20-feet in width. The improved surface shall be a minimum of 14-feet in width.
  2. The access strip shall not be included in the lot area calculation.
  3. If the length of the access strip exceeds 150 feet, the parcel or lot shall include a turn-around area in compliance with local fire district requirements.
- (G) Through Lots. Through lots shall be avoided except where essential to provide separation of residential development from traffic arterials, adjacent non-residential activities, or to overcome specific disadvantages of topography. Screening or buffering may be required during the application review.
- (H) Lot Side Lines. The side lines of lots, as far as practicable, shall run at right angles to the public street, private street, or private access easement upon which the lot or parcel faces.
- (I) Utility Easements. Utility easements shall be provided on lot areas where necessary to accommodate public utilities. Easement width shall conform to the requirements of the City Public Works Department and City Engineer.

157.404.04 Standards for Subdivisions – Blocks and Traffic

(A) *General.* The length, width, and shape of blocks shall be designed to provide adequate building sites for the use contemplated; consideration of needs for convenient access, circulation, control, and safety of street traffic - including pedestrian and bicyclist - and recognition of limitations and opportunities of topography.

(B) *Sizes.* Blocks shall not exceed 1,000 feet in between street lines with a preferred length of 500-feet. Exceptions are permitted for blocks adjacent to arterial streets, or if the previous development pattern or topographical conditions justify a greater length. The recommended minimum distance between collector street intersections with arterial streets is 1,800 feet.

(C) *Traffic Circulation.* The subdivision shall be laid out to provide safe, convenient, and direct vehicle, bicycle, and pedestrian access to nearby residential areas; neighborhood activity centers (e.g., schools and parks); shopping areas; and employment centers; and provide safe, convenient, and direct traffic circulation. At a minimum, “nearby” means the distance from the subdivision boundary – 1/4 mile for pedestrians and one mile for bicyclists.

(D) *Connectivity.* To achieve the objective in 157.404.04(C) Traffic Circulation above, the City shall require the following:

1. *Stub-End Streets:* Where the potential exists for additional residential development on adjacent property.
2. *Accessways:* Public accessways to provide a safe, efficient, and direct connection to cul-de-sac streets, to pass through oddly shaped or blocks longer than 600-feet, to provide for networks of public paths creating access to nearby residential areas, neighborhood activity centers (e.g., schools and parks); shopping areas; and employment centers.

(E) *Collector and Arterial Connections.* Accessway, bikeway, or sidewalk connections with adjoining arterial and collector streets shall be provided if any portion of the site’s arterial or collector street frontage is over 600-feet from either a subdivision access street or other accessway. The placement of an accessway may be modified or eliminated if natural features (e.g., adverse topography, streams, wetlands) preclude such a connection.

(F) *Streets.* Street design shall comply with provisions in 157.402 as well as the requirements of the City Public Works Department and City Engineer.

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157.404.06: Improvement Requirements – Subdivision

(A) *Improvements.* The following improvements shall be required for all Subdivisions:

1. *Frontage Improvements.* Half-street improvements designed to requirements of the City Public Works Department and City Engineer shall be required for all public streets on which a proposed Subdivision fronts. Additional frontage improvements shall include sidewalks, curbing, storm sewer, water lines, other public utilities as necessary, and such other improvements as the City shall determine to be reasonably necessary to serve the development or the immediate neighborhood. Sanitary sewer shall also be installed per requirements of the Nehalem Bay Water Agency.
2. *Project Streets.* Streets within the Subdivision shall be constructed to the requirements of the City Public Works Department and City Engineer.
3. *Monuments.* Monuments shall be established as required by the Engineering Design Standards.
4. *Surface Drainage and Storm Sewer System.* Drainage facilities shall be provided within the Subdivision and to connect the Subdivision drainage to drainageways or to storm sewers outside the Subdivision. Design of drainage within the Subdivision shall be constructed in accordance with the requirements of the City Public Works Department and City Engineer.
5. *Sanitary Sewers.* Sanitary sewer shall be installed to serve the Subdivision and to connect the Subdivision to existing mains both on and off the property being subdivided conforming to Nehalem Bay Wastewater Agency requirements. The Agency may require that the developer construct sewage lines of a size in excess of that necessary to adequately service the development in question, where such facilities are or will be necessary to serve the entire area within which the development is located when the area is ultimately developed. The Agency may also require that the construction take place as an assessment project with such arrangement with the developer as is desirable to assure his share of the construction.
6. *Water System.* Water lines with valves and fire hydrants serving the Subdivision and connecting the Subdivision to the City mains shall be installed in conformance with the requirements of the City Public Works Department and City Engineer. The design shall take into account provisions for extension beyond the Subdivision to adequately

grid the City system and to serve the area within which the development is located when the area is fully developed. However, the City will not expect the developer to pay for the extra cost of mains exceeding eight inches in size.

7. Sidewalks. Sidewalks shall be installed along both sides of each public street and in any pedestrian ways within the Subdivision. This improvement may be deferred until prior to occupancy of a dwelling.

8. Streetlights. The installation of streetlights is required at locations, and of a type, approved by the City.

9. Street Signs. The installation of street name signs and traffic control signs is required at locations determined to be appropriate by the City and shall be of a type approved by the City.

10. Other Requirements:

a. Curb cuts and driveway installations are not required of the developer at the time of development, but if installed, shall be approved by the City and installed per the requirements of the City Public Works Department and City Engineer.

b. Street tree planting is not required of the developer, but, if planted, shall be according to City standards and of a species compatible with the width of the planting strip and underground facilities.

11. Bicycle improvements. Improvements for bicycle lanes and other bicycle facilities (signs, parking, etc.) shall be installed along collector or arterial streets.

12. Transit access improvements. Improvements for bicycle and pedestrian access and connectivity shall be provided wherever a bus/transit stop is located on or adjacent to the subject property or subdivision.

(B) Completion of Improvements. All improvements required under this Chapter shall be completed to City standards or assured through a performance bond or other instrument acceptable to the City Attorney, prior to the approval of the Final Plat of the Subdivision. In no case shall the bond exceed 5% of the remaining project improvements as determined by the City Engineer. Completion of improvements for sanitary sewer shall comply with provisions of the Nehalem Bay Water Agency.

#### 157.404.07: Improvement Procedures

In addition to the requirements of the City Public Works Department and City Engineer, improvements installed by a developer for any land division, either as a requirement of these regulations or the developer's option, shall conform to the requirements of this Chapter, the improvement standards and specifications adopted by the City, and shall be installed in accordance with the following procedures:

(A) Approval Required. Improvement work shall not begin until plans are approved by the City and/or the Nehalem Bay Water Agency. All plans shall be prepared in accordance with requirements of the City and Agency.

(B) Notification. Improvement work shall not begin until the City has been notified in advance; and, if work has been discontinued for any reason, it shall not be resumed until the City has been notified.

(C) Inspections. Improvements shall be constructed under the inspection and to the satisfaction of the City Engineer or his/her designee. The City may require changes in typical street sections and improvements if unusual conditions arise during construction to warrant such changes. Nehalem Bay Water Agency shall conduct inspections of sanitary sewer improvements, in coordination with the City.

(D) Installation of Utilities. All underground utilities, sanitary sewers, and storm drains installed by the developer shall be constructed prior to the surfacing of the streets. Stubs for service connections for underground utilities and sanitary sewers shall be placed to a length eliminating the necessity for disturbing the street improvements when service connections are made.

(E) As-Built Drawings. A map or plan showing all public improvements as built shall be filed with the City of Nehalem upon completion of the improvements.

#### **Findings:**

- Applicant's submittal complies with the applicable standards outlined above, as reflected on the preliminary subdivision plat for "Riverview Meadows Phase 2" and contained within the supplemental narrative and evidence that includes a traffic impact study and geotechnical report (Exhibit B).
- All proposed lots adhere to the minimum lot size requirement of the RM Zone.
- All proposed lots meet minimum frontage requirements as demonstrated on the preliminary plat (Exhibit B).
- Adherence to access and spacing standards are reflected on the preliminary plat (Exhibit B).
- A secondary access road, Riverview Drive, is proposed to serve as primary access to the Riverview Meadows development. Riverview Meadows Lane, a private road that has served as primary access to Riverview Meadows Phase 1, will become the secondary access to the development (Exhibit B).
- One flag lot (Lot 89) is proposed and complies with the standards outlined above for a flag lot (Exhibit B).
- No through lots are proposed (Exhibit B).

- Utility easements are identified on the preliminary plat (Exhibit B).
- Riverview Meadows Phase 2 includes several blocks and lot configurations. Compliance with applicable standards outlined above are reflected in the Applicant's narrative and preliminary plat (Exhibit B).
- Applicant acknowledges that improvements must be designed and installed to city/county satisfaction (Exhibit B).
- Sewer availability letter from the Nehalem Bay Wastewater Agency is included in the Applicant's submittal (Exhibit B).
- Water is served by the City of Nehalem. The City of Nehalem has confirmed water service is available, provided infrastructure improvements are made to the existing system to serve the proposed development (Exhibit B).
- Applicants continue to work with the City of Nehalem on water infrastructure and improvement requirements, including recent construction of an 84,000-gallon water reservoir (Exhibit B). A condition of approval has been recommended requiring the Applicant complete required infrastructure improvements to the City's satisfaction prior to final plat approval.
- Streetlights are waiting to be installed (Exhibit B).
- Applicant's submittal includes construction of a stormwater facility improvements and accompanying drainage calculations (Exhibit B). Tillamook County Public Works has reviewed the proposed detention facility construction plans and has provided additional comments also reflected in the recommended conditions of approval (Exhibit C).
- A recommended condition of approval has been made to ensure compliance with surveying and monument requirements.
- Public facility requirements for water, sewer and drainage facilities and compliance with these standards is further discussed in this report with documentation and evidence included in the Applicant's submittal (Exhibit B).
- A recommended condition of approval is included in this report to ensure compliance with street signage installation requirements as well as a condition that all improvements be completed or bonded prior to final plat approval.

#### **E. Nehalem Development Ordinance Section 157.407: Stormwater Drainage and Grading**

##### 157.407.04 General Standards

*(A) Design Standards. All development shall be planned, designed, constructed, and maintained to:*

- 1. Protect and preserve existing natural drainage channels to the maximum practicable extent;*
- 2. Protect development from flood hazards;*
- 3. Provide a system by which water within the development will be controlled without causing damage or harm to the natural environment, or to property or persons within the drainage basin;*
- 4. Assure that waters drained from the development are free of pollutants, through such construction and drainage techniques as sedimentation ponds, reseeding, phasing of grading, and water quality facilities;*
- 5. Assure that waters are drained from the development in such a manner that will not cause erosion to any greater extent than would occur in the absence of development;*
- 6. Avoid placement of surface detention or retention facilities in road rights-of-way.*

*(B) Public Easements. In the event a development or any part thereof is traversed by any water course, channel, stream or creek, gulch, or other natural drainage channel, adequate easements for storm drainage purposes shall be provided to the City. This shall not imply maintenance by the City.*

*(C) Obstruction of Channel. Channel obstructions are not allowed except as approved for the creation of detention or retention facilities approved under provisions of this Chapter and in compliance with City standards.*

*(C) Conveyance of Flows. All new development within the City shall make provisions for the continuation or appropriate projection of existing storm sewer lines or drainage ways serving surrounding areas. Drainage extensions may be required through the interior of a property to be developed where the City determines that the extension is needed to facilitate upstream flows.*

*(D) City Inspection. Prior to acceptance of a storm sewer system by the City, the storm sewers shall be flushed and inspected. All costs shall be borne by the developer.*

##### 157.407.05 Grading

*(A) Grading permits are required for the following activities and shall be subject to the requirements of the City Public Works Department and City Engineer.*

- 1. Grading in excess of 50 cubic yards;*
- 2. Grading potentially impacting, riparian areas, drainageways, flood hazard areas;*

3. Grading that could possibly impact adjacent properties;
4. Grading proposed over public storm drains, sanitary sewers, or water lines;
5. Grading requiring tree removal;
6. Other areas with potential impacts as determined by the City;
7. Land partitions and subdivisions.

(B) If the approved grading activity is associated with a building permit, a final grading inspection shall be required prior to issuance of certificate of occupancy.

(C) *NDPES Permit Required.* A National Pollutant Discharge Elimination System (NPDES) permit must be obtained from the Department of Environmental Quality (DEQ) for construction activities (including clearing, grading, and excavation) that disturbs one or more acres of land.

**Findings:**

- Applicant's submittal includes construction of a stormwater facility improvements (Exhibit B). Tillamook County Public Works is in receipt of the proposed construction plans and has provided additional comments also reflected in the recommended conditions of approval (Exhibit C).
- Utility easements are proposed on the architectural plan sheets, identifying the location of the utility and stormwater facility improvements (Exhibit B).
- Applicant states that all drainage will be routed to Bob's Creek as applicable (Exhibit B).
- A NDPES permit has been obtained for construction and ground disturbance activities (Exhibit B).
- Applicant states that all grading required for development of Riverview Meadows Phase 2 has already been completed (Exhibit B).

**F. Nehalem Development Ordinance Section 157.408: Utility Lines and Facilities**

157.408.02 Standards

(A) *Design and Location.* The location, design, installation, and maintenance of all utility lines and facilities shall be conducted with minimum site disturbances.

(B) *Private Utilities.* All development which has a need for electricity, gas, and communications services shall install them per the requirements of the district or company serving the development. Except where otherwise prohibited by the utility district or company, all such facilities shall be underground.

(C) *Water Service.* All development which has a need for public water shall install the facilities per the requirements of the City. Installation of the facilities shall be coordinated with the extension of sanitary sewer and storm drainage facilities.

(D) *Sanitary Sewer.* All development which has a need for public sanitary sewers shall install the facilities per the requirements of the Nehalem Bay Wastewater Agency. Installation of such facilities shall be coordinated with the extension of necessary water services and storm drainage facilities.

(E) *Streetlights.* When required, the installation of streetlights shall be per the requirements of the City Engineering Standards and the requirements of the utility company serving the development.

(F) *Easements, General.* Easements shall be provided along property lines as required by the City, special districts, and utility companies. Easements for special purpose uses shall be of a width appropriate by the responsible agency. Such easements shall be designated on the final plat of all subdivisions and partitions.

157.408.03 Public Facility Improvements

(A) *Except for sanitary sewers, all public facility improvements shall be designed and constructed in compliance with the requirements of the City Public Works Department and City Engineer. The City Engineer (or designee) shall determine compliance with these standards. These standards are considered requirements and may not be altered per provisions in this Development Ordinance.*

(B) *Sanitary sewer facility improvements shall be designed and constructed in compliance with Nehalem Bay Wastewater Agency requirements. The Agency shall determine compliance with these standards. These standards are considered requirements and may not be altered per provisions in this Development Ordinance.*

(C) *Any new single family, accessory dwelling units and/or duplex (whether attached or detached) dwellings shall satisfy one of the following minimum standards:*

- 1) 1000 gpm with a flow duration of one hour where the total residential square footage is less than 3,600 square feet and 1,500 gpm where the total residential square footage exceeds 3,600,
- 2) 350 gpm with a flow duration of 30 minutes and every dwelling unit includes an automatic sprinkler system, or
- 3) Obtain a variance to these requirements pursuant to NDC 157.506 through a Type III procedure.

## Findings:

- Service provider letters are included in “Exhibit J” of the applicant’s submittal. Letters from the Nehalem Bay Wastewater Agency, Tillamook PUD, Nehalem Bay Fire and Rescue District and the City of Nehalem for water service availability have been provided (Exhibit B).
- A copy of the Nehalem Bay Wastewater Authority approval letter for installation of sewer facilities is included as “Exhibit M” of the Applicant’s submittal (Exhibit B).
- Facilities certifications have been completed by Morgan Engineering for the water and sewer line completions. A copy of the Oregon Health Authority (OHA) Water System Approval Letter is also included in the Applicant’s submittal as “Exhibit K” (Exhibit B).
- The interior private road system consists of a series of continuous streets with two points of access to North Fork Road, a County road (Exhibit B). A copy of the preliminary plats and construction details have been provided to the City of Nehalem, Nehalem Bay Fire District and Tillamook County Public Works Department for their review. Comments received prior to the hearing are included as “Exhibit C” of this report.
- The applicant has provided copies of the “Roads Certification Letter” by Morgan Engineering and a copy of the Riverview Meadows Road Approach Permit from the Tillamook County Public Works Department. Documents are included in the Applicant’s submittal as “Exhibit N” and “Exhibit O”, respectively (Exhibit B).
- Applicant states that all utility lines and facilities have been installed and inspected for development of Riverview Meadows Phase 2 has already been completed (Exhibit B).
- Tillamook County Public Works has not reviewed or approved construction plans nor have any required inspections by the County been conducted for Riverview Meadows Phase 2.

## **G. Nehalem Development Ordinance Section 157.440: Geological Hazards**

*Geologic Hazard Reports are subject to the development standards outlined in Section 157.440 of the City of Nehalem Development Ordinance. A Geologic Hazard Report (GHR) is required prior to approval of a Planned Developments and Subdivisions, per Section 157.440.03(A). Standards for development that must be addressed through geologic hazard report review include the following:*

- *Vegetation removal and revegetation practices; erosion control standards; and management of stormwater runoff during and after construction.*
- *Identification of regional geologic hazards at the site and investigative findings based upon review geologic reports and maps; a discussion of historical seismicity; identification of surface water features, discussion of groundwater conditions and regional drainage patterns; and discussion of geomorphology and surficial processes.*
- *Site characterization information that provides adequate and accurate information to support the interpretations, analyses, designs, conclusions and recommendations addressing the scope and objectives of the engineering geologic report.*
- *Consideration of the potential effects and impacts of geologic conditions on the proposed development. The report shall include (when applicable) recommendations for grading practices (including standards for cuts and fills); vegetation removal and re-vegetation practices; foundation design; and management of stormwater runoff during and after construction.*
- *Summary findings and conclusions: Report shall adequately address the type of use proposed and the adverse effects it might have on adjacent areas; hazards to life, public and private property, and the natural environment which may be caused by the proposed use; methods for protecting the surrounding area from any adverse effects of the development; temporary and permanent stabilization programs and the planned maintenance of new and existing vegetation; the proposed development is adequately protected from any reasonably foreseeable hazards including but not limited to GEOLOGIC HAZARDS, wind erosion, undercutting, ocean flooding and storm waves; and the proposed development is designed to minimize adverse environmental effects.*

## Findings:

- The subject property is located within an area of geologic hazard within known landslide hazards including mapped shallow and deep landslide susceptibility (Exhibit A).
- A Geologic Hazard Report (GHR) is required prior to approval of a subdivision, per Section 157.440.03(A).
- As mentioned previously in this report, a GHR has been prepared and included in the application submittal (Exhibit B). Soils and geology of the site is discussed in the Geologic Hazard Report (GHR) dated February 25, 2020,

prepared by R. Warren Krager, R.G., C.E.G., (Exhibit B). In addition to the Krager February 25, 2020, report, the Geologic Hazard Report also includes the following:

- May 12, 2022, addendum prepared by Morgan Civil Engineering, Inc.
  - December 15, 2022, Engineering Portion of Geologic Hazard Report for Road and Utility Development prepared by Morgan Civil Engineering Inc.
  - November 21, 2022, Engineering Geologic Hazard Report prepared by R. Warren Krager, R.G., C.E.G.,
  - Updated report memorandums dated December 19, 2025, and January 6, 2026, confirming all on-site activities for construction of “Riverview Meadows Phase 2” were completed in compliance with the Geologic Hazard Report for Riverview Meadows Phases 2 and 3, approved by the Tillamook County Planning Commission as #851-21-000414-PLNG (Exhibit B).
- The Geologic Hazard Report, comprised of the reports and memorandums listed above, contains the required information for a report as per Section 157.440.02 (Exhibit B). The report includes the following:
- A geologic hazard analysis that includes relevant information outlined in Subsection (D)(1)(a)-(g).
  - Recommendations for development that protect development on the subject properties and surrounding properties, including density, locations of structures and roads, land grading practices, vegetation removal and revegetation practices, foundation design recommendations for future individual lot development, road design for the private road system, and recommendations for stormwater management and construction of associated stormwater facilities (Exhibit B).
  - Summary findings and conclusions (Exhibit B).
- Applicant states that activities for construction of “Riverview Meadows Phase 2” have been completed (Exhibit B).
- The GHR includes analysis for geologic hazards in relation to the site and proposed development, a slope stability analysis, groundwater considerations, recommendations for land grading practices, foundation design, utility installation requirements and summary findings and conclusions (Exhibit B).
- A recommended condition of approval is also included to require plan review conformance letters certifying the structural plans for residential lot development comply with the recommendations contained in the Geologic Hazard Report. Certification of compliance at the time of individual lot development ensures that continued development of the site is appropriately addressed in accordance with Section 157.440 at the time of individual lot construction.

## **H. Nehalem Development Ordinance Section 157.442: Special Buffers and Setbacks**

### *157.442.01 Riparian Vegetation and Small Streams*

*(A) Riparian vegetation along small streams shall be protected by a 15-foot riparian zone for all creeks. This zone shall be run parallel to the mean high-water line of the subject creek.*

*(B) Any development within the 15-foot riparian zone, including the removal or replacement of vegetation, shall require a Conditional Use application pursuant to Section 157.507. In addition to the Conditional Use criteria in Section 157.507, a conditional use permit within the riparian vegetative area shall indicate how:*

*(1) the proposal will not affect the following factors;*

*(2) the proposal can be mitigated in some manner to minimize or eliminate potential harmful impacts regarding the following factors; or,*

*(3) the factors do not apply to the request. The factors include:*

*1. Development or improvements shall be directed away from adjacent streams and drainage corridors to the greatest possible extent.*

*2. The development, change, or intensification of use shall provide the maximum possible landscaped area, open space, or vegetation between the activity and adjacent streams or drainage corridors.*

*3. The fringe along streams and drainage corridors shall be maintained to the maximum extent practical in order to assure scenic quality, protection of wildlife habitat, and protection from erosion.*

*4. Areas of annual flooding, flood plains, and wetlands shall be preserved in their natural state to the maximum possible extent to protect water retention, overflow and other natural functions. The development shall comply with the flood plain or floodway development requirements of the Development Ordinance.*

**Findings:** Bob’s Creek traverses through the western region of the Riverview Meadows development and the proposed private road, Riverview Drive (Exhibit B). A 15-foot riparian setback is required from Bob’s Creek. Applicant has completed road improvements within the required 15-foot riparian setback (Exhibit B). A mitigation plan in coordination with the Oregon Department of Fish and Wildlife (ODFW) is proposed (Exhibit B) and a recommended condition of approval has been made to require an ODFW approved mitigation plan.

In review of the State of Oregon Wetland Mapper, staff finds that mapped wetlands are identified at the intersection of Riverview Drive, a private road, and North Fork Road, a County road. Applicant did not provide a wetland delineation; however, the development activities within this area appear to have already been completed, and mitigation of development activities within this area are addressed with the ODFW accepted riparian mitigation plan. In review of the Applicant's submittal, disturbance activities in the area are likely below the 50 cubic yard threshold (Exhibit B). Additionally, the Oregon Department of State Lands had not yet provided comments on this proposal at the time of review. A recommended condition of approval has been made to require compliance with State of Oregon fill/removal laws, if applicable.

In review of the Applicant's submittal, staff also finds as follows:

- The area for development for road improvements within the 15-foot riparian corridor disturbs approximate 45 square feet of riparian area (3-feet by 5-feet) (Exhibit B).
- Improvements to Riverview Drive are necessary to comply with the requirements outlined in Tillamook County Public Works Road Approach Permit #7005 (Exhibit B).
- A mitigation plan has been developed in coordination with the Oregon Department of Fish and Wildlife (ODFW) and includes two primary planting areas consisting of planting new trees and shrubs, including 14 Western red cedar trees.
- Based upon Applicant's submittal, the proposed planting plan will result in enhanced habitat values within areas of the riparian corridor in areas where vegetation does not currently exist (Exhibit B).
- Road design sheds water runoff to the opposite side of Riverview Drive to promote water treatment prior to discharge into Bob's Creek (Exhibit B).
- Applicant states no areas of annual flooding, floodplains and wetlands will be affected by the riparian encroachment of road improvements (Exhibit B).

#### *157.442.01 Buffers Adjacent to EFU Zoned Property*

*(A) Where development is proposed on lands adjacent to Exclusive Farm Use Zones, the city shall require that a buffer of not less than 50 feet be required between the development and the EFU boundary in order to protect the farm and development from incompatible uses or activities.*

*(B) Such a buffer shall be in addition to any required setback for structures or uses.*

*(C) As part of a land use application and review, the decision authority may require the maintenance of tree stands, fencing or other separation.*

**Findings:** The eastern portion of the subject property abuts the Farm (F-1) Zone (Exhibit A). In review of the preliminary plat, proposed lots within this eastern region of "Riverview Meadows Phase 2" are platted 50-feet from the Farm (F-1) Zone boundary, where a 50-foot-wide road easement part of the overall private road system provides a buffer and separation between the residential lots and adjacent farm and forest activities (Exhibit B).

## **I. Nehalem Development Ordinance Section 157.507: Conditional Use Permits**

### 157.507.01 Applicability

*A conditional use is a use which is generally acceptable as a land use activity in a particular zone, but due to certain aspects of the activity, buffering, screening, time limitations or other conditions are necessary to ensure compatibility with adjacent property. Conditional uses are presumed to be allowed unless conditions to ensure their compatibility cannot be established.*

### 157.507.02 Process

*(A) For property within the City Limits or for a new city water service request for property outside the City Limits, a Conditional Use application shall be reviewed in accordance with the Type III review procedures specified in Section 157.523 and subject to the decision criteria in Section 157.507.05.*

*(B) For property outside the City Limits, and within the Urban Growth Boundary, a Variance application shall be reviewed by Tillamook County in accordance with provisions in the Intergovernmental Agreement, and subject to the decision criteria in Section 157.507.05.*

157.507.04 Submittal Requirements

*The applicant shall prepare and submit an application, site plan, and other supplemental information as may be required by City staff to indicate the intent of the development. The application shall include a statement explaining the proposal and providing analysis of the proposal relative to the approval criteria. The site plan shall show pertinent information to scale to facilitate the review of the proposed development.*

**Findings:** Section 157.507.04 requires the site plan to depict all streets, property lines, streams and other pertinent data to locate the proposal on a vicinity map. The north arrow and scale of drawing are required as well as property account identification. The dimensions of the property, property size, location of existing easements, public facilities and improvements are also required to be depicted on the site plan. Existing uses are to be shown on the property as well as the location of the proposed area on the property to locate the requested conditional use.

The applicant's submittal contains the applicable required information as summarized above and outlined in Section 157.507.04 (Exhibit B). Applicant has requested conditional use approval for development activities related to road improvements within the Bob's Creek 15-foot riparian corridor required by the Tillamook County Public Works Department as part of the improvements to Riverview Drive near the intersection of Riverview Drive and North Fork Road, a County road (Exhibit B).

157.507.05 Decision Criteria

*A Conditional Use shall be approved if the applicant provides supporting evidence that all the requirements of this Ordinance relative to the proposed use are satisfied, and demonstrates that the proposed use also satisfies the following criteria:*

- (A) The use is listed as a conditional use in the underlying district and complies with the development requirements of the underlying zone.*
- (B) The characteristics of the site are suitable for the proposed use considering size, shape, location, topography, and location of improvements and natural features.*
- (C) The proposed development is timely, considering the adequacy of transportation systems, public facilities and services, existing or planned for the area affected by the use.*
- (D) The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs, or precludes the use of surrounding properties for the primary uses listed in the underlying zone.*
- (E) Decision criteria for special buffers are found in Section 157.442.*

**Findings:** In review of the Applicant's submittal, staff finds the following:

- A conditional use application has been submitted as required under this section (Exhibit B).
- Development activities within the 15-foot Bob's Creek riparian corridor disturb an area roughly 3-feet by 5-feet for road improvements to Riverview Drive, the newly designated primary access to the Riverview Meadows development (Exhibit B).
- Road improvements are required as part of approved Road Approach Permit #7005 from the Tillamook County Public Works Department (Exhibit B).
- Riverview Drive provides necessary access to "Riverview Meadows Phase 2" and is part of the traffic impact study for the Riverview Meadows development (Exhibit B).
- Applicant states that the proposed mitigation is intended to enhance the stream corridor in this location and will not alter the character of the surrounding area or limit use of surrounding properties (Exhibit B).
- ODFW has reviewed the proposed planting mitigation plan included in the Applicant's submittal and finds the plan to be sufficient (Exhibit B).
- A recommended condition of approval has been made in reference to the mitigation planting plan reviewed by ODFW (Exhibit B).

**J. Nehalem Development Ordinance Section 157.510: Subdivisions and Planned Developments**

...  
157.510.04 Submittal Requirements

*The following submittal requirements shall apply to all Preliminary Plat applications for Subdivisions, Planned Developments and Cottage Cluster Developments:*

*(A) All applications shall be submitted on forms provided by the City to the City Manager along with the appropriate fee. It shall be the applicant's responsibility to submit a complete application which addresses the review criteria of this Section. The application shall include a statement explaining the proposal and providing analysis of the proposal relative to the approval criteria.*

*(B) Applicants for subdivisions shall submit the following:*

*1. General Information. The following general information shall be shown on the tentative plan:*

- (a) Vicinity map showing all streets, property lines, streams, and other pertinent data to locate the proposal.*
- (b) North arrow and scale of drawing.*
- (c) Tax map and tax lot number or tax account of the subject property.*
- (d) Dimensions and size in square feet or acres of the subject property.*
- (e) Name of the subdivision or PD.*

*2. Existing Conditions*

- (a) Location of all existing easements within the property.*
- (b) Location of City utilities (water and storm drainage) and sanitary sewer (Nehalem Bay Wastewater Agency) within or adjacent to the property proposed for use to serve the development.*
- (c) The location and direction of water courses or drainage swales on the subject property.*
- (d) Existing use of the property, including location of existing structures. It should be noted whether the existing structures are to remain or be removed from the property.*
- (e) Direction of drainage and approximate grade of abutting streets.*
- (f) Proposed streets, approximate grade, and radius of curves.*
- (g) Any other legal access to the subdivision other than a public street.*
- (h) Contour lines related to an established bench mark on City datum, having the following minimum intervals:*
  - (i) Areas with less than 5% slope: One-foot contours*
  - (ii) Areas with slope between 5% and 10%: Two-foot contours.*
  - (iii) Areas with slope greater than 10%: Five-foot contours.*

*3. Proposed Plan*

- (a) Locations, approximate dimensions and area in square feet of all proposed lots. All lots shall be numbered consecutively.*
- (A) For property within the City Limits, a Conditional Use application shall be reviewed in accordance with the Type III review procedures specified in Section 157.523 and subject to the decision criteria in Section 157.507.05.*
- (B) For property outside the City Limits, and within the Urban Growth Boundary, a Variance application shall be reviewed by Tillamook County in accordance with provisions in the Intergovernmental Agreement, and subject to the decision criteria in Section 157.507.05.*

#### **Findings:**

- It should be noted that Applicant's submittal refers to Chapter 157.511 and is a scrivener's error (Exhibit B). Staff finds this discrepancy does not result in a material change to or relevance of the information contained within the Applicant's submittal.
- "Riverview Meadows Phase 2" consists of 74 residential lots, three tracts that include a recently installed water reservoir, open space and the private road system (Exhibit B).
- Applicant's site plan identifies natural areas on the subject property, including the location of Bob's Creek (Exhibit B).
- Applicant's submittal includes construction and location layout details for a stormwater facility and utility improvements, including the location of proposed easements (Exhibit B). Tillamook County Public Works has reviewed the proposed construction plans and has provided additional comments also reflected in the recommended conditions of approval (Exhibit C).

#### **K. Nehalem Development Ordinance Section 157.510.05: Subdivision and Planned Developments Decision Criteria**

*(A) Each parcel shall satisfy the dimensional standards of the applicable zone, unless a variance from these standards is approved or the request is part of a Planned Development or Cottage Cluster Development.*

*(B) The parcels shall meet the Development Standards for Land Division of Section 157.404; or, specific requirements of a Planned Development or Cottage Cluster Development.*

(C) Existing buildings shall comply with the setback requirements of the applicable zone, unless a variance from the requirements is approved.

(D) Adequate public facilities, including access, shall be available to serve the existing and newly created parcels. The applicant shall design and install a water system to serve all lots or parcels within a development in accordance with Nehalem City Code Section 51.09 and shall connect those lots or parcels to the city's water system. Applicants are responsible for extending the city's water system to the development site and through the applicant's property to allow for the future connection of neighboring undeveloped properties that are suitably zoned for future development. If adjacent properties are undeveloped or landlocked, consideration will be given to extending appropriate access to those properties in accordance with adopted City policy.

(E) Planned Development. In addition to the criteria listed above, approval of a Planned Unit Development shall require compliance with the applicable development and layout provisions contained in Section 157.405 of this Ordinance.

(F) Cottage Cluster. In addition to the criteria listed above, approval of a Cottage Cluster Development shall require compliance with the applicable development and layout provisions contained in Section 157.406 of this Chapter.

#### **Findings:**

- Lot sizes and dimensions are included in the preliminary plat layout, confirming each lot meets or exceeds the minimum lot and dimension requirements of the Nehalem Mixed Density Residential (RM) Zone (Exhibit B).
- Setbacks for new development will be determined as part of zoning review for individual lot development. Aside from the newly constructed water reservoir, the subject property is vacant of improvements (Exhibit B).
- The preliminary plat confirms the required 50-foot buffer from the Farm (F-) Zone is and will continue to be maintained (Exhibit B).
- Applicant's narrative and submitted documentation confirms adequacy of facilities to serve "Riverview Meadows Phase 2" (Exhibit B).
- Requirements for public facility and infrastructure improvements are addressed throughout this report and recommended conditions of approval have been included to ensure compliance with city standards.
- "Riverview Meadows Phase 2" is not a cottage cluster or planned development.

#### **V. PUBLIC TESTIMONY:**

Comments received are included as "Exhibit C" of this report. Comments relevant to the applicable criteria will be addressed at the June 11, 2026, public hearing.

#### **VI. RECOMMENDED CONDITIONS OF APPROVAL FOR "RIVERVIEW MEADOWS PHASE 2" PRELIMINARY SUBDIVISION PLAT, CONDITIONAL USE AND GEOLOGIC HAZARD REPORT**

The Nehalem Development Ordinance Section 157.510.06 requires the applicant to file a Final Plat within two years of approval of the Preliminary Plat, unless an extension is granted as provided by Section 157.501.05. A request for an extension must be submitted 30 days prior to the expiration date of the approval period.

1. By accepting this approval, the applicant/owner agree to indemnify, defend, save and hold harmless Tillamook County, and its officers, agents, and employees from any claim, suit, action or activity undertaken under this approval, including construction under a Building Permit approved subject to this approval.
2. The applicant/owner shall obtain all necessary local, state and federal permits prior to construction and/or development, including an approved Floodplain Development Permit from the City of Nehalem for road improvements to Riverview Drive, a private road, and demonstration of compliance with State of Oregon fill/removal laws for development activities within mapped wetland areas, if applicable.
3. Prior to final plat approval, a copy of the updated Conditions, Covenants and Restrictions shall be provided to the Department of Community Development, City of Nehalem and the Tillamook County Public Works Department.
4. The applicant/owner shall meet the requirements of the City of Nehalem for water supply system design & construction. A letter of final approval from the City of Nehalem confirming satisfaction with construction of utility improvements is required for Final Plat approval. Letters of water service availability will be required at the time of development of each individual lot.

5. The applicant/owner shall meet the requirements of the Nehalem Bay Wastewater Authority for sanitary sewer system design & construction. A letter of final approval from the Nehalem Bay Wastewater Agency confirming satisfaction with construction of utility improvements is required for Final Plat approval. Letters of sewer service availability will be required at the time of development of each individual lot.
6. The applicant/owner shall obtain necessary permits and authorizations from the Tillamook County Public Works Department and shall comply with applicable City of Nehalem Development Ordinance standards for road construction and design, utility installation and stormwater facility design requirements deemed necessary to serve the development. A letter of final approval from the Tillamook County Public Works Department confirming improvements have been inspected and satisfactorily constructed is required for Final Plat approval. This includes the following requirements:
  - a) The record drawings shows that a portion of the newly constructed storm line between lots 68 & 69 (near the intersection with Pluto Drive & Kinlee Drive) indicates that the line is very close to the proposed easement. The applicant needs to modify the drainage easement between the two lots or provide a letter that the drainage pipe can be maintained without working outside of the easement.
  - b) Submit a detailed stormwater management plan to TCPW for review and approval. This document should be added to the CC&Rs as an appendix.
  - c) Submit a detailed road management plan to TCPW for review and approval. This document should be added to the CC&Rs as an appendix.
  - d) The Declaration of Covenant, Conditions, and Restrictions need to address road and stormwater facilities maintenance.
  - e) Submit road testing results to TCPW for acceptance prior to plat approval.
7. The applicant/owner shall implement the mitigation plan reviewed and accepted by the Oregon Department of Fish and Wildlife (ODFW) for development activities within the Bob's Creek riparian corridor. A letter from ODFW confirming the plantings have been completed is required for final plat approval.
8. The applicant/owner shall submit a statement from the project engineer, certifying facility and infrastructure improvements were constructed in a manner consistent with the requirements and recommendations outlined in Geologic Hazard Report #851-26-000056-PLNG. Certification is required for final plat approval.
9. The applicant/owner shall submit a statement or geologic hazard report addendum from the project engineer, certifying the proposed development plans for each individual lot meet the mandatory development requirements of the geologic hazard report at the time of consolidated zoning and building permit application submittal. Building permits shall not be issued until evidence is submitted to the Department confirming the proposed development plans, including accessory structures, meet the requirements of Geologic Hazard Report #851-26-000056-PLNG.
  - a) Site specific Geologic Hazard Reports are required at the time of individual lot development of Lots 43-52 and Lot 59.
10. The applicant/owner shall have all foundation, footing and other grading preparation activities for structural improvements inspected and approved by a registered geotechnical professional or their designee. A letter from the geotechnical professional or their designee shall be submitted to the Tillamook County Department of Community Development **prior to** a footing inspection by the County building inspector.
11. Development activities for construction of "Riverview Meadows Phase 2" and future individual lot development shall remove only that vegetation necessary to accommodate the proposed development. Natural vegetation shall remain in all areas not required for construction. Revegetation of all disturbed areas shall occur immediately following completion of any approved site development. All bare slopes shall be promptly revegetated to avoid erosion and sloughing. An appropriate fertilizer shall be used to speed the establishment of the cover material. A jute matting, straw cover, or other stabilization product shall be placed over the soil to protect against erosion, before the seeds are allowed to germinate. Native shrubs and trees shall be planted to contribute to the long-term stability of the site.

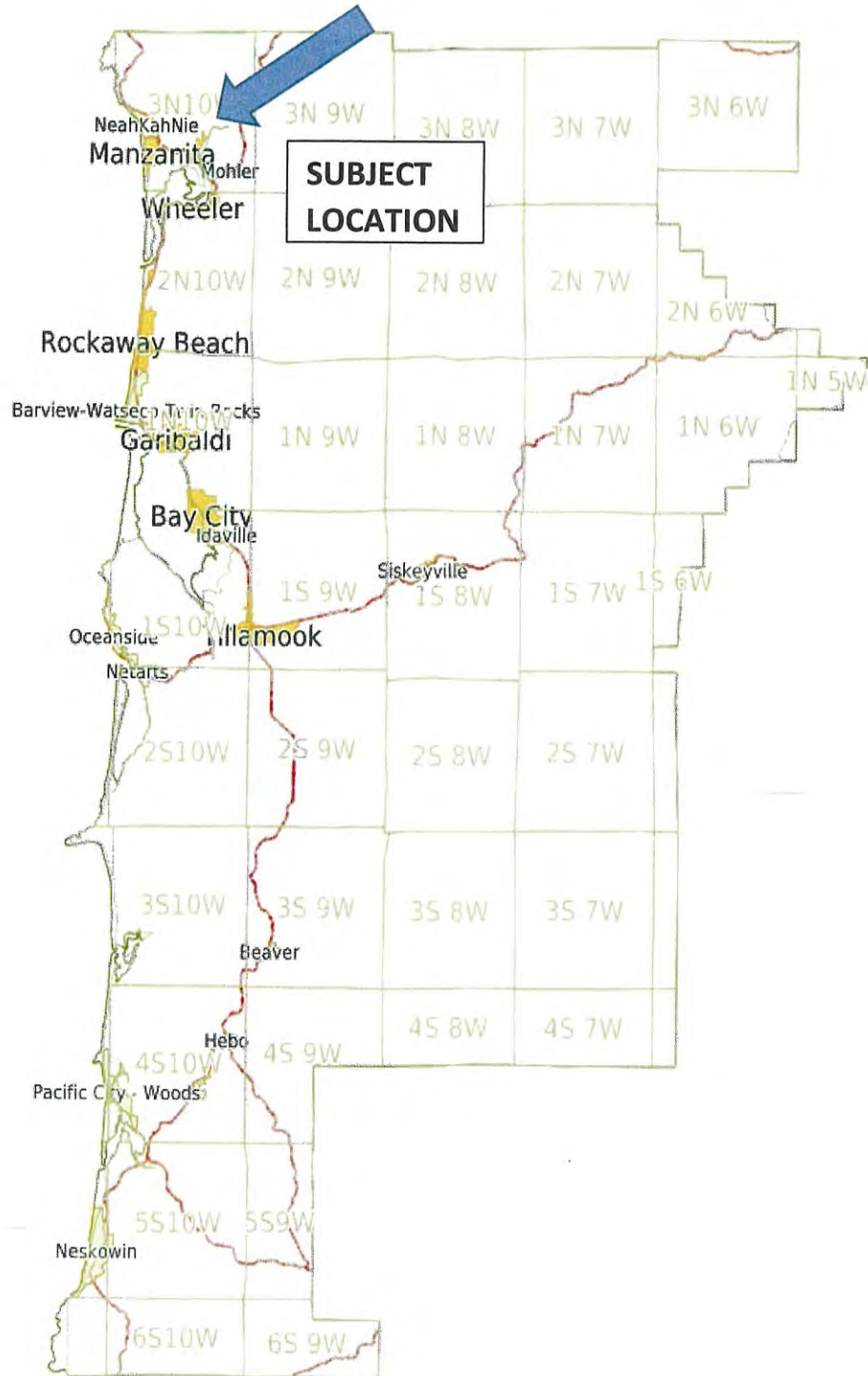
12. All excavated material shall be hauled off site to an approved upland location or place behind a retaining wall. No excavated material shall be used as sidehill fill.
13. The property owner shall periodically monitor site conditions and take actions to ensure individual lot development standards outlined in Geologic Hazard Report review #851-26-000056-PLNG are implemented and that these Conditions of Approval are met. The property owner shall supply the general contractor or builder with a copy of the Geologic Hazard Report at the time of individual lot development.
14. All taxes owed shall be paid in full prior to recording the final plat.
15. The applicant/owner shall comply with the requirements of the Tillamook County Surveyor's Office for final plat review and recording.
16. All easements shall be identified on the final plat. Easements shall have an indicated recorded reference and/or reference the owner's certification of dedication on the final plat.
17. Approval for "Riverview Meadows Phase 2", including Conditional Use Permit # 851-26-000139-PLNG and Geologic Hazard Report review #851-26-000056-PLNG are valid for two (2) years from the date of Planning Commission approval (June 11, 2026) and shall be void on (June 11, 2028), unless all conditions are met, or an extension of time is requested prior to expiration of these land use approvals.

**VI. EXHIBITS**

- A. Vicinity, Zoning, Assessors, Wetland, Flood and Hazard Maps
- B. Applicant's Submittal
- C. Public Comments

# EXHIBIT A

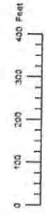
# VICINITY MAP



**#851-26-000055-PLNG:**

**RIVERVIEW MEADOWS PHASE 2**

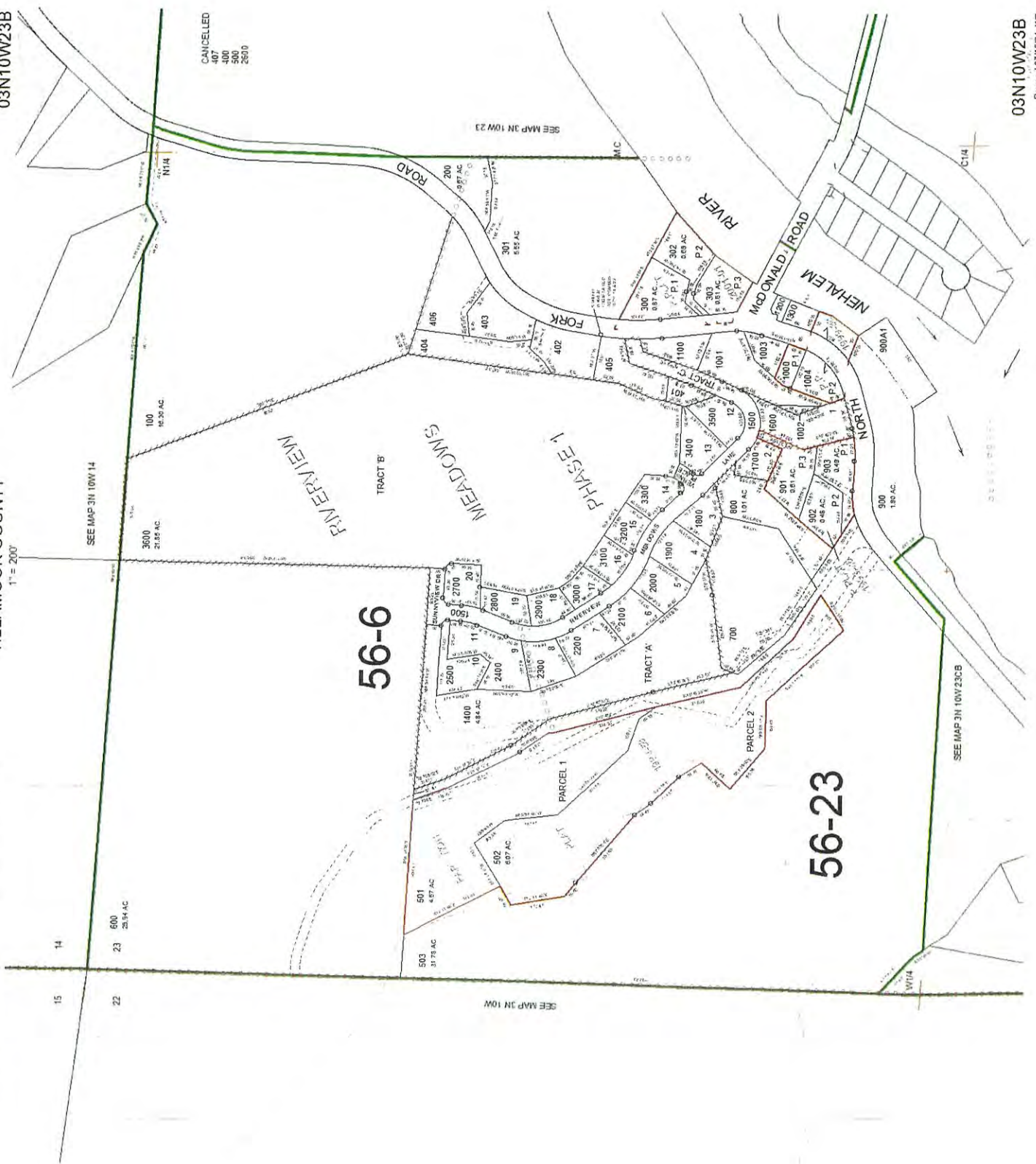
THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSE ONLY



N.W. 1/4 SEC. 23 T.3N. R. 10W. W.M.  
TILLAMOOK COUNTY

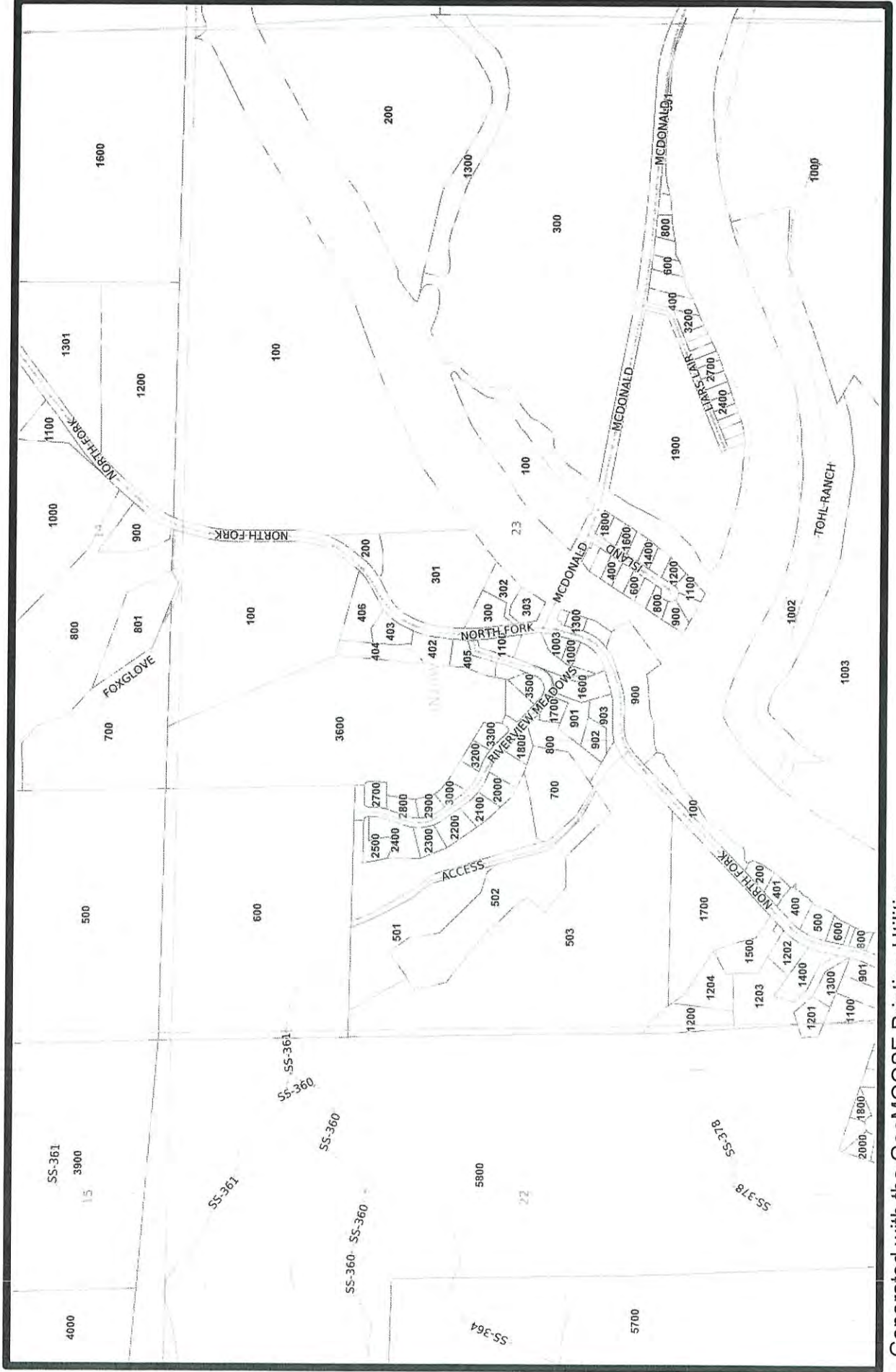
1" = 200'

03N10W23B



03N10W23B  
Revised 07/15/21, WS

# Map



# NEHALEM, OREGON

## CITY ZONING MAP

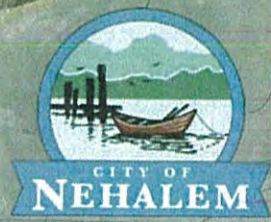
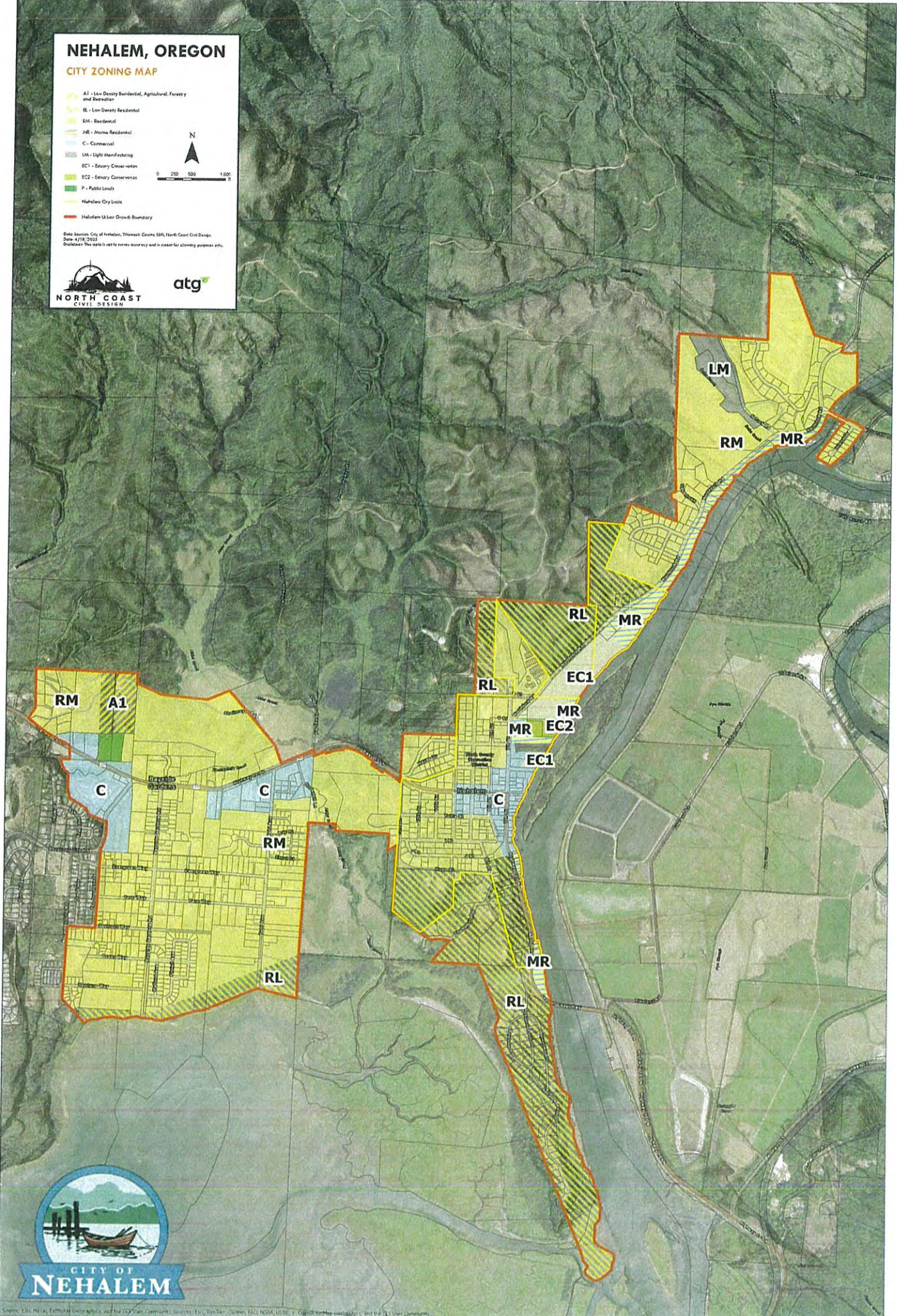
- A1 - Low Density Residential, Agricultural, Forestry and Recreation
- RL - Low Density Residential
- RM - Residential
- RM - Medium Residential
- C - Commercial
- LM - Light Manufacturing
- EC1 - Entry Corner-retail
- EC2 - Entry Corner-retail
- P - Public Lands
- Nahalem City Limits
- Nahalem Urban Growth Boundary



Date Issued: City of Nehalem, Thomas Centre, EPR, North Coast Civil Design  
Date: 4/18/2018  
Disclaimer: This map is not to be used for any other purpose than that for which it was prepared.



atg

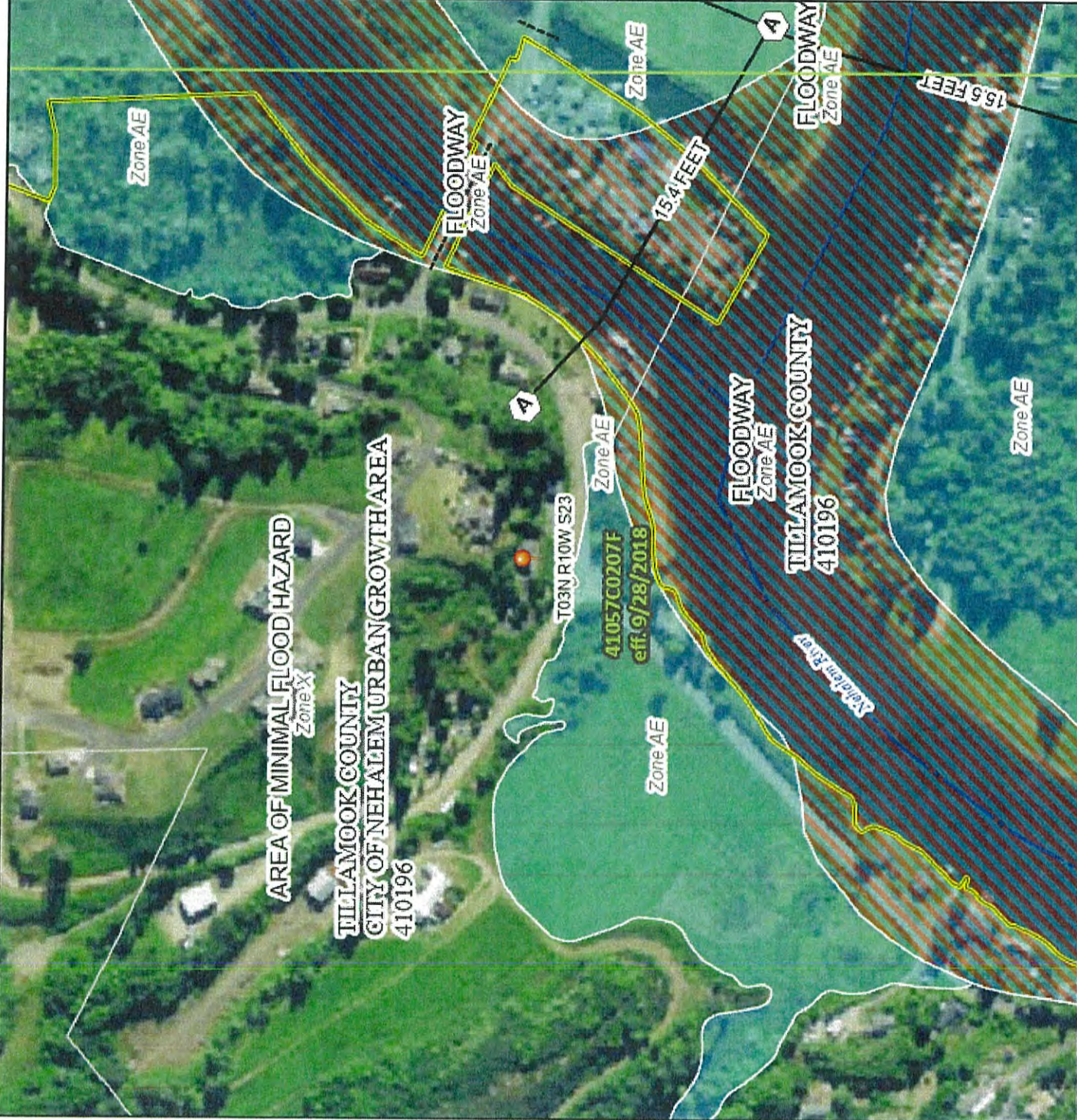


Source: City of Nehalem, Earthstar Geographics, and the USGS Open Channel, Sources: Esri, DeLorme, Garmin, IGN, Intermap, INRA, GEBCO, USGS, Terra, GeoEye, AeroGRID, IGN, and the GIS User Community

# National Flood Hazard Layer FIRMette



123°53'55"W 45°44'12"N



## Legend

SEE THIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

**SPECIAL FLOOD HAZARD AREAS**

- Without Base Flood Elevation (BFE) Zone A, V, ASS
- With BFE or Depth Zone AE, AO, AH, VE, AR
- Regulatory Floodway

**OTHER AREAS OF FLOOD HAZARD**

- 0.2% Annual Chance Flood Hazard, Area of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levee. See Notes. Zone X
- Area with Flood Risk due to Levee Zone D

**OTHER AREAS**

- NO SCREEN
- Area of Minimal Flood Hazard Zone X
- Effective LOMRS
- Area of Undetermined Flood Hazard Zone

**GENERAL STRUCTURES**

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

**OTHER FEATURES**

- Cross Sections with 1% Annual Chance Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

**MAP PANELS**

- Digital Data Available
- No Digital Data Available
- Unmapped

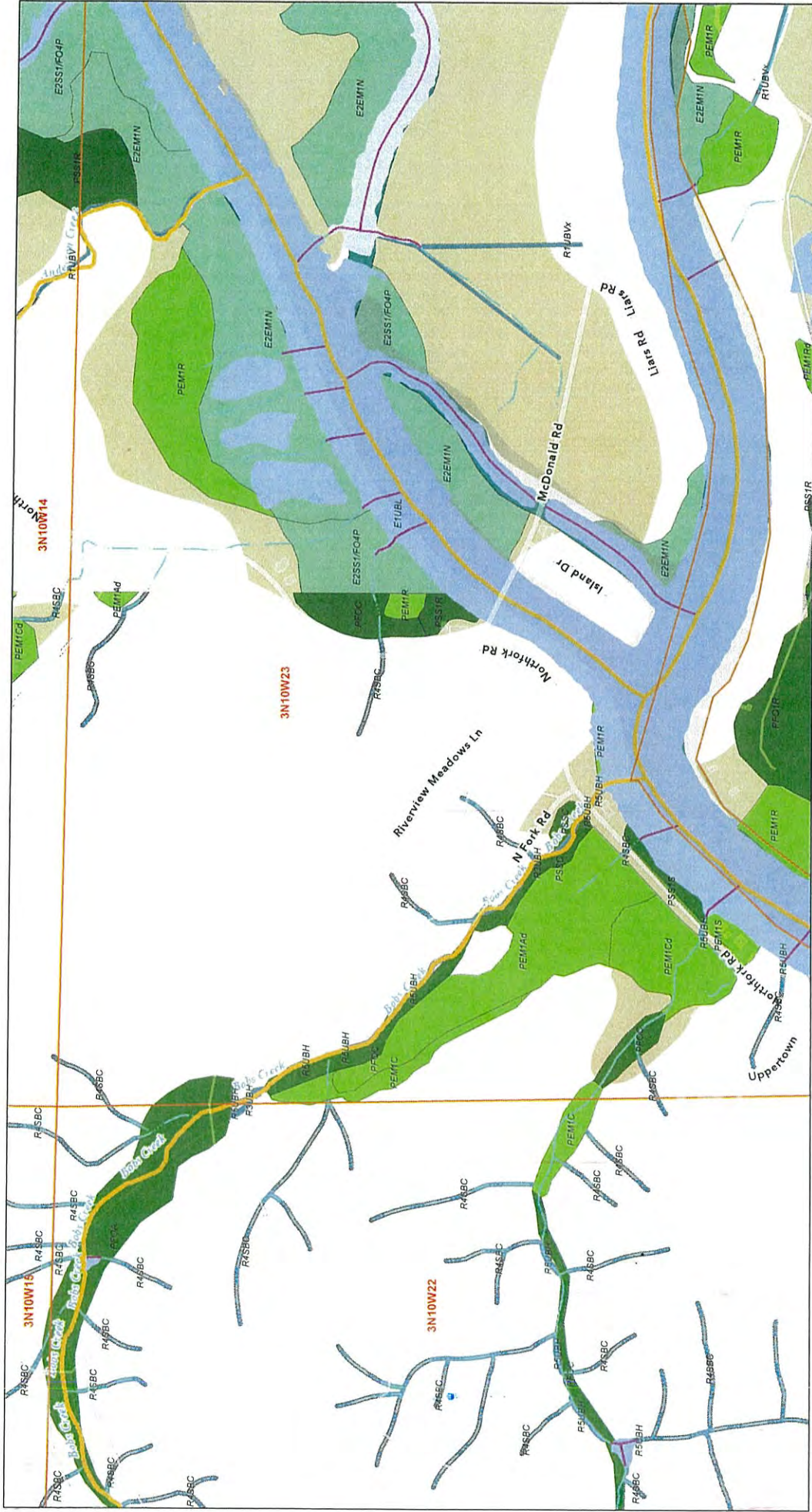
The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 5/27/2026 at 6:37 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

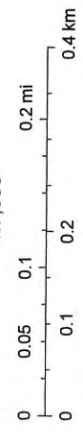
# Statewide Wetlands Inventory



5/27/2026, 11:52:53 AM

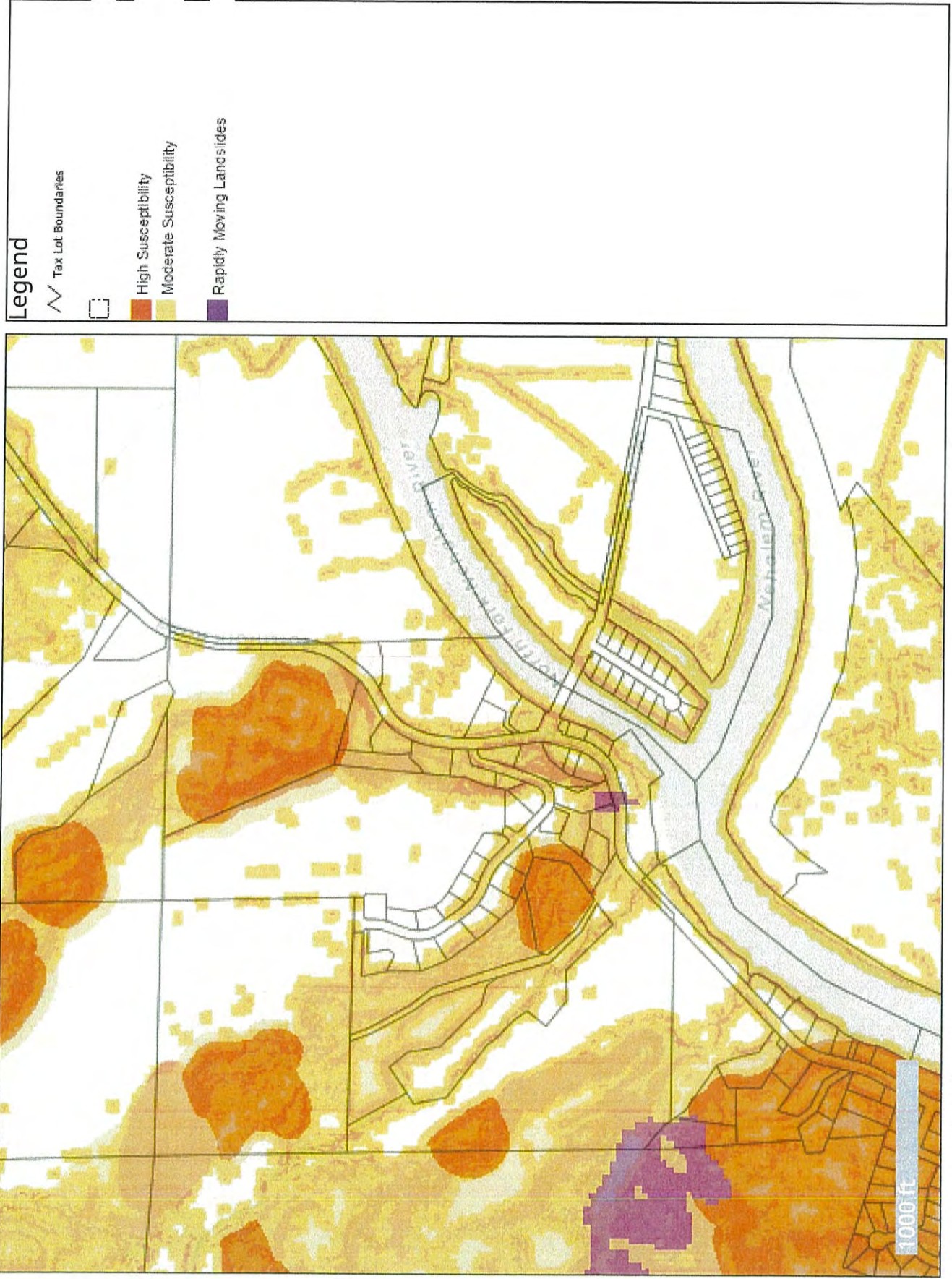
- Sections
- Essential Salmonid Habitat 2026 Large Scale
- Perennial
- Intermittent
- Artificial Path
- NHD Area
- NHD Waterbody
- USFWS National Wetlands Inventory NWI
- Estuarine and Marine Deepwater
- Estuarine and Marine Wetland
- Freshwater Emergent Wetland
- Freshwater Forested/Shrub Wetland
- Riverine
- SWI Predominantly Hydric Map Units

1:7,599



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, USGS, TNM, National Hydrography Dataset. Data Refreshed April, 2026.

# Riverview Meadows Phase 2



# EXHIBIT B

**RIVERVIEW MEADOWS**

**PHASE 2**

**#851-26-000055-PLNG**



## LAND DIVISION APPLICATION

**Applicant**  (Check Box if Same as Property Owner)

Name: Riverview Meadows Dev Phone: 503-805-8741  
 Address: 23765 SE Highway 212  
 City: Damascus State: OR Zip: 97089  
 Email: careysheldon17@yahoo.com (Tracy Brown, consultant -

**Property Owner**

Name: Phone:  
 Address:  
 City: State: Zip:  
 Email:

**Location:**

Site Address: Tract B Riverview Meadows Sub Phase 1, Document No. 2010-4288

Map Number:	3 North	10 West	23B	3600
	Township	Range	Section	Tax Lot(s)

**Land Division Type:**  Partition (Two or Three Lots, Type II)  Subdivision (Four or More Lots, Type III)  
 Preliminary Plat (Pages 1-2)  Final Plat (Page 3)

**PRELIMINARY PLAT (LDO 060(1)(B))**

- For subdivisions, the proposed name.
- Date, north arrow, scale of drawing.
- Location of the development sufficient to development sufficient to define its location, boundaries, and a legal description of the site.

- Existing streets with names, right-of-way, pavement widths, access points.
- Width, location and purpose of existing easements
- The location and present use of all structures, and indication of any that will remain after platting.
- Location and identity of all utilities on and abutting the site. If water mains and sewers are not on site, show distance to the nearest one and how they will be brought to standards
- Location of all existing subsurface sewerage systems, including drainfields and associated easements

**General Information**

- Parcel zoning and overlays
- Title Block
- Clear identification of the drawing as "Preliminary Plat" and date of preparation
- Name and addresses of owner(s), developer, and engineer or surveyor

**Existing Conditions**

- Ground elevations shown by contour lines at 2-foot vertical interval. Such ground elevations shall be related to some established benchmark or other datum approved by the County Surveyor
- The location and elevation of the closest benchmark(s) within or adjacent to the site
- Natural features such as drainage ways, rock outcroppings, aquifer recharge areas, wetlands, marshes, beaches, dunes and tide flats
- For any plat that is 5 acres or larger, the Base Flood Elevation, per FEMA Flood Insurance Rate Maps

<b>OFFICE USE ONLY</b>
Date Stamp <div style="border: 2px solid blue; padding: 5px; text-align: center;"> <b>RECEIVED</b>          MAR 30 2026          BY: <i>[Signature]</i> </div>
<input type="checkbox"/> Approved <input type="checkbox"/> Denied
Received by:
Receipt #:
Fees:
Permit No: 851-26-00055-PLNG

### Proposed Development

- Proposed lots, streets, tracts, open space and park land (if any); location, names, right-of-way dimensions, approximate radius of street curves; and approximate finished street center line grades. All streets and tracts that are being held for private use and all reservations and restrictions relating to private tracts identified
- Location, width and purpose of all proposed easements
- Proposed deed restrictions, if any, in outline form
- Approximate dimensions, area calculation (in square feet), and identification numbers for all proposed lots and tracts
- Proposed uses of the property, including all areas proposed to be dedicated as public right-of-way or reserved as open space
- On slopes exceeding an average grade of 10%, as shown on a submitted topographic survey, the preliminary location of development on lots demonstrating that future development can meet minimum required setbacks and applicable engineering design standards
- Preliminary utility plans for sewer, water and storm drainage when these utilities are to be provided
- The approximate location and identity of other utilities, including the locations of street lighting fixtures, as applicable
- Evidence of compliance with applicable overlay zones, including but not limited to the Flood Hazard Overlay (FH) zone
- Evidence of contact with the applicable road authority for proposed new street connections
- Certificates or letters from utility companies or districts stating that they are capable of providing service to the proposed development

### Additional Information Required for Subdivisions

- Preliminary street layout of undivided portion of lot
- Special studies of areas which appear to be hazardous due to local geologic conditions
- Where the plat includes natural features subject to the conditions or requirements contained in the County's Land Use Ordinance, materials shall be provided to demonstrate that those conditions and/or requirements can be met
- Approximate center line profiles of streets, including extensions for a reasonable distance beyond the limits of the proposed Subdivision, showing the proposed finished grades and the nature and extent of construction
- Profiles of proposed drainage ways
- In areas subject to flooding, materials shall be submitted to demonstrate that the requirements of the Flood Hazard Overlay (FHO) zone of the County's Land Use Ordinance will be met
- If lot areas are to be graded, a plan showing the nature of cuts and fills, and information on the character of the soil
- Proposed method of financing the construction of common improvements such as street, drainage ways, sewer lines and water supply lines

- FINAL PLAT (LDO 090(1))
- Date, scale, north arrow, legend, highways, and railroads contiguous to the plat perimeter
- Description of the plat perimeter
- The names and signatures of all interest holders in the land being platted, and the surveyor
- Monuments of existing surveys identified, related to the plat by distances and bearings, and referenced to a document of record
- Exact location and width of all streets, pedestrian ways, easements, and any other rights-of-way
- Easements shall be denoted by fine dotted lines, and clearly identified as to their purpose
- Provisions for access to and maintenance of off-right-of-way drainage
- Block and lot boundary lines, their bearings and lengths
- Block numbers
- Lot numbers
- The area, to the nearest hundredth of an acre, of each lot which is larger than one acre
- Identification of land parcels to be dedicated for any purpose, public or private, so as to be distinguishable from lots intended for sale

**Certificates:**

- Title interest & consent       Water
- Dedication for public use       Public Works
- Engineering/Survey

Additional Information:

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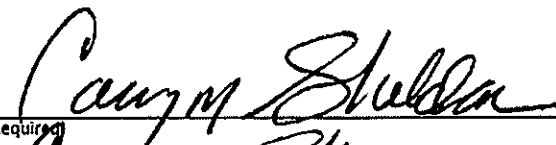
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**Authorization**

This permit application does not assure permit approval. The applicant and/or property owner shall be responsible for obtaining any other necessary federal, state, and local permits. Within two (2) years of final review and approval, all final plats for land divisions shall be filed and recorded with the County Clerk, except as required otherwise for the filing of a plat to lawfully establish an unlawfully created unit of land. The applicant verifies that the information submitted is complete, accurate, and consistent with other information submitted with this application.

  
 \_\_\_\_\_  
 Property Owner (\*Required)      Date NOV 17<sup>th</sup> 2025

  
 \_\_\_\_\_  
 Applicant Signature      Date Nov 17<sup>th</sup> 2025

**RECEIVED**  
MAR 30 2026  
BY: *SAT*

**PROJECT NARRATIVE**  
**RIVERVIEW MEADOWS SUBDIVISION**  
**PHASE 2**  
**T3N, R10W, Section 23B, Tax Lot 3600**

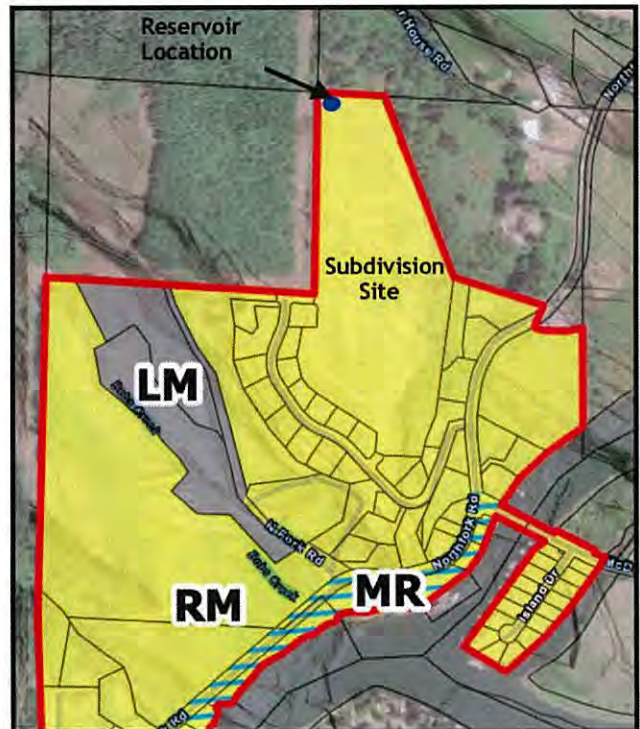


Prepared by  
Tracy Brown Planning Consultants, LLC  
Revised March, 2026

## I. Introduction

The proposed subdivision is part of the planned progression of land use development for this area of the City of Nehalem. The subject property is located within the Nehalem Urban Growth Boundary but is currently outside the city limits. Riverview Meadows Development, LLC requests land use approval to construct Phase 2 of the Riverview Meadows Subdivision, consisting of a total of 74 residential lots. In addition to the residential lots, three tracts are proposed: Tract D, which will contain a proposed water reservoir; Tract E, designated as private open space; and Tract F, which will accommodate the proposed private road system.

The plans and all relevant materials submitted with the current application are generally the same as those previously reviewed and approved by the Tillamook County Planning Commission, including Phase 2 of the subdivision (#851-21-000415-PLNG) and the associated Geologic Hazard Report (#851-21-000414-PLNG), approved on October 25, 2022, and Phase 3 of the subdivision, approved on June 20, 2023 (#851-23-000009-PLNG). Due to the time required to complete the necessary infrastructure improvements, these approvals expired prior to recording the final plat, which necessitates submission of the current application. The current proposal consolidates all remaining lots into a single development phase identified as Phase 2 of Riverview Meadows.



The project site consists of a single parcel located at Township 3 North, Range 10 West, Section 23B, Tax Lot 3600. The property comprises the northern portion of Tract B of Riverview Meadows Subdivision Phase 1, recorded as Document No. 2010-4288. Moderately steep slopes are located along the northeastern portion of the site. The property is zoned RM (Mixed Density Residential) by the City of Nehalem, and the applicant proposes development of single-family detached dwellings, which are permitted within this zoning designation. The subject property is bordered by RM-zoned properties to the south, Farm (F-1) zoned properties under Tillamook County jurisdiction to the north and east, and Forest (F) zoned property to the west.

Access to the site is provided by an extension of Riverview Meadows Lane, a private road extending from Northfork Road and constructed as part of the Riverview Meadows Phase 1 subdivision improvements. In addition, as documented in the prior approvals, the applicant has constructed a new public access road, "Riverview Drive," which intersects

with Northfork Road and is located west of Riverview Meadows Lane. Riverview Drive will serve as the primary access for the development. As previously established, Riverview Drive provides a superior alignment and design compared to the originally approved access route (Riverview Meadows Drive) and is proposed to be privately maintained. All required easements necessary for construction and use of this access have been secured.

As part of the subdivision development, the applicant is constructing a new 84,000-gallon water reservoir on Tract D at the north end of the property. This facility is designed to provide adequate domestic water pressure and fire flow for the subdivision and will also interconnect with the City of Nehalem's existing water distribution system, providing additional system benefits to this area.

The applicant intends to record Covenants, Conditions, and Restrictions (CC&Rs) and establish a Homeowners' Association concurrent with recording of the final plat.

## **II. Project Status and Summary of Work Completed**

As noted above, Phase 2 of the original application was approved on October 25, 2022 and Phase 3 was approved on June 20, 2023. Following these approvals the applicant began to work with his consultant team to prepare construction plans for the various systems. Following completion of these plans, the applicant began constructing required improvements. Due to length of time required to construct onsite improvements and the time it took to receive approval of the water reservoir plans, tentative plat approval expired. At this point all underground work has been completed and the roads are paved. The owner is waiting for the utility district to install transformers and install wiring. Work is progressing on the water reservoir with completion expected in the next couple of months.

Below is a chronology of the steps involved and progress made to date on these improvements:

- June 6, 2022 - Engineer starts work on water reservoir design.
- September 25, 2023 - DEQ issues 1200-C Permit for grading and erosion control.
- October 13, 2023 - Construction Plans submitted to City Nehalem for review.
- December 10, 2023 - City of Nehalem approves Construction Plans.
- May 18, 2024 - Erosion control measures installed.
- June, 2024 - Underground pipe work started (1. sanitary sewer, 2. water, 3. storm, 4. dry utilities, 5. street light conduits.
- October 4, 2024 - Initial sewer line testing.
- June, 2025 - Roads rocked and proof rolled (Engineer conducts periodic inspections).
- June 30, 2025 - Water lines tested as final.
- August 8, 2025 - Road paving completed.
- October 13, 2025 - Sewer manhole testing completed.
- September 4, 2025 - City issues zoning approval for water reservoir.
- September, 2025 - Light fixtures bases installed.
- September, 2025 - Site is hydro-seeded to minimize erosion.
- September, 2025 - Site preparation begins for water reservoir.

- September, 2025 - Special geotechnical report prepared for the water reservoir and submitted to County.
- October 8, 2025 - DSL concurrence of wetland delineation
- October 16, 2025 - Building permit application submitted to County requesting approval to construct water reservoir pump house/service building. Currently waiting for approval.
- October 23, 2025 - Geologic Hazard Review permit for the water reservoir issued by the County.
- October 31, 2025 - Assignment of address with Tillamook County for pump station permit
- November 12, 2025 - City of Nehalem finalizes review of water reservoir plans and Project Engineer stamps plans as approved.
- November 4, 2025 - Pump station permit applied for.
- November 15, 2025 - Construction of water reservoir begins (a total of five, 5-foot rings are poured).
- December 18, 2025 - Water reservoir roof is poured.
- January 12, 2026 - Revised access permit submitted to County
- February 4, 2026 - State of Oregon Building Division approves pump station permit
- February 5, 2026 - Tillamook County Public Works approves Riverview Meadows Drive approach permit.
- March 3, 2026 - Tillamook County approves pump station permit.

### III. Application Approval Requests

The applicant requests the following approvals with this application:

- Preliminary Plat Subdivision Review

### IV. Items Submitted With This Application

Exhibit A - Land Use Application

Exhibit B - Project Narrative

Exhibit C - Preliminary Plat

Exhibit D - Civil Plans

- Sheet 1 - Cover Sheet
- Sheet 2 - Notes
- Sheet 3 - Roadway Alignments
- Sheet 4 - Field Topography
- Sheet 5 - Storm Drain System
- Sheet 6 - Grading South Area
- Sheet 7 - Grading North Area
- Sheet 8 - Utility Layout - South
- Sheet 9 - Utility Layout - North

Offsite Improvements

- Sheets R1 - R3 - Riverview Drive Grading
- Sheet R4 - Riverview Drive Profile
- Sheets R5 - R12 - River Drive

Subdivision Improvements

- Sheets C1 - C8 - Coltree Drive
- Sheets K1 - K6 - Kinlee Drive

- Sheets M1 - M2 -Meeka Drive
  - Sheets P1 - P2 - Pluto Drive
  - Sheet D1 - Sewer Details
  - Sheet D2 - Water Details
- Exhibit E - Geologic Hazard Report Update (revised 3/12/26)  
 Exhibit F - Engineering Site Preparation Update (revised 3/14/26)  
 Exhibit G - Drainage Calculations  
 Exhibit H - Traffic Analysis Update Memorandum (12/29/25)  
 Exhibit I - Proposed CC&R  
 Exhibit J - Service Provider Letters
- Nehalem Bay Wastewater Agency
  - Tillamook Peoples Utility District
  - Nehalem Bay Fire and Rescue District
  - City of Nehalem, Water Service Availability
- Exhibit K - Facilities Certifications
- Certificate of water line completion (Morgan Engineering)
  - Certificate of sewer line completion (Morgan Engineering)
  - OHA Water System Approval Letter
- Exhibit L - Erosion Control Plan (9 sheets)  
 Exhibit M - Nehalem Bay Wastewater Authority Approval Letter (3/11/26)  
 Exhibit N - Roads Certification Letter, Morgan Civil Engineering (3/14/26)  
 Exhibit O - Riverview Meadows Drive Approach Permit  
 Exhibit P - Bob's Creek Riparian Mitigation Plan

**V. Review of Applicable Approval Criteria**

Subdivision applications are required to comply with the code criteria found in the City of Nehalem Subdivision Ordinance and Zoning Ordinance. Each of the relevant code sections are reviewed below. Each relevant code section is written in regular text followed by a response written in italics.

**City of Nehalem**

**Article II - Zones and Zoning Regulations**

**157.201.01 - Mapping of Zones**

(A) Zoning maps. The boundaries of zoning districts within the city limits are shown upon the maps entitled "City of Nehalem Zoning Map." The boundaries of zoning districts within the urban growth boundary, but outside the city limits, are shown on the "Tillamook County Zoning Map."

(B) City zoning map. The official "Zoning Map" shall be maintained on file in the office of the City Manager as long as this chapter remains in effect. Amendments thereto shall be endorsed on the map with the number of the ordinance by which the change was made. Failure to revise the map shall not affect the validity of any zone change. (Ord. 2023-05, passed 10/09/2023)

*Response: As shown on the Nehalem Zoning Map (4/18/25), the subject property is zoned RM, Mixed Density Residential.*

**157.205 - Mixed Density Residential - RM Zone**

**157.205.02 - Permitted Uses**

The following uses and their accessory uses are permitted outright:

- (A) Single-family housing.
- (E) Park and publicly owned recreation areas.

*Response: Single family dwellings are proposed to be constructed on these lots. In addition, a privately owned and maintained park is proposed in Phase 2. These uses are permitted in the RM zone.*

#### **157.205.05 - Dimensional standards**

Unless otherwise required by this chapter, the following minimum dimensional standards shall be required for all development in the RM Zone:

- (A) Minimum lot size.
  - (1) Single-family home, duplex, or triplex - 5,000 square feet.
  - (7) Nonresidential uses - Sufficient area to comply with setback, parking, landscaping and other development standards. Inability to comply with this provision shall not form the basis for a variance request.

*Response: As shown on submitted plans, all lots comply with the dimensional standards of this section. These standards are met.*

#### (D) Minimum lot dimensions.

- (1) Lot width - 40 feet; except as follows:
  - (a) Corner lot - 60 feet along each street frontage.
  - (2) Lot depth - 85 feet; except townhouse lots shall have a minimum lot depth of 75 feet.

*Response: As shown on submitted plans, all lots comply with the dimensional standards of this section. These standards are met.*

#### (E) Minimum setback (residential).

- (1) Front yard - 15 feet; 10 feet for cottage cluster dwellings.
- (2) Street side yard - 15 feet; 10 feet for cottage cluster dwellings.
- (3) Side yard - five feet minimum; 12 feet both sides combined. For lot or parcel lines where townhouse units are attached, the minimum side yard shall be zero feet.
- (4) Rear yard - 15 feet; 10 feet for cottage cluster dwellings and corner lots.

*Response: All lots are compatible of complying with the setbacks in this section. The specific requirements of this section will be evaluated with submission of building permit to construct homes on these lots.*

#### (F) Minimum setback (nonresidential).

- (1) Front yard - 15 feet.
- (2) Street side yard - 15 feet.
- (3) Side yard - 10 feet minimum plus one additional foot for each foot that the building height exceeds 20 feet.
- (4) Rear yard - 15 feet; corner lot may be 10 feet.

*Response: The proposed water reservoir and accessory buildings comply with the requirements of this section. These standards are met.*

(G) Maximum building height. The maximum building height shall be 30 feet, except that building heights of up to 35 feet may be authorized for conditional uses as part of the conditional use review and approval process.

- (H) Maximum lot coverage.
- (I) Single-family home - 60%.

*Response: All structures will be designed and constructed in compliance with these standards.*

#### **157.205.06 - Development standards**

All development in the RM Zone shall comply with the applicable provisions of this chapter. The following references additional development requirements:

- (A) Off-street parking. Parking, driveway and loading improvements shall comply with provisions in § 157.403 of this chapter.
- (B) Signs. Signs in the RM Zone shall conform to the standards contained in § 157.409 of this chapter.
- (C) Yards and lots. Yards and lots shall conform to provisions contained in § 157.443 of this chapter.
- (D) Fencing. Fences shall conform to provisions contained in § 157.444 of this chapter.
- (E) Shoreline and aquatic area. Development shall be in accordance with the provisions in § 157.441 of this chapter.
- (F) Buffers adjacent to land zoned EFU by Tillamook County. Property adjacent to land zoned EFU by Tillamook County shall be subject to provisions in § 157.442 of this chapter.
- (G) Exterior lighting. Any exterior lighting, including lights attached to a building, shall not shine directly on adjacent residential property.
- (H) Other. A property owner is advised other regulations may apply for property in the floodplain (§ 157.210 of this chapter) and geological hazard areas (§ 157.440 of this chapter). In addition, new uses and significant expansions may be subject to a site development review (§ 157.509 of this chapter).

*Response: As noted above, the subject property is located adjacent to land zoned Farm (F-1) comparable to EFU zoning to the north and a portion of the east property lines. A review applicable standards are contained below. All structures will be designed and constructed in compliance with these standards.*

### **Article IV - Development Requirements**

#### **157.401 - General Provisions**

##### **157.401.01 - Purpose**

The purpose of this subchapter is to:

- (A) Carry out the Comprehensive Plan with respect to development standards and policies. Ensure that natural features of the landscape, such as landforms, natural drainage-ways, trees, and wooded areas, are preserved as much as possible and protected during construction.
- (B) Promote and maintain healthy environments and minimize development impacts upon surrounding properties and neighborhoods.

*Response: The proposal complies with all requirement of this section.*

##### **157.401.02 - Application of standards**

- (A) Application. The standards set forth in this subchapter shall apply to single-family dwellings, duplexes, triplexes, quadplexes, townhouses, cottage clusters, multifamily dwellings, land divisions, commercial and industrial projects.

**Response:** *The proposed subdivision is intended to be developed with single-family dwellings.*

- (B) Alternatives to standards. The application of these standards to a particular development shall be modified as follows:
- (1) Development standards which are unique to a particular use, or special use, shall be set forth within the zone or in this section.
  - (2) Those development standards which are unique to a particular zone shall be set forth in the section governing that zone.

**Response:** *The application does not require any modifications to these standards.*

- (C) Organization. This subchapter is organized as follows:
- (1) Standards that apply to all zones, such as street standards or sign regulations, are in §§ [157.402](#) to [157.409](#) of this chapter.
  - (2) Standards that apply to specific development or activities, such as a residential accessory building or bed and breakfast establishment, are in §§ [157.420](#) to [157.432](#) of this chapter.
  - (3) General standards that apply to a variety of developments or uses, such as fences or construction in geologically sensitive areas, are found in §§ [157.440](#) to [157.445](#) of this chapter. (Ord. 2023-05, passed 10/09/2023; Ord. 2025-04, passed 06/09/2025)

**Response:** *All applicable sections have been addressed in this narrative.*

### **157.401.03 - Application of public facility standards**

Standards for the provision and utilization of public facilities or services available within the City of Nehalem shall apply to all land developments in accordance with the requirements of the City Public Works Department and City Engineer. No development permit shall be approved unless the required improvements are provided prior to occupancy or operation, or unless future provision is assured through a bond, deposit, agreement, or similar instrument approved by the city.

**Response:** *The applicant is aware of the requirements of this section.*

### **157.402 - Street Standards**

#### **157.402.01 - Purpose**

- (A) To provide for safe, efficient, convenient multi-modal movement in the City of Nehalem.
- (B) To provide adequate access to all proposed developments in the City of Nehalem.
- (C) To provide adequate area in all public rights-of-way for sidewalks, bikeways, sanitary sewers, storm sewers, water lines, natural gas lines, power lines, and other utilities commonly and appropriately placed in such rights-of-way.

**Response:** *All of these requirements are addressed below.*

#### **157.402.02 - General provisions**

##### **(A) General**

- (1) The location, width and grade of streets shall be considered in their relation to existing and planned streets, to topographical conditions, to public convenience and safety and to the proposed use of land to be served by the streets.

- (2) The street system shall assure an adequate traffic circulation system with intersection angles, grades, tangents, and curves appropriate for the traffic to be carried considering the terrain.
- (3) Where location is not shown in a development plan, the arrangement of streets shall either:
  - (a) Provide for the continuation or appropriate projection of existing principal streets in surrounding areas; or
  - (b) Conform to a plan for the neighborhood adopted by the city to meet a particular situation where topographical or other conditions make continuance or conformance to existing streets impractical.

*Response: The proposed street system is designed as a continuation of streets approved and construction with Phase 1 of Riverview Meadows Subdivision. In addition, the applicant has proposed construction of a new road to serve the development (Riverview Drive). This standard is met.*

(B) Minimum right-of-way widths

- (1) Street rights-of-way and improvements shall be the widths and standards listed in the Minimum Right-of-Way Widths Table below.
- (2) The width of a required right-of-way shall be determined by the city based upon, but not limited to, the following factors:
  - (a) Street classification, if any, listed within the Comprehensive Plan, Transportation System Plan and/or this chapter;
  - (b) Anticipated traffic generation;
  - (c) On-street parking needs;
  - (d) Sidewalk and bikeway requirements based on anticipated level of use;
  - (e) Requirements for placement of utilities;
  - (f) Street lighting;
  - (g) Minimize drainage, slope and sensitive lands impacts, as identified within § 157.406 of this chapter;
  - (h) Safety and comfort for motorists, bicyclists and pedestrians;
  - (i) Access needs for emergency vehicles;
  - (j) Street furnishings (e.g., benches, lighting, bus shelters) when provided;
  - (k) Transition between different street widths (i.e., existing streets and new streets), as applicable; and
  - (l) Other relevant criteria.

*Response: All roads are proposed and classified as local streets. This standard is met.*

- (3) Right-of-way classifications, as used herein, shall be construed to mean the following:
  - (a) Arterial street. Carries most of the traffic through or into the city; provides access to the most intensive areas of the city;
  - (b) Collector street. Distributes traffic from arterial streets into residential streets and are intermediate in size, between arterial and residential streets;
  - (c) Residential street. Serves as direct access to abutting properties and are not intended to provide through traffic movements as do arterial and collector streets;
  - (d) Private street. Street that is not intended, nor shall become a public street with no possibility of through traffic and with adequate turnarounds; and

- (e) Driveway. A private lane that shall not serve more than two residential units. Additional units may require the conversion of the driveway to a private or public street. Triplex, quadplex, townhouse projects, and cottage cluster are exempt from this standard and subject to §§ [157.423](#), [157.422](#), and [157.423](#) of this chapter.

**Response:** *All streets are classified as private local streets intended to serve the proposed development. This standard is met.*

(C) Alignment

- (1) As far as is practical, streets other than minor streets shall be in alignment with existing streets by continuations of the centerlines thereof.
- (2) Staggered street alignment resulting in “T” intersections shall leave a minimum distance of 150 feet between the centerlines of streets having approximately the same direction.

**Response:** *The proposed street system is designed as a continuation of streets approved and constructed as part of Phase 1 improvements. In addition, the location of the proposed new access road, Riverview Drive, intersecting North Fork Road was reviewed and approved by County Public Works. This standard is met.*

(D) Future street extension

- (1) Cul-de-sac and dead-end streets are prohibited unless street continuation is precluded by one or more of the following barriers:
- (a) Topography (steep slopes greater than 25%);
  - (b) Highway right-of-way;
  - (c) Pre-existing development patterns preclude street connections;
  - (d) Regulated streams, wetlands, waterways, coastal resources, or other sensitive habitat;
- (2) Reserve strips including street plugs may be required to preserve the objective of street extensions.
- (3) Where cul-de-sacs and dead-end streets are permitted, they should not exceed 300 feet in length, except in cases where physical barriers are present.
- (4) The cul-de-sac or dead-end street shall provide, or not preclude the opportunity to later install, a pedestrian and bicycle access way between it and adjacent developable lands.

**Response:** *Because the subject property borders the Nehalem Urban Growth Boundary on three sides (north, east, and west), no future street extensions are proposed or required. This standard is met.*

(E) Intersection angles.

- (1) Streets shall intersect at angles as near to right angles as practical except where topography requires a lesser angle; but in no case shall the acute angle be less than 80 degrees, unless there is a special intersection design, or the corner radius is increased to allow for safe turning.
- (2) An arterial or collector street intersecting with another street shall have at least 100 feet of tangent adjacent to the intersection unless topography or other unusual circumstances require a lesser distance.

- (3) Other streets, except alleys, shall have at least 50 feet of tangent adjacent to the intersection unless topography or other unusual circumstances require a lesser distance.
- (4) Intersections which contain an acute angle of less than 80 degrees, or which include an arterial street, shall have a minimum corner radius sufficient to allow for a roadway radius of 20 feet and maintain a uniform width between the roadway and the right-of-way line.
- (5) Unless otherwise modified per § 157.402.03 of this chapter, the intersection of more than two streets at any one point will not be approved.

*Response: The majority of street intersections are designed at a 90 degree angle, except where site topography and lot configurations require slight modifications. This standard is met.*

- (F) Existing streets. Whenever existing streets adjacent to or within a tract are of inadequate width, additional right-of-way shall be provided at the time of the land division.

*Response: As noted above, the proposed street system represents a continuation of existing streets approved and constructed as part of Phase 1 improvements. This standard is met.*

- (G) Half streets.

- (1) Half streets shall be prohibited, except where essential to the reasonable development of the subdivision or partitions if they are in conformity with the other requirements of these regulations when the Planning Commission finds it will be practical to require the dedication of the other half when the adjoining property is divided.

- (2) Whenever a half street is adjacent to a tract to be divided, the other half of the street shall be platted within the tract.

- (3) Reserve strips may be required to preserve the objectives of half streets.

*Response: No half-streets are proposed. This standard is not applicable.*

- (H) Grades and curves.

- (1) Grades shall not exceed 6% on arterials, 10% on collector streets or 12% on other streets.

- (2) Centerline radii of curves shall be no less than 300 feet on major arterials, 200 feet on secondary arterials or 100 feet on other streets and shall be to an even 10 feet.

- (3) Where existing conditions, particularly the topography, make it otherwise impractical to provide buildable sites, the Planning Commission may accept steeper grades and sharper curves.

- (4) In flat areas, allowance shall be made for finished street grades having a minimum slope of at least 0.5%.

*Response: All streets are proposed as local streets. All proposed streets contain a grade of less than 12 percent as required and comply with the centerline radii requirements in compliance with this standard. This standard is met.*

- (I) Street names. The city shall approve all street names for conformance with the established pattern and to avoid duplication and confusion.

**Response:** All streets names have been previously reviewed and approved by Tillamook County as required. This standard is met.

(J) Private streets.

- (1) The design and improvement of any private street shall be subject to all requirements prescribed by this chapter for public streets.
- (2) Private streets shall be named per provisions in division [\(I\)](#) above.
- (3) Provision for the maintenance of a private street shall be provided in the form of a maintenance agreement, homeowners' association, or similar instrument acceptable to the city. The applicable document shall be recorded against the deed record of each lot or parcel, and if appropriate, placed on the final plat.
- (4) A turn-around shall be required for any private street which is the sole access, and which is either more than 150 feet or which serves more than one dwelling. Turn-arounds shall comply with the design provisions of the applicable fire district.

**Response:** All streets within the proposed development will be private owed and maintained, the same as streets approved with Phase 1 of the development. As shown on submitted plans, all streets serving proposed lots will be constructed to include 25 feet of paved surface with a 2-foot wide gravel shoulder on each side within a 50-foot wide right-of-way easement. Riverview Drive intersecting North Fork Road has been designed to serve as the primary access for the development and is constructed with a 24-foot paved surface and a 2-foot wide gravel shoulder on each side within a 50-foot easement. As noted above, all street names will be approved by Tillamook County. Maintenance of the proposed private streets will be shared by the owners of all lots within the development as detailed in the CC&R and Homeowner's Association established for the subdivision. This standard is met.

(K) Private access easement. A private access easement created as the result of an approved land division shall conform to the following:

**Response:** No private access easements are proposed or required.

### **157.402.03 - Modification of right-of-way and improvement width**

The city may allow modification to the public street standards of § [157.402.02](#) of this chapter when the following criteria of both divisions [\(A\)](#) and [\(B\)](#) are satisfied:

- (A) The modification is necessary to provide design flexibility in instances where:
- (1) Unusual topographic conditions require a reduced width or grade separation of improved surfaces;
  - (2) Parcel shape or configuration precludes accessing a development with a street which meets the full standards of this chapter; or
  - (3) A modification is necessary to preserve trees or other natural features determined by the city to be significant to the aesthetic character of the area.
- (B) Modification of the standards of § [157.402.02](#) of this chapter shall only be approved if the city finds that the specific design proposed provides adequate vehicular access based on anticipated traffic volumes. (Ord. 2023-05, passed 10/09/2023)

**Response:** No modifications to these standards are proposed or required.

### **157.402.04 - Construction specifications**

Construction specifications for all public streets shall comply with the criteria of the most recently adopted standards of the City of Nehalem.

*Response: As noted above, no public streets are proposed. All private streets within the development have been designed and built according to City standards. This standard is met.*

#### **157.402.05 - Sidewalks**

Public sidewalk improvements are required for all property development in the City of Nehalem.

(A) Sidewalks may be deferred:

(1) At the discretion of the city where future road or utility improvements are planned and expected to be completed within 10 years.

(2) On property where a new single-family, duplex, triplex, quadplex, townhouse, or cottage cluster dwelling is being constructed, there are no sidewalks existing on properties on either side, and no elevations or profiles have been established for future street or sidewalk improvements along the adjacent or the subject property's frontage.

(B) Sidewalks shall be constructed within the street right-of-way. Sidewalk easements shall only be accepted where the City Engineer determines that full right-of-way acquisition is impractical.

(C) Sidewalks shall connect to and align with existing sidewalks. Sidewalks may transition to another alignment as part of the approval process.

(D) Sidewalks width and location, including placement of any landscape strip, shall comply with the requirements of the City Public Works Department and City Engineer.

(E) Planter strips and the remaining right-of-way shall be landscaped and maintained as part of the front yard of abutting properties. Maintenance of sidewalks and planters shall be the continuing obligation of the abutting property owner.

(F) Mid-block sidewalks. The city may require mid-block sidewalks for long blocks or to provide access to schools, parks shopping centers, public transportation stops, or other community services. (Ord. 2023-05, passed 10/09/2023; Ord. 2025-04, passed 06/09/2025)

*Response: The subject property is not located within the Nehalem city limits and all private roads have been designed without sidewalks to match roads previously approved and constructed with Phase 1 of the development. This standard is met.*

#### **157.402.07 - Lots and parcels served by private streets or easements**

The following shall apply to all lots and parcels that are accessed by either a private street or private access easement:

(A) Lot and parcel size. The easement containing the private street or access easement shall be excluded from the lot or parcel size calculation.

(B) Setbacks. The line fronting along a private street or access easement shall be considered a property line. Setbacks to the garage and home shall be measured from this easement line.

(C) Lot depth and width. Where required by the underlying zone, the lot width shall be measured along the easement boundary and the lot depth shall be measured from the easement boundary to the rear lot line. (Ord. 2023-05, passed 10/09/2023)

**Response:** *The proposed private streets are to be contained within a separate private tract. All lot dimensions and setbacks are measured from lot lines and do not include this tract. This standard is met.*

#### **157.402.08 - Traffic impact analysis**

The purpose of this section is to coordinate the review of land use applications with roadway authorities and to implement O.A.R. [660-012-0045\(2\)\(e\)](#) of the state Transportation Planning Rule, which requires the city to adopt a process to apply conditions to development proposals in order to minimize impacts and protect transportation facilities. The following provisions also establish when a proposal must be reviewed for potential traffic impacts; when a traffic impact analysis must be submitted with a development application in order to determine whether conditions are needed to minimize impacts to and protect transportation facilities; the required contents of a traffic impact analysis; and who is qualified to prepare the analysis.

- (A) When a traffic impact analysis is required. The city or other road authority with jurisdiction may require a traffic impact analysis (TIA) as part of an application for development, a change in use, or a change in access. A TIA shall be required where a change of use or a development would involve one or more of the following:
- (1) A change in zoning or a plan amendment designation;
  - (2) Operational or safety concerns documented in writing by a road authority;
  - (3) An increase in site traffic volume generation by 300 average daily trips (ADT) or more;
  - (4) An increase in peak hour volume of a particular movement to and from a street or highway by 20% or more;
  - (5) An increase in the use of adjacent streets by vehicles exceeding the 20,000-pound gross vehicle weights by 10 vehicles or more per day;
  - (6) Existing or proposed approaches or access connections that do not meet minimum spacing or sight distance requirements or are located where vehicles entering or leaving the property are restricted, or such vehicles are likely to queue or hesitate at an approach or access connection, creating a safety hazard; or
  - (7) A TIA required by ODOT pursuant to O.A.R. [734-051](#).

**Response:** *A Traffic Impact Study dated October 7, 2022 was submitted and reviewed with the original application package. To ensure the analysis and conclusion of this study remain valid today, the Traffic Engineer who prepared this study, prepared a Traffic Analysis Update Memorandum. To ensure these findings remain valid, some additional analysis was undertaken to verify the study area intersections will operate acceptably through the year 2028 and that recent crash history is not indicative of safety problems. The Engineers concluded that based on this analysis, the conclusions of the 2022 Traffic Impact Study remain valid today and no additional mitigation is recommended. This standard is met.*

- (B) Traffic impact analysis preparation. A professional engineer registered by the State of Oregon, in accordance with the requirements of the road authority, shall prepare the traffic impact analysis.

**Response:** *The provided Traffic Impact Study and Update Memorandum were prepared by Mike Ard of Ard Engineer, a registered Professional Engineer in the State of Oregon. This standard is met.*

(C) The TIA shall be reviewed according to the following criteria:

- (1) The analysis complies with the content requirements set forth by the city and/or other road authorities as appropriate;
- (2) The study demonstrates that adequate transportation facilities exist to serve the proposed land use action or identifies mitigation measures that resolve identified traffic safety problems in a manner that is satisfactory to the road authority;
- (3) For affected city facilities, the study demonstrates that the project meets mobility and other applicable performance standards established in this chapter and the TSP, and includes identification of multi-modal solutions used to meet these standards, as needed; and
- (4) Proposed design and construction of transportation improvements are in accordance with the design standards and the access spacing standards specified in this chapter and the TSP

*Response: The previously submitted Traffic Impact Study was reviewed according to the criteria in this section. The Update Memorandum notes the assumptions and finding in this study remain valid today. As detailed in these documents, all criteria have been addressed to warrant approval of the subject application. This standard is met.*

(D) Conditions of approval.

- (1) The city may deny, approve, or approve a proposal with conditions necessary to meet operational and safety standards; provide the necessary right-of-way for planned improvements; and require construction of improvements to ensure consistency with the future planned transportation system.
- (2) Construction of off-site improvements, including those related to bicycle and pedestrian facilities, may be required to mitigate impacts resulting from development that relate to capacity deficiencies and public safety; and/or to upgrade or construct public facilities to city standards.
- (3) Where the existing transportation system is shown to be impacted by the proposed use, improvements such as paving; curbing; installation of or contribution to traffic signals; and/or construction of sidewalks, bikeways, access ways, paths, or streets that serve the proposed use may be required.
- (4) Improvements required as a condition of development approval, when not voluntarily provided by the applicant, shall be roughly proportional to the impact of the development on transportation facilities. Findings in the development approval shall indicate how the required improvements directly relate to and are roughly proportional to the impact of development.

*Response: The applicant understands Conditions as detailed in this section by be applied with approval of the project.*

## **157.404 - Land Divisions**

### **157.404.01 - Purpose**

The purpose of this section is to provide for the orderly, safe, and efficient division of land within the city.

### **157.404.02 - Scope**

The provisions of this section shall apply to all land divisions within the City of Nehalem. No person shall subdivide, expedited land divide, or partition an area or tract of land without compliance with the provisions of this section. The following shall determine the appropriate process and design standards:

- (A) Partition. A land division creating two or three parcels within a calendar year shall be processed as a partition and subject to the design and improvement standards for a partition.
- (B) Subdivision. A land division creating four or more lots within a calendar year shall be processed as a subdivision and subject to the design and improvement standards for a subdivision.

*Response: The proposed 74 lot subdivision requires subdivision approval.*

**157.404.03 - Standards for lots or parcels**

The following standards shall apply to all partitions and subdivisions:

- (A) Minimum lot area. The minimum lot area shall conform to the requirements of the applicable zone in which the parcel is located. Access easements, or the access strip to a flag lot, shall not be included in the calculation of lot area for purposes of determining compliance with any minimum lot size provision of this section.

*Response: As shown on submitted plans, all lots contain at least 5,000 square feet as required in the RM zone. This standard is met.*

- (B) Minimum frontage. Every lot shall abut a street, other than an alley, for at least 20 feet. Minimum frontage does not apply to middle housing land divisions; provisions for middle housing land divisions are found in § 157.504 of this chapter.

*Response: All lots contain frontage on a street with a least 20 feet of frontage. This standard is met.*

- (C) Access and spacing. Access and spacing standards for streets in Nehalem shall conform to the following access management spacing standards as indicated below:

Functional Class	Maximum Block Length	Minimum Block Length	Minimum Driveway Spacing	Minimum Intersection Setback
Collector	1,000 feet	200 feet	100 feet	150 feet

*Response: All lots contain frontage on private local streets. The existing access to the site and the proposed new access intersection North Fork Road comply with the standards in this section. This standard is met.*

- (E) Private street access. Residential lots or parcels may be accessed by a private street developed in accordance with the provisions of § 157.403 of this chapter when it is determined that a public street access is:

- (1) Infeasible due to parcel shape, terrain, or location of existing structures; and
- (2) Unnecessary to provide for the future development of adjoining property.

*Response: Phase 1 of the Riverview Meadows Subdivision is accessed by a single private street (Riverview Meadows Lane) extended from North Fork Road to serve the development. The lots in the proposed subdivision will be accessed by an extension of this street network. In addition, the applicant proposes constructing a new*

*secondary access (Riverview Drive) to connect with North Fork Road west of the original access as shown on submitted plans. This standard is met.*

(F) Flag lots. Flag lots (or parcels) shall be subject to the following development standards:

(1) The access strip shall be a minimum of 20 feet in width. The improved surface shall be a minimum of 14 feet in width.

(2) The access strip shall not be included in the lot area calculation.

(3) If the length of the access strip exceeds 150 feet, the parcel or lot shall include a turn-around area in compliance with local fire district requirements.

*Response: Only one flag lot (Lot 89) is proposed. This lot complies with the standards in this section. This standard is met.*

(G) Through lots. Through lots shall be avoided except where essential to provide separation of residential development from traffic arteries, adjacent nonresidential activities, or to overcome specific disadvantages of topography. Screening or buffering may be required during the application review.

*Response: No through lots are proposed. This standard is met.*

(H) Side lot lines. The side lot lines, as far as practicable, shall run at right angles to the public street, private street, or private access easement upon which the lot or parcel faces.

*Response: All side lot lines run at right angles or close to right angles as practicable. This standard is met.*

(I) Utility easements. Utility easements shall be provided on lot areas where necessary to accommodate public utilities. Easement width shall conform to the requirements of the City Public Works Department and City Engineer.

*Response: All utility easements as necessary to serve the development are shown on submitted plans. This standard is met.*

#### **157.404.04 = Standards for subdivisions - Blocks and traffic**

(A) General. The length, width, and shape of blocks shall be designed to provide adequate building sites for the use contemplated; consideration of needs for convenient access, circulation, control, and safety of street traffic - including pedestrian and bicyclist - and recognition of limitations and opportunities of topography.

*Response: All blocks have been designed to provide adequate building sites as required. This standard is met.*

(B) Sizes. Blocks shall not exceed 1,000 feet in between street lines with a preferred length of 500 feet. Exceptions are permitted for blocks adjacent to arterial streets, or if the previous development pattern or topographical conditions justify a greater length. The recommended minimum distance between collector street intersections with arterial streets is 1,800 feet.

*Response: All interior blocks are designed in compliance with these standards. The block along the eastern property line does not contain a street extension to the east,*

*due to steep slopes in this area, and the block along the western property line does not contain a street extension because the western line of these lots is the urban growth boundary and no streets are required to be extended outside the UGB. This standard is met.*

- (C) Traffic circulation. The subdivision shall be laid out to provide safe, convenient, and direct vehicle, bicycle, and pedestrian access to nearby residential areas; neighborhood activity centers (e.g., schools and parks); shopping areas; and employment centers; and provide safe, convenient, and direct traffic circulation. At a minimum, “nearby” means the distance from the subdivision boundary - one-quarter mile for pedestrians and one mile for bicyclists.

*Response: The proposed subdivision is designed to provide safe and convenient access to the city center as much as is feasible given the location of the subject property. This standard is met.*

- (D) Connectivity. To achieve the objective in division (C) above, the city shall require the following:

- (1) Stub-end streets. Where the potential exists for additional residential development on adjacent property.
- (2) Accessways. Public accessways to provide a safe, efficient, and direct connection to cul-de-sac streets, to pass through oddly shaped or blocks longer than 600 feet, to provide for networks of public paths creating access to nearby residential areas, neighborhood activity centers (e.g., schools and parks); shopping areas; and employment centers.

*Response: No stub-end streets or pedestrian accessways have been identified. This standard is met.*

- (E) Collector and arterial connections. Accessway, bikeway, or sidewalk connections with adjoining arterial and collector streets shall be provided if any portion of the site’s arterial or collector street frontage is over 600 feet from either a subdivision access street or other accessway. The placement of an accessway may be modified or eliminated if natural features (e.g., adverse topography, streams, wetlands) preclude such a connection.

*Response: Riverview Meadows Lane is an existing local street connecting with North Fork Road. In addition, the applicant has constructed a new road (Riverview Drive) to connect the subdivision to North Fork Road further west. This road is designed to serve as the primary access to the subdivision and the location and design of the road complies with all applicable standards. This standard is met.*

- (F) Streets. Street design shall comply with provisions in § 157.402 of this chapter as well as the requirements of the City Public Works Department and City Engineer.

*Response: All streets are designed in compliance with applicable Public Works and Engineering standards. This standard is met.*

#### **157.404.06 - Improvement requirements - Subdivision**

- (A) Improvements. The following improvements shall be required for all subdivisions:

- (1) Frontage improvements. Half-street improvements designed to requirements of the City Public Works Department and City Engineer shall be required for all public streets on which a proposed subdivision fronts. Additional frontage improvements shall include sidewalks, curbing, storm sewer, water lines, other public utilities as necessary, and such other improvements as the city shall determine to be reasonably necessary to serve the development or the immediate neighborhood. Sanitary sewer shall also be installed per requirements of the Nehalem Bay Water Agency.

*Response: All sanitary sewer lines have been constructed per the requirements of the Nehalem Bay Wastewater Agency as required. This standard is met.*

- (2) Project streets. Streets within the subdivision shall be constructed to the requirements of the City Public Works Department and City Engineer.

*Response: All streets within the development will be private and constructed to match streets within the Phase 1 development. This standard is met.*

- (3) Monuments. Monuments shall be established as required by the engineering design standards.

*Response: All monuments will be established as required. This standard is met.*

- (4) Surface drainage and storm sewer system. Drainage facilities shall be provided within the subdivision and to connect the subdivision drainage to drainageways or to storm sewers outside the subdivision. Design of drainage within the subdivision shall be constructed in accordance with the requirements of the City Public Works Department and City Engineer.

*Response: As shown on submitted plans the proposal includes a combination of roadside ditches and drainage facilities to move water into Bob's Creek. This standard is met. The details of this design is described in the stormwater report submitted with the application package. This standard is met.*

- (5) Sanitary sewers. Sanitary sewer shall be installed to serve the subdivision and to connect the subdivision to existing mains both on and off the property being subdivided conforming to Nehalem Bay Wastewater Agency requirements. The Agency may require that the developer construct sewage lines of a size in excess of that necessary to adequately service the development in question, where such facilities are or will be necessary to serve the entire area within which the development is located when the area is ultimately developed. The Agency may also require that the construction take place as an assessment project with such arrangement with the developer as is desirable to assure his share of the construction.

*Response: All sanitary sewer facilities have designed and installed in accordance with the requirements of the wastewater agency. This standard is met.*

- (6) Water system. Water lines with valves and fire hydrants serving the subdivision and connecting the subdivision to the city mains shall be installed in conformance with the requirements of the City Public Works Department and City Engineer. The design shall take into account provisions for extension beyond the subdivision to

adequately grid the city system and to serve the area within which the development is located when the area is fully developed. However, the city will not expect the developer to pay for the extra cost of mains exceeding eight inches in size.

*Response: As noted above and shown on submitted plans, the applicant is currently in the process of constructing a new 84,000 gallon water reservoir on Tract D at the north end of the property. This facility is designed to ensure adequate fire protection and domestic water pressure will be provided for the development and will also connect with the city's existing water distribution system to provide additional benefits to the water system in this area of the city. Water pressure for all of the lots within Phase 1 of Riverview Meadows will also be increased. The Project Engineer for this project prepared a report approving the design and details of the water reservoir. The conclusion of this report notes that the analysis has demonstrated that the proposed reservoir and pump station can provide adequate domestic and fire flow for the existing homes in the Riverview Meadows Subdivision and the new home built with the current phase. He notes that the reservoir will also provide a much-needed storage and fire flow source for all the existing homes on the eastern side of the existing city system. This standard is met.*

- (7) Sidewalks. Sidewalks shall be installed along both sides of each public street and in any pedestrian ways within the subdivision. This improvement may be deferred until prior to occupancy of a dwelling.

*Response: The proposed streets will be private as constructed in the Phase 1 development and no sidewalks are proposed.*

- (8) Streetlights. The installation of streetlights is required at locations, and of a type, approved by the city.

*Response: Streetlights as approved by the city will be installed with subdivision improvements. This standard is met.*

- (9) Street signs. The installation of street name signs and traffic control signs is required at locations determined to be appropriate by the city and shall be of a type approved by the city.

*Response: All street signs will be installed as required. This standard is met.*

- (10) Other requirements.

(a) Curb cuts and driveway installations are not required of the developer at the time of development, but if installed, shall be approved by the city and installed per the requirements of the City Public Works Department and City Engineer.

(b) Street tree planting is not required of the developer, but, if planted, shall be according to city standards and of a species compatible with the width of the planting strip and underground facilities.

*Response: These standards are addressed as applicable. This standard is met.*

(11) Bicycle improvements. Improvements for bicycle lanes and other bicycle facilities (signs, parking, etc.) shall be installed along collector or arterial streets.

(12) Transit access improvements. Improvements for bicycle and pedestrian access and connectivity shall be provided wherever a bus/transit stop is located on or adjacent to the subject property or subdivision.

*Response: No bicycle or transit improvements have been identified. These sections are not applicable.*

(B) Completion of improvements. All improvements required under this section shall be completed to city standards or assured through a performance bond or other instrument acceptable to the City Attorney, prior to the approval of the final plat of the subdivision. In no case shall the bond exceed 100% of the remaining project improvements as determined by the City Engineer. Completion of improvements for sanitary sewer shall comply with provisions of the Nehalem Bay Water Agency.

*Response: All improvements as required will be completed or bonded as required prior to final plat approval.*

## **157.407 - Storm Drainage and Grading**

### **157.407.01 - Purpose**

To provide for the drainage of surface water from all residential, commercial, and industrial development; to minimize erosion; to reduce degradation of water quality due to sediments and pollutants in storm water runoff.

### **157.407.02 - Scope**

The provisions of this section shall apply to all partitions, subdivisions, multifamily developments, commercial developments, and industrial development, and to the reconstruction or expansion of such developments.

### **157.407.03 - Plan for storm drainage and erosion control**

It is the obligation of the property owner to provide proper drainage and protect all runoff and drainage ways from disruption or contamination. On-site and off-site drainage improvements may be required. Property owners shall provide proper drainage and shall not direct drainage across another property except within a continuous drainage way. Paving and catch basin outflows may require detention cells and/or discharge permits. Maintaining proper drainage is a continuing obligation of the property owner.

No construction of any facilities in a development shall be permitted until a storm drainage and erosion control plan, designed in accordance with the most recently adopted city standards, for the project is prepared by an engineer registered in the State of Oregon and is approved by the city. This plan shall contain at a minimum:

(A) The methods to be used to minimize the amount of runoff, siltation, and pollution created from the development both during and after construction.

(B) Plans for the construction of storm sewers, open drainage channels, and other facilities which depict line sizes, profiles, construction specifications, calculations and other such information as is necessary for the city to review the adequacy of the storm drainage plans. (Ord. 2023-05, passed 10/09/2023)

*Response: A stormwater management plans and report are included with the proposed subdivision. This standard is met*

#### **157.407.04 - General standards**

- (A) Design standards. All development shall be planned, designed, constructed, and maintained to:
- (1) Protect and preserve existing natural drainage channels to the maximum practicable extent;
  - (2) Protect development from flood hazards;
  - (3) Provide a system by which water within the development will be controlled without causing damage or harm to the natural environment, or to property or persons within the drainage basin;
  - (4) Assure that waters drained from the development are free of pollutants, through such construction and drainage techniques as sedimentation ponds, reseeding, phasing of grading, and water quality facilities;
  - (5) Assure that waters are drained from the development in such a manner that will not cause erosion to any greater extent than would occur in the absence of development;
  - (6) Avoid placement of surface detention or retention facilities in road rights-of-way.
- (B) Public easements. In the event a development or any part thereof is traversed by any water course, channel, stream or creek, gulch, or other natural drainage channel, adequate easements for storm drainage purposes shall be provided to the city. This shall not imply maintenance by the city.
- (C) Obstruction of channel. Channel obstructions are not allowed except as approved for the creation of detention or retention facilities approved under provisions of this chapter and in compliance with city standards.
- (D) Conveyance of flows. All new development within the city shall make provisions for the continuation or appropriate projection of existing storm sewer lines or drainage ways serving surrounding areas. Drainage extensions may be required through the interior of a property to be developed where the city determines that the extension is needed to facilitate upstream flows.
- (E) City inspection. Prior to acceptance of a storm sewer system by the city, the storm sewers shall be flushed and inspected. All costs shall be borne by the developer.

*Response: As detailed in the submitted Stormwater Management Plan and as shown on submitted plans, the proposal complies with applicable standard of this section. All drainage will be routed to Bob's Creek as applicable. This standard is met*

#### **157.407.05 Grading**

- (A) Grading permits are required for the following activities and shall be subject to the requirements of the City Public Works Department and City Engineer:
- (1) Grading in excess of 50 cubic yards;
  - (2) Grading potentially impacting, riparian areas, drainageways, flood hazard areas;
  - (3) Grading that could possibly impact adjacent properties;
  - (4) Grading proposed over public storm drains, sanitary sewers, or water lines;
  - (5) Grading requiring tree removal;
  - (6) Other areas with potential impacts as determined by the city;
  - (7) Land partitions and subdivisions.

- (B) If the approved grading activity is associated with a building permit, a final grading inspection shall be required prior to issuance of certificate of occupancy.
- (C) NPDES permit required. A National Pollutant Discharge Elimination System (NPDES) permit must be obtained from the Department of Environmental Quality (DEQ) for construction activities (including clearing, grading, and excavation) that disturbs one or more acres of land. (Ord. 2023-05, passed 10/09/2023)

*Response: Given the status of the project, all grading required for development of the subdivision has already been completed. This standard is met*

## **157.408 - Utility Lines and Facilities**

### **157.408.01 - Purpose.**

To provide adequate services and facilities appropriate to the scale and type of development.

### **157.408.02 - Standards**

- (A) Design and location. The location, design, installation, and maintenance of all utility lines and facilities shall be conducted with minimum site disturbances.
- (B) Private utilities. All development which has a need for electricity, gas, and communications services shall install them per the requirements of the district or company serving the development. Except where otherwise prohibited by the utility district or company, all such facilities shall be underground.
- (C) Water service. All development which has a need for public water shall install the facilities per the requirements of the city. Installation of the facilities shall be coordinated with the extension of sanitary sewer and storm drainage facilities.
- (D) Sanitary sewer. All development which has a need for public sanitary sewers shall install the facilities per the requirements of the Nehalem Bay Wastewater Agency. Installation of such facilities shall be coordinated with the extension of necessary water services and storm drainage facilities.
- (E) Streetlights. When required, the installation of streetlights shall be per the requirements of the city engineering standards and the requirements of the utility company serving the development.
- (F) Easements - General. Easements shall be provided along property lines as required by the city, special districts, and utility companies. Easements for special purpose uses shall be of a width deemed appropriate by the responsible agency. Such easements shall be designated on the final plat of all subdivisions and partitions.

*Response: All utility lines and facilities have been installed and inspected according to approved plans. The developer has purchased street lights and they are waiting to be installed. All required easements are shown on the tentative plat. This standard is met*

### **157.408.03 - Public facility improvements**

- (A) Except for sanitary sewers, all public facility improvements shall be designed and constructed in compliance with the requirements of the City Public Works Department and City Engineer. The City Engineer (or designee) shall determine compliance with these standards. These standards are considered requirements and may not be altered per provisions in this chapter.
- (B) Sanitary sewer facility improvements shall be designed and constructed in compliance with Nehalem Bay Wastewater Agency requirements. The Agency shall determine

compliance with these standards. These standards are considered requirements and may not be altered per provisions in this chapter.

- (C) Any new single-family, accessory dwelling units and/or duplex (whether attached or detached) dwellings shall satisfy one of the following minimum standards:
- (1) One thousand gpm with a flow duration of one hour where the total residential square footage is less than 3,600 square feet and 1,500 gpm where the total residential square footage exceeds 3,600;
  - (2) Three hundred fifty gpm with a flow duration of 30 minutes and every dwelling unit includes an automatic sprinkler system; or
  - (3) Obtain a variance to these requirements pursuant to § 157.508 of this code through a Type III procedure.

**Response:** As detailed in the project chronology above, the applicant submitted plans to the City and received approval for these plans for waterlines and the reservoir and booster pump system. Plans detailing sanitary sewer improvements were also submitted to and approved by the Nehalem Bay Wastewater Agency. The proposed water reservoir is designed to ensure all homes will comply with the standards of this section. This standard is met.

## **157.440 - Geological Hazards**

### **157.440.01 - Application**

The following are geologic hazard areas to which the standards of this section apply:

- (A) Active landslides identified in State Department of Geology and Mineral Industries (DOGAMI) Bulletins 74 and 79;
- (B) Inactive landslides, landslide topography and mass movement topography, identified by the Department of Geology and Mineral Industries Statewide Landslide Information Database for Oregon (SLIDO).
- (C) Areas prone to mudflows identified in DOGAMI Bulletin 79;
- (D) Brallier peat soils identified in Soil Survey, Tillamook Area, Oregon (USDA, Natural Resources Conservation Service, 1964) and the unpublished Natural Resources Conservation Service soils survey for coastal Tillamook County; or
- (E) Other locally known areas of geologic hazard based on evidence of past occurrences. (Ord. 2023-05, passed 10/09/2023)

**Response:** A Geologic Hazard Report was previously submitted for the project by R. Warren Krager, R.G., C.E.G dated February 25, 2020 and an addendum to this report was prepared by Morgan Civil Engineering, Inc. dated May 12, 2022. The current application contains a memorandums dated December 19, 2025 and January 6, 2026, confirming all on-site activities were completed in compliance with the previous reports and recommendations. This standard is met.

### **157.440.02 - Development standards**

All development within geologic hazard areas shall comply with the following standards:

- (A) Vegetation removal shall be the minimum necessary to accommodate the use.
- (B) Temporary measures shall be taken to control runoff and erosion of soils during construction. Such measures include temporary stabilization (mulching or sodding), sediment basins or other performance equivalent structures required by the city.
- (C) Exposed areas shall be planted in permanent cover as soon as possible after construction.

- (D) Storm water shall be directed into drainages with adequate capacity so as not to flood adjacent downstream properties. Finished grades should preferably be designed to direct water flows along natural drainage courses.
- (E) Additional requirements contained in a geologic report required by this section shall be followed.

*Response: The provided Geologic Reports detail compliance with this section. This standard is met.*

### **157.440.03 - Geological report**

- (A) A geologic hazard report is required prior to approval of planned developments, subdivisions and partitions governed by § [157.404](#) of this chapter, building permits and manufactured home permits occurring in areas identified in § [157.440.02](#) of this chapter.
- (B) A report prepared for a subdivision, planned development or partition pursuant to the requirements of this section may be used to satisfy these requirements for subsequent building, mobile home or manufactured home permits; providing that, the original report provided recommendations on building placement and construction and that these recommendations are followed.
- (C) The geologic hazard report shall be prepared by a geologist, engineer, engineering geologist or other person having professional experience analyzing the relevant geologic hazards.
  - (1) Structural recommendations must be stamped by a registered professional engineer.
  - (2) The boundaries of the study area shall be determined by the city.
  - (3) It shall be prepared in a format easily understood by a “lay-person” and shall include plan and sectional diagrams of the area showing property boundaries and the geographic information required by division [\(F\)](#) below.
- (D) The geologic hazard analysis shall include the following:
  - (1) In landslide areas (§§ [157.440.01\(A\)](#) and [\(B\)](#) of this chapter):
    - (a) Soils and bedrock type;
    - (b) Slope;
    - (c) Orientation of bedding planes in relation to the dip of the surface slope;
    - (d) Soil depth;
    - (e) Other relevant soils engineering data;
    - (f) Water drainage patterns; and
    - (g) Identification of visible landslide activity in the immediate area.
  - (2) In areas prone to mudflow (§ [157.440.01\(C\)](#) of this chapter):
    - (a) History of mud or debris flow; and
    - (b) Areas likely to be affected by future mudflow.
  - (3) In Brallier peat soils (§ [157.440.01\(D\)](#) of this chapter):
    - (a) Boring log or other similar measure;
    - (b) Bearing capacity; and
    - (c) Drainage patterns.
- (E) The geologic hazards report shall recommend development standards that will protect development on the property and surrounding properties. These should include standards for:
  - (1) Development density (when more than one use is possible);

- (2) Locations for structures and roads;
  - (3) Land grading practices, including standards for cuts and fills;
  - (4) Vegetation removal and revegetation practices;
  - (5) Foundation design (if special design is necessary);
  - (6) Road design (if applicable); and
  - (7) Management of storm water runoff during and after construction.
- (F) The geologic hazard report shall include the following summary findings and conclusions:
- (1) The type of use proposed and the adverse effects it might have on adjacent areas;
  - (2) Hazards to life, public and private property, and the natural environment which may be caused by the proposed use;
  - (3) Methods for protecting the surrounding area from any adverse effects of the development;
  - (4) Temporary and permanent stabilization programs and the planned maintenance of new and existing vegetation;
  - (5) The proposed development is adequately protected from any reasonably foreseeable hazards including, but not limited to, geologic hazards, wind erosion, undercutting and flooding; and
  - (6) The proposed development is designed to minimize adverse environmental effects.  
(Ord. 2023-05, passed 10/09/2023)  
*Response: The provided Geologic Reports detail compliance with this section. This standard is met.*

## **157.442 - Special Buffers and Setbacks**

### **157.442.01 - Riparian vegetation and small streams**

- (A) Riparian vegetation along small streams shall be protected by a 15-foot riparian zone for all creeks. This zone shall be run parallel to the mean high-water line of the subject creek.
- (B) Any development within the 15-foot riparian zone, including the removal or replacement of vegetation, shall require a conditional use application pursuant to § [157.508](#) of this chapter. In addition to the conditional use criteria in § [157.508](#) of this chapter, a conditional use permit within the riparian vegetative area shall indicate how:
- (1) The proposal will not affect the following factors;
  - (2) The proposal can be mitigated in some manner to minimize or eliminate potential harmful impacts regarding the following factors; or
  - (3) The factors do not apply to the request. The factors include:
    - (a) Development or improvements shall be directed away from adjacent streams and drainage corridors to the greatest possible extent.
    - (b) The development, change, or intensification of use shall provide the maximum possible landscaped area, open space, or vegetation between the activity and adjacent streams or drainage corridors.
    - (c) The fringe along streams and drainage corridors shall be maintained to the maximum extent practical in order to assure scenic quality, protection of wildlife habitat, and protection from erosion.
    - (d) Areas of annual flooding, flood plains, and wetlands shall be preserved in their natural state to the maximum possible extent to protect water retention, overflow

and other natural functions. The development shall comply with the floodplain or floodway development requirements of this chapter.

*Response: Bob's Creek is the only watercourse on the site that requires a 15-foot riparian buffer. As shown on the submitted plans, a portion of the proposed Riverview Drive access road is located within this buffer. Accordingly, a mitigation plan is being prepared in coordination with an Oregon Department of Fish and Wildlife (ODFW) fish biologist.*

**157.442.02 - Buffers adjacent to land zoned EFU by Tillamook County property**

(A) Where development is proposed on lands adjacent to Exclusive Farm Use Zones, the city shall require that a buffer of not less than 50 feet be required between the development and the EFU boundary in order to protect the farm and development from incompatible uses or activities.

(B) Such a buffer shall be in addition to any required setback for structures or uses.

(C) As part of a land use application and review, the decision authority may require the maintenance of tree stands, fencing or other separation.

*Response: As noted above, the Nehalem Urban Growth Boundary borders the north line and a portion of the west and east lines of the subject property. Property in the County adjacent to the northern and portion of the eastern property lines is zoned Farm (F-1), comparable to EFU zoning. Section A requires development proposed on lands adjacent to EFU zone to contain a buffer of not less than 50 feet to EFU zoned property. The proposed tentative plat includes a 50-foot wide roadway easement along the eastern and the majority of the northern boundaries to protect the proposed homes and farm properties from incompatible uses or activities. This standard is met.*

**157.443 - Yard and Lot Standards**

**157.443.01 - New buildings shall be on a lot**

Every building erected shall be located on a lot as herein defined.

*Response: All proposed buildings will be located on a lot following final plat approval. This standard is met.*

**157.443.02 - Yards apply only to one building**

No required yard or other open space or required driveway provided for any building or structure for the purpose of complying with the provisions of this chapter shall be considered as providing a yard or open space for any other building. No yard or other required space on an adjoining lot shall be considered as providing a yard or open space on the lot where the building is to be erected.

*Response: As detailed in Section 157.205 above, all lots are capable of accommodating single family residences in compliance with the applicable development standards. This standard is met.*

**157.443.03 - Front yard projections**

The following features, when not more than one story high, may project into the required front yard setback area, provided the projection shall come no closer than 10 feet from the property line: planter boxes, chimneys and flues, steps, cornices, eaves,

gutters, belt courses, leaders, sills, pilasters, lintels, and other ornamental features, uncovered porches, covered but unenclosed porches.

*Response: The applicant will consider this section in the design of structures for the proposed lots following final plat approval.*

#### **157.443.04 - Side yard projections**

- (A) Cornices, eaves, gutters, and fire escapes may project into a required side yard not more than one-fourth of the width of the required side yard.
- (B) Chimneys, flues, belt courses, leaders, sills, pilasters, lintels, and ornamental features may project not more than 18 inches into a required side yard, provided the chimneys and flues shall not exceed six feet in width.
- (C) Uncovered decks and patios attached to the main building, and no more than 30 inches in height when measured directly beneath the outside edge of the deck or patio, may be extended to the side yard property line.

*Response: The applicant will consider this section in the design of structures for the proposed lots following final plat approval.*

#### **157.443.05 - Rear yard projections**

- (A) Chimneys, flues, belt courses, leaders, sills, pilasters, lintels, gutters, and other ornamental features may project not more than 18 inches into a required rear yard, provided the chimneys and flues shall not exceed six feet in width.
- (B) A fire escape, balcony, outside stairway, cornice, or other unenclosed, unroofed projections may project not more than five feet into a required rear yard.
- (C) The following features, when not more than one story high, may project into the required rear yard setback area: planter boxes, chimneys and flues, steps, cornices, eaves, gutters, belt courses, leaders, sills, pilasters, lintels, and other ornamental features, uncovered porches, covered but unenclosed porches.
- (D) No permitted projection into a required rear yard shall extend within 10 feet of the center line of an alley or within five feet of a rear lot line if no alley exists.

*Response: The applicant will consider this section in the design of structures for the proposed lots following final plat approval.*

#### **157.443.06 - Vision clearance**

A clear vision area shall be maintained where streets and private points of access intersect. The clear vision area shall conform to the following:

- (A) Measurement. A clear vision area at an intersection shall be the triangular area established according to the following procedure:
  - (1) A line extending a number of feet, as identified in divisions [\(B\)](#), [\(C\)](#), [\(D\)](#), and [\(E\)](#) below, from the intersection along a public street right-of-way;
  - (2) A line extending a certain number of feet from the intersection along the intersecting access; and
  - (3) A third line that creates the triangular clear vision area by connecting the ends of the lines described in divisions [\(A\)\(1\)](#) and [\(2\)](#) above.
- (B) Street-driveway. The clear vision area for a street-driveway intersection shall be 10 feet along the driveway from its intersection with the street right-of-way and 20 feet along the street right-of-way at the point of intersection with the driveway.

- (C) Street-alley. The clear vision area for street-alley intersections shall be 10 feet along the alley from its intersection with the street right-of-way and 20 feet along the street right-of-way at the point of intersection with the alley.
- (D) Street-private access easement. The clear vision area for street-access easement intersections shall be 10 feet along the access easement from its intersection with the street right-of-way and 20 feet along the street right-of-way at the point of intersection with the access easement.
- (E) Corner lots (street-street intersection). The clear vision area for corner lots on local residential streets (either public or private) shall be 20 feet along the right-of-way of each intersecting street. For collector and arterial streets, the measurement along the right-of-way of the collector or arterial street shall be 30 feet.
- (F) Prohibited development. A clear vision area shall contain no planting, fence, wall, structure, or temporary or permanent obstruction exceeding 36 inches in height, measured from the top of the curb or, where no curb exists, from the established street centerline grade, except that the following may be allowed in the clear vision area:
  - (1) Trees, provided all branches and foliage are removed to a height of eight feet above grade;
  - (2) Telephone, power, and cable television poles; switchboxes no more than 10 inches in width.

*Response: All required clear vision areas will be considered with completion of future improvements.*

## 157.511- Subdivisions and Planned Developments

### 157.511.01 - Applicability

All subdivisions and planned developments shall conform to all applicable standards of the underlying zone, as well as the development standards and other provisions of this chapter unless otherwise modified by provisions in this section.

*Response: A residential subdivision is proposed and the requirements of this section are applicable.*

### 157.511.02 - Process

Preliminary plats for subdivisions and planned unit developments shall be reviewed in accordance with the Type III review procedures in § 157.523 of this chapter.

(B) For property outside the city limits, and within the urban growth boundary, a subdivision and planned development shall be reviewed by Tillamook County in accordance with provisions in the intergovernmental agreement, and subject to the decision criteria in § 157.511.05 of this chapter.

*Response: The subject property is located outside the Nehalem city limits but within the Urban Growth Boundary. For this reason, the application has been submitted to and will be reviewed by Tillamook County per this section.*

### 157.511.03 - Application

An application for a subdivision or planned development shall be filed with the city (or county as applicable) and accompanied by the appropriate fee. Notice shall be subject to the provisions in § 157.523 of this chapter

*Response: The applicant filed the application with Tillamook County as required.*

#### **157.511.04 - Submittal requirements**

The following submittal requirements shall apply to all preliminary plat applications for subdivisions and planned developments:

- (A) All applications shall be submitted on forms provided by the city to the City Manager along with the appropriate fee. It shall be the applicant's responsibility to submit a complete application which addresses the review criteria of this section. The application shall include a statement explaining the proposal and providing analysis of the proposal relative to the approval criteria.
- (B) Applicants for subdivisions shall submit the following:
  - (1) General information. The following general information shall be shown on the tentative plan:
    - (a) Vicinity map showing all streets, property lines, streams, and other pertinent data to locate the proposal.
    - (b) North arrow and scale of drawing.
    - (c) Tax map and tax lot number or tax account of the subject property.
    - (d) Dimensions and size in square feet or acres of the subject property.
    - (e) Name of the subdivision or PD.
  - (2) Existing conditions.
    - (a) Location of all existing easements within the property.
    - (b) Location of city utilities (water and storm drainage) and sanitary sewer (Nehalem Bay Wastewater Agency) within or adjacent to the property proposed for use to serve the development.
    - (c) The location and direction of water courses or drainage swales on the subject property.
    - (d) Existing use of the property, including location of existing structures. It should be noted whether the existing structures are to remain or be removed from the property.
    - (e) Direction of drainage and approximate grade of abutting streets.
    - (f) Proposed streets, approximate grade, and radius of curves.
    - (g) Any other legal access to the subdivision other than a public street.
    - (h) Contour lines related to an established bench mark on city datum, having the following minimum intervals:
      - (i) Areas with less than 5% slope: One-foot contours.
      - (ii) Areas with slope between 5% and 10%: Two-foot contours.
      - (iii) Areas with slope greater than 10%: Five-foot contours.
  - (3) Proposed plan.
    - (a) Locations, approximate dimensions and area in square feet of all proposed lots. All lots shall be numbered consecutively.
    - (b) Location, width, and purpose of any proposed easements.
    - (c) All areas offered for public dedication.
    - (d) If any portion of the property is not proposed to be included in the subdivision or any public dedication, that portion shall be identified as a remnant parcel. A draft subdivision or development plan shall be included showing how the proposed subdivision will provide needed access and utilities to serve future development of the remnant parcel.
    - (e) Proposed phasing.

- (C) The following supplemental information shall be required for all planned development preliminary plan applications:
- (1) Proposed uses on the property, including sites, if any, for townhouses, recreational facilities, parks, and playgrounds or other public or semi-public uses, with the purpose, condition and limitations of such reservations clearly indicated.
  - (2) Designation of the location of the building pads, or areas, or setback lines or setback standards for all buildings to be constructed.
  - (3) Architectural renderings of the proposed residential and commercial buildings and structures.
  - (4) The approximate location and dimensions of all commercial, mixed-use, or multifamily structures proposed to be located on the site.
  - (5) Calculations justifying the proposed density of development as required by § 157.405 of this chapter.
  - (6) Landscaping plan indicating location of existing vegetation and proposed improvements.
  - (7) Statement of improvements to be made or installed including streets, sidewalks, bikeways, trails, lighting, tree planting, landscaping, and time such improvements are to be made or completed.
  - (8) Written statement outlining proposals for ownership and maintenance of all open space areas and any commonly owned facilities.

*Response: All of the information required by this section is shown on the submitted tentative plat. The proposal contains 74 residential lots and three tracts in a single phase. Tract D is proposed to contain the proposed public water reservoir, Tract E a private open space/recreation area, and Tract F includes the 50-foot wide (right-of-way) private road system designed to serve all lots and tracts in the subdivision. The subject property contains a gross site area of 21.88 acres and after deducting the proposed tracts (reservoir, open space, and roads), the site contains 15.46 net acres. The net density of the subdivision is 5.15 units/acre (74 lots/ 15.46 acres = 4.79 units/net acre). This standard is met.*

#### **157.511.05 - Decision criteria**

- (A) Each parcel shall satisfy the dimensional standards of the applicable zone, unless a variance from these standards is approved or the request is part of a planned development.

*Response: As reviewed above and as shown on submitted plans, all proposed lots comply with the dimensional standards of the RM zone, Section 157.205, as required. This criterion is satisfied.*

- (B) The parcels shall meet the development standards for land division of § 157.404 of this chapter or the specific requirements of a planned development.

*Response: As reviewed above and shown on submitted plans, all proposed lots and improvements comply with the development standards in Section 157.404. This criterion is satisfied.*

- (C) Existing buildings shall comply with the setback requirements of the applicable zone, unless a variance from the requirements is approved.

**Response:** *The subject property does not contain any existing buildings. All proposed structures are capable of complying with applicable setbacks. This criterion is satisfied.*

- (D) Adequate public facilities, including access, shall be available to serve the existing and newly created parcels. The applicant shall design and install a water system to serve all lots or parcels within a development in accordance with § 51.09 of this code and shall connect those lots or parcels to the city's water system. Applicants are responsible for extending the city's water system to the development site and through the applicant's property to allow for the future connection of neighboring undeveloped properties that are suitably zoned for future development. If adjacent properties are undeveloped or landlocked, consideration will be given to extending appropriate access to those properties in accordance with adopted city policy.

**Response:** *As contained in the application package, the applicant worked with the City of Nehalem on the design of a water reservoir and system to serve the proposed development. This system, as noted above, will also increase the water pressure for the homes constructed in Phase 1 of Riverview Meadows and is connected to the city's water system in this area of the city. This facility is also expected to increase water pressure and capacity in this area of the city. With these improvements, the water system is designed to provide adequate capacity to serve the proposed development. As detailed above, all public facilities and access will be available to serve lots within the development. This criterion is satisfied.*

- (E) Planned development. In addition to the criteria listed above, approval of a planned unit development shall require compliance with the applicable development and layout provisions contained in § 157.405 of this chapter.

**Response:** *A planned development is not proposed and this section is not applicable.*

## V. Conclusion

Riverview Meadows Development, LLC requests land use approval to construct Phase 2 of the Riverview Meadows Subdivision, consisting of 74 residential lots. In addition to the residential lots, three tracts are proposed: Tract D, which will contain the proposed water reservoir; Tract E, will be designated as private open space; and Tract F, includes the proposed private road system.

The plans and all relevant materials submitted with this application are generally the same as those previously reviewed and approved by the Tillamook County Planning Commission. These approvals included Phase 2 of the subdivision (#851-21-000415-PLNG) and the associated Geologic Hazard Report (#851-21-000414-PLNG), approved on October 25, 2022, as well as Phase 3 of the subdivision, approved on June 20, 2023 (#851-23-000009-PLNG).

As noted above, both prior approvals expired while the applicant was in the process of constructing required improvements, necessitating the current application. As demonstrated in this narrative, the proposal complies with all applicable standards and criteria of the Nehalem Subdivision and Zoning Codes. Accordingly, the applicant respectfully requests approval of the application as submitted.



# TENTATIVE RIVERVIEW MEADOWS PHASE 2

LOCATED WITHIN TRACT 'B' OF "RIVERVIEW  
MEADOWS PHASE 1" AND THE N.W. 1/4 OF  
SECTION 23, T.03N., R.10W. W.M  
TILLAMOOK COUNTY, OREGON



**APPROVALS:**

EXAMINED AND APPROVED BY THE FOLLOWING:

TILLAMOOK COUNTY SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

TAXES HAVE BEEN PAID IN FULL TO JUNE 30, 2026

TILLAMOOK COUNTY TAX COLLECTOR \_\_\_\_\_ DATE \_\_\_\_\_

TILLAMOOK COUNTY ASSESSOR \_\_\_\_\_ DATE \_\_\_\_\_

TILLAMOOK COUNTY COMMISSIONER \_\_\_\_\_ DATE \_\_\_\_\_

TILLAMOOK COUNTY COMMISSIONER \_\_\_\_\_ DATE \_\_\_\_\_

TILLAMOOK COUNTY COMMISSIONER \_\_\_\_\_ DATE \_\_\_\_\_

TILLAMOOK COUNTY PLANNING COMMISSION CHAIRPERSON \_\_\_\_\_ DATE \_\_\_\_\_

**DECLARATION:**

KNOW ALL PEOPLE BY THESE PRESENTS THAT RIVERVIEW MEADOWS DEVELOPMENT LLC IS THE OWNER OF THE LAND DEPICTED HEREON, AND DOES HEREBY MAKE, ESTABLISH, AND DECLARE THE ANNEXED PLAT OF "RIVERVIEW MEADOWS PHASE 2" AS DESCRIBED IN THE ACCOMPANYING SURVEYORS' CERTIFICATE TO BE A TRUE AND CORRECT MAP AND PLAT THEREOF, LOTS 21-94 AND TRACTS 'D', 'E', AND 'F', BEING OF THE DIMENSIONS SHOWN HEREON AND ALL STREETS OF THE WIDTHS THEREON SET FORTH, AND DOES HEREBY CREATE AND ESTABLISH PRIVATE EASEMENTS AS SHOWN, NOTED, OR STATED ON SAID MAP FOR THE USES INDICATED, DOES HEREBY GRANT ALL PUBLIC EASEMENTS AS SHOWN, NOTED, OR STATED ON SAID MAP, AND DOES HEREBY GRANT TRACT 'D', DEDICATED TO THE PUBLIC, AND THE CITY OF NEHALEM. THE DECLARANT DOES FURTHER STATE THAT THE PROPERTY PLATTED HEREIN IS SUBJECT TO PLAT RESTRICTIONS AS NOTED, ALL IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 92 OF THE OREGON REVISED STATUTES.

CAREY M. SHELDON  
MEMBER, RIVERVIEW MEADOWS DEVELOPMENT LLC

**ACKNOWLEDGMENTS**

STATE OF OREGON }  
S.S.

COUNTY OF TILLAMOOK }

KNOW ALL PEOPLE BY THESE PRESENTS, ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, PERSONALLY APPEARED CAREY M. SHELDON, A MEMBER OF RIVERVIEW MEADOWS DEVELOPMENT LLC, WHO BEING DULY SWORN, DID SAY THAT HE WAS THE IDENTICAL PERSON NAMED ON THE FOREGOING INSTRUMENT AND THAT SAID INSTRUMENT WAS EXECUTED ON HIS BEHALF AND HIS SIGNATURE IS AFFIXED TO SAID INSTRUMENT AND IS OF HIS FREE AND VOLUNTARY ACT.

NOTARY PUBLIC FOR THE STATE OF OREGON, SIGNATURE \_\_\_\_\_

PRINTED NAME \_\_\_\_\_  
MY COMMISSION NUMBER: \_\_\_\_\_  
MY COMMISSION EXPIRES: \_\_\_\_\_

SHEET 1 OF 6  
MAP: 03N-10W-23-B; T.L.: 03600  
ZONING: CITY OF NEHALEM MIXED DENSITY RESIDENTIAL (RM)  
TILLAMOOK COUNTY D.C.D. PERMIT #851-\_\_\_\_-PLNG

**SURVEYOR'S CERTIFICATE**

I, MACKENZIE C. WYNTERGREEN, A REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF OREGON, DO HEREBY CERTIFY THAT I HAVE CORRECTLY SURVEYED AND MARKED WITH PROPER MONUMENTS, AS PROVIDED BY LAW, (LOTS 21 THROUGH 94, TRACTS D, E & F, AND THE CENTERLINES AND RIGHT-OF-WAY LINES OF COLTLEE DRIVE, KINLEE DRIVE, RIVERVIEW DRIVE, MEEKA DRIVE, AND PLUTO DRIVE), THE TRACT OF LAND REPRESENTED ON THE ATTACHED SUBDIVISION PLAT OF "RIVERVIEW MEADOWS PHASE 2", BEING THE LANDS DESCRIBED IN WARRANTY DEED RECORDED IN INSTRUMENT #2021-08657 T.C.D.R. RECORDS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**DESCRIPTION:** COMMENCING AT A 3" BRASS DISC AT THE CORNER COMMON TO SECTIONS 14, 15, 22 AND 23 OF TOWNSHIP 3 NORTH, RANGE 10 WEST OF THE WILLAMETTE MERIDIAN;  
THENCE ALONG THE NORTH LINE OF SAID SECTION 23, SOUTH 88°34'19" EAST, 1,643.96 FEET TO A 5/8" REBAR W/YPC STAMPED "PLS 2351", BEING THE TRUE POINT OF BEGINNING, AND THE INITIAL POINT;  
THENCE LEAVING SAID NORTH SECTION LINE, SOUTH 23°06'13" EAST, 953.14 FEET TO A 5/8" REBAR W/YPC STAMPED "PLS 2351";  
THENCE SOUTH 05°07'18" WEST, 681.54 FEET TO A 5/8" REBAR W/YPC STAMPED "PLS 1205";  
THENCE SOUTH 21°08'40" WEST, 118.25 FEET TO A 5/8" REBAR W/YPC STAMPED "PLS 1205";  
THENCE SOUTH 10°16'38" WEST, 45.13 FEET TO A 5/8" REBAR W/YPC STAMPED "PLS 1205";  
THENCE SOUTH 11°49'17" WEST, 53.45 FEET TO A 5/8" REBAR W/YPC STAMPED "PLS 2351";  
THENCE SOUTH 89°43'53" WEST, 186.66 FEET TO A 5/8" REBAR W/YPC STAMPED "PLS 2351";  
THENCE NORTH 70°55'20" WEST, 50.02 FEET TO A 5/8" REBAR W/YPC STAMPED "PLS 2351", AND THE BEGINNING OF A 75.00-FOOT RADIUS NON-TANGENT CURVE TO THE LEFT;  
THENCE ALONG SAID NON-TANGENT CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 18°56'13" (THE LONG CHORD OF WHICH BEARS NORTH 11°27'26" EAST, 24.68 FEET), 24.79 FEET TO A 5/8" REBAR W/YPC STAMPED "PLS 2351";  
THENCE NORTH 01°59'20" EAST, 70.59 FEET TO A 5/8" REBAR W/YPC STAMPED "PLS 2351";  
THENCE NORTH 58°47'22" WEST, 354.09 FEET TO A 5/8" REBAR W/YPC STAMPED "PLS 2351";  
THENCE NORTH 52°28'52" WEST, 58.65 FEET TO A 5/8" REBAR W/YPC STAMPED "PLS 2351";  
THENCE NORTH 38°15'19" WEST, 45.85 FEET TO A 5/8" REBAR W/YPC STAMPED "PLS 2351";  
THENCE NORTH 15°15'15" WEST, 105.41 FEET TO A 5/8" REBAR W/YPC STAMPED "PLS 2351";  
THENCE NORTH 07°49'57" EAST, 149.18 FEET TO A 5/8" REBAR W/YPC STAMPED "PLS 2351";  
THENCE NORTH 88°33'47" EAST, 70.40 FEET TO A 5/8" REBAR W/YPC STAMPED "PLS 2351";  
THENCE NORTH 01°14'01" EAST, 93.04 FEET TO A 5/8" REBAR W/YPC STAMPED "PLS 2351", AND THE BEGINNING OF A 20.00-FOOT RADIUS CURVE TO THE LEFT;  
THENCE ALONG SAID CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 89°54'06" (THE LONG CHORD OF WHICH BEARS NORTH 43°33'45" WEST, 28.26 FEET), 31.38 FEET TO A 5/8" REBAR W/YPC STAMPED "PLS 2351";  
THENCE NORTH 01°34'30" EAST, 50.00 FEET TO A 5/8" REBAR;  
THENCE NORTH 01°16'30" WEST, 990.82 FEET TO THE NORTH LINE OF SECTION 23 OF TOWNSHIP 3 NORTH, RANGE 10 WEST OF THE WILLAMETTE MERIDIAN, WHICH A 5/8" REBAR W/YPC STAMPED "HLB INC." BEARS SOUTH 01°16'30" EAST, 0.18 FEET;  
THENCE ALONG SAID NORTH SECTION LINE, SOUTH 88°34'19" EAST, 327.99 FEET TO THE TRUE POINT OF BEGINNING, BEING THE INITIAL POINT.

CONTAINING 951,370 SQUARE FEET, 21.84 ACRES, MORE OR LESS.

**NARRATIVE**

THIS PLAT WAS CREATED AT THE REQUEST OF THE PROPERTY OWNER TO SUBDIVIDE THAT TRACT OF LAND DESCRIBED IN WARRANTY DEED RECORDED IN INSTRUMENT #2021-08657, T.C.D.R. PURSUANT TO THE CLIENT'S INSTRUCTIONS AND AS APPROVED BY THE TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT PERMITS NUMBER 851-\_\_\_\_-PLNG.

THE FOUND MONUMENTS AND THE BOUNDARY RESOLUTION PREVIOUSLY PERFORMED DURING "RIVERVIEW MEADOWS PHASE 1" SUBDIVISION, PER C-582 T.C.S.R. WERE HELD FOR THE EXTERIOR BOUNDARY OF THE PARENT TRACT, AND FOR THE BASIS OF BEARING.

ALL MONUMENT TIES AND MEASUREMENTS WERE PERFORMED UTILIZING AN O.P.U.S. ADJUSTED CONTROL POINT AND 2 LEICA GS14 GNSS RECEIVERS AS A BASE-ROVER R.T.K. PROCEDURE. REDUNDANT OBSERVATIONS WERE TAKEN, WITH FIXED POSITIONS BEING RE-INITIALIZED IN BETWEEN MEASUREMENTS. WHERE TERRESTRIAL METHODS WERE NEEDED, A LEICA TS15 ROBOTIC TOTAL STATION WAS USED, AND CLOSED TRAVERSES WERE PERFORMED. A LEICA CS15 DATA COLLECTOR RUNNING LEICA VIVA SMARTWORX WAS USED THROUGHOUT THE SURVEY.

**CERTIFICATE OF COUNTY CLERK**

STATE OF OREGON }  
S.S.

COUNTY OF TILLAMOOK }

I, DO HEREBY CERTIFY THAT I AM THE QUALIFIED CLERK OF TILLAMOOK COUNTY, OREGON, AND THAT THIS SUBDIVISION PLAT IS THE FULL, COMPLETE, AND TRUE COPY OF THE ORIGINAL PLAT OF THE SAME, AS RECORDED IN PLAT CABINET B-\_\_\_\_\_ OF SUBDIVISION PLAT RECORDS OF TILLAMOOK COUNTY, OREGON RECORDED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025, AT \_\_\_\_\_ O'CLOCK, AS INSTRUMENT NUMBER \_\_\_\_\_.

BY: \_\_\_\_\_  
CHRISTY NYSETH, COUNTY CLERK

I, MACKENZIE C. WYNTERGREEN, DO HEREBY CERTIFY THAT THIS IS A FULL, COMPLETE AND TRUE COPY OF THE ORIGINAL PLAT AS REFERENCED ABOVE.

BY: \_\_\_\_\_  
MACKENZIE CHARLES WYNTERGREEN, PLS 84224

**PLAT RESTRICTIONS AND EASEMENTS OF RECORD:**

- THIS PLAT IS SUBJECT TO THE CONDITIONS IMPOSED BY TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT PERMIT #851-\_\_\_\_-PLNG.
- TRACTS 'E', AND 'F' SHALL BE OWNED AND MAINTAINED BY THE DECLARANT.
- LOTS 21-94 ARE SUBJECT TO THE DECLARATION OF RESTRICTIVE COVENANTS RECORDED AS INSTRUMENT #2025-\_\_\_\_-T.C.D.R.
- AN 8.00' WIDE PUBLIC UTILITY EASEMENT SHALL EXIST ALONG THE FRONTAGE OF ALL LOTS ABUTTING THE PRIVATE STREETS. THIS IS ALSO GRANTED TO TILLAMOOK PEOPLE'S UTILITY DISTRICT (DISTRICT) PER INSTRUMENT 2009-2964 T.C.D.R., AS WELL AS AN 8.00' WIDE EASEMENT "OVER EACH AND EVERY LOT OR PARCEL, LOCATED WHERE DISTRICT DETERMINES TO PLACE A CONNECTING LINE AND RELATED FACILITIES".
- TRACT 'F' CONSISTS OF ALL OF THE PRIVATE ROADWAYS WITHIN THIS SUBDIVISION, AND SHALL BE SUBJECT TO THE FOLLOWING VARYING WIDTH EASEMENTS: AN ACCESS EASEMENT FOR THE BENEFIT OF LOTS 21-94 AND TRACTS 'D' & 'E' WITHIN THIS SUBDIVISION; A PUBLIC UTILITY EASEMENT FOR THE BENEFIT OF FRANCHISED PUBLIC UTILITY PROVIDERS, WHICH EASEMENT MAY BE USED FOR THE INSTALLATION, CONSTRUCTION, RENEWAL, OPERATION, AND MAINTENANCE OF THE FRANCHISED FACILITIES; AN EASEMENT PERMITTING ACCESS TO EMERGENCY SERVICE PROVIDERS AND THEIR VEHICLES; A SANITARY SEWER EASEMENT FOR THE BENEFIT OF NEHALEM BAY WASTEWATER AGENCY, ITS SUCCESSORS OR ASSIGNS, WHICH EASEMENT PERMITS THE INSTALLATION, CONSTRUCTION, RENEWAL, OPERATION, AND MAINTENANCE OF SANITARY SEWERS AND THEIR APPURTENANCES; A WATER LINE EASEMENT FOR THE BENEFIT OF THE CITY OF NEHALEM, ITS SUCCESSORS OR ASSIGNS, WHICH EASEMENT PERMITS THE INSTALLATION, CONSTRUCTION, RENEWAL, OPERATION, AND MAINTENANCE OF WATER LINES AND THEIR APPURTENANCES; AND AN EASEMENT PERMITTING ACCESS TO FRANCHISED POSTAL SERVICE PROVIDERS AND THEIR VEHICLES.
- LOT 59 IS SUBJECT TO A VARYING WIDTH EASEMENT PERMITTING ACCESS TO FRANCHISED POSTAL SERVICE PROVIDERS AND THEIR VEHICLES, AS SHOWN ON SHEET 4, WHICH EASEMENT MAY BE USED FOR THE INSTALLATION, CONSTRUCTION, RENEWAL, OPERATION, AND MAINTENANCE OF MAILBOXES AND THEIR APPURTENANCES.
- LOTS 36, 37, 38, 58, 60, 65-74, AND TRACT 'D' ARE SUBJECT TO A 10.00' STORM DRAINAGE EASEMENT, AS SHOWN ON SHEET 4 & 5, WHICH EASEMENT PERMITS THE INSTALLATION, CONSTRUCTION, RENEWAL, OPERATION, AND MAINTENANCE OF STORM DRAINAGES AND THEIR APPURTENANCES.
- LOT 88 IS SUBJECT TO A 10' SANITARY SEWER LINE EASEMENT, SHOWN ON SHEET 4, FOR THE BENEFIT OF NEHALEM BAY WASTEWATER AGENCY, ITS SUCCESSORS OR ASSIGNS, WHICH EASEMENT PERMITS THE INSTALLATION, CONSTRUCTION, RENEWAL, OPERATION, AND MAINTENANCE OF SANITARY SEWERS AND THEIR APPURTENANCES.
- LOTS 46 & 47 ARE SUBJECT TO A 20.00' ACCESS ENCROACHMENT EASEMENT, AS SHOWN ON SHEET 5, AND RECORDED PER INSTRUMENT #2025-\_\_\_\_-T.C.D.R.
- TRACT 'A' OF RIVERVIEW MEADOWS PHASE 1 IS SUBJECT TO A REVISED 50.00' NON-EXCLUSIVE PUBLIC/PRIVATE ACCESS & PUBLIC/PRIVATE UTILITIES EASEMENT, AS SHOWN ON SHEET 2, ORIGINALLY GRANTED PER "RIVERVIEW MEADOWS PHASE 1" AS EMERGENCY VEHICLE ACCESS EASEMENT AND RE-RECORDED TO INCLUDE PUBLIC/PRIVATE ACCESS & PUBLIC/PRIVATE UTILITIES PER INSTRUMENT #2022-6452 T.C.D.R. AND RE-RECORDED TO CORRECT THE LEGAL DESCRIPTION PER INSTRUMENT #2025-\_\_\_\_-T.C.D.R.
- RIVERVIEW MEADOWS PHASE 2 HAVE BEEN GRANTED A REVISED 50.00' NON-EXCLUSIVE EASEMENT FOR PUBLIC/PRIVATE ACCESS & PUBLIC/PRIVATE UTILITIES, AS SHOWN ON SHEET 2 & 3, ORIGINALLY RECORDED AS "EMERGENCY VEHICLE ACCESS EASEMENT" PER INSTRUMENT #2009-3657 T.C.D.R. AND RE-RECORDED TO INCLUDE PUBLIC/PRIVATE ACCESS & PUBLIC/PRIVATE UTILITIES PER INSTRUMENT #2022-6423 T.C.D.R. AND THEN RE-RECORDED TO CORRECT THE LEGAL DESCRIPTION PER INSTRUMENT #2023-1909 T.C.D.R.
- RIVERVIEW MEADOWS PHASE 2 HAVE BEEN GRANTED A 50.00' NON-EXCLUSIVE EASEMENT FOR PUBLIC/PRIVATE ACCESS & PUBLIC/PRIVATE UTILITIES, AS SHOWN ON SHEET 2, RECORDED PER INSTRUMENTS #2023-1906 T.C.D.R.
- RIVERVIEW MEADOWS PHASE 2 HAVE BEEN GRANTED A 20.00' CONSTRUCTION, GRADING, & MAINTENANCE OF ROADS EASEMENT, AS SHOWN ON SHEET 2 & 3, PER INSTRUMENT #2023-1908 T.C.D.R.
- SUBJECT TO A PUBLIC UTILITY EASEMENT FOR THE BENEFIT OF FRANCHISED PUBLIC UTILITY PROVIDERS, WHICH EASEMENT MAY BE USED FOR THE INSTALLATION, CONSTRUCTION, RENEWAL, OPERATION, AND MAINTENANCE OF THE FRANCHISED FACILITIES; A SANITARY SEWER EASEMENT FOR THE BENEFIT OF NEHALEM BAY WASTEWATER AGENCY, ITS SUCCESSORS OR ASSIGNS, WHICH EASEMENT PERMITS THE INSTALLATION, CONSTRUCTION, RENEWAL, OPERATION, AND MAINTENANCE OF SANITARY SEWERS AND THEIR APPURTENANCES; A WATER LINE EASEMENT FOR THE BENEFIT OF THE CITY OF NEHALEM, ITS SUCCESSORS OR ASSIGNS, WHICH EASEMENT PERMITS THE INSTALLATION, CONSTRUCTION, RENEWAL, OPERATION, AND MAINTENANCE OF WATER LINES AND THEIR APPURTENANCES.
- RIVERVIEW MEADOWS PHASE 2 HAVE BEEN GRANTED A 25.00' STORM DRAINAGE EASEMENT, AS SHOWN ON SHEET 3, PER INSTRUMENT #2023-1907 T.C.D.R.

REGISTERED  
PROFESSIONAL  
LAND SURVEYOR

PRELIMINARY  
NO COPIES SHALL BE MADE OR REPRODUCED  
WITHOUT APPROVAL OF THE SURVEYOR

OREGON  
DECEMBER 06, 2011  
MACKENZIE C. WYNTERGREEN  
84224

RENEWS: JUNE 30, 2026

OWNER & SUBDIVIDER  
RIVERVIEW MEADOWS DEVELOPMENT LLC  
23765 S.E. HIGHWAY 212  
DAMASCUS, OREGON 97089

WYNTERGREEN SURVEY COMPANY, LLC

LAND SURVEYING & LAND CONSULTING  
23895 SANDLAKE ROAD CLOVERDALE, OREGON 97112  
TELEPHONE: (541) 670-5458 EMAIL: MICR@4224@GMAIL.COM

JOB NO.: 2023-008	DRAWN: MCW	CHECKED: PHW
DATE: 11/17/2025	DATE OF SURVEY: 09/03/2025	



SECTION 14  
SECTION 23

(S88°34'19"E 1,316.04')  
(S88°34'19"E 1,315.97')

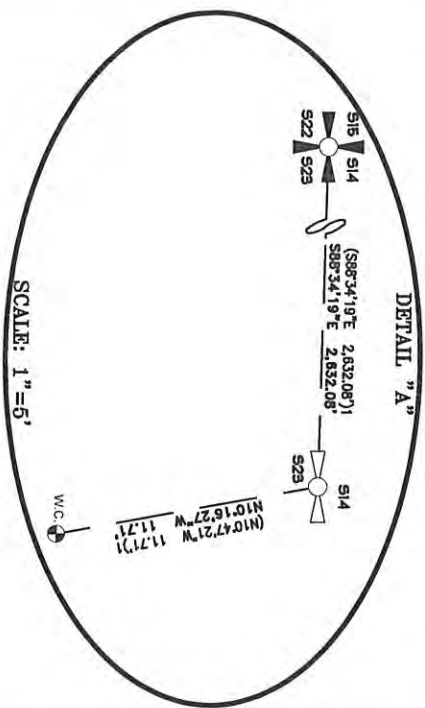
(S88°34'19"E 1,644.08')  
(S88°34'19"E 1,643.96')

(S88°34'19"E 328.04')  
(S88°34'19"E 327.99')

(S88°34'19"E 2,632.08')  
(S88°34'19"E 2,632.08')

(N88°34'19"W 988.00')  
(N88°34'19"W 988.12')

SEE  
DETAIL "A"  
S14  
S23



SCALE: 1" = 6'

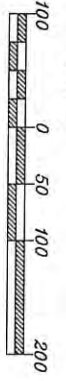
INSTRUMENT 2008-85833  
T.C.D.R.

### BASIS OF BEARING

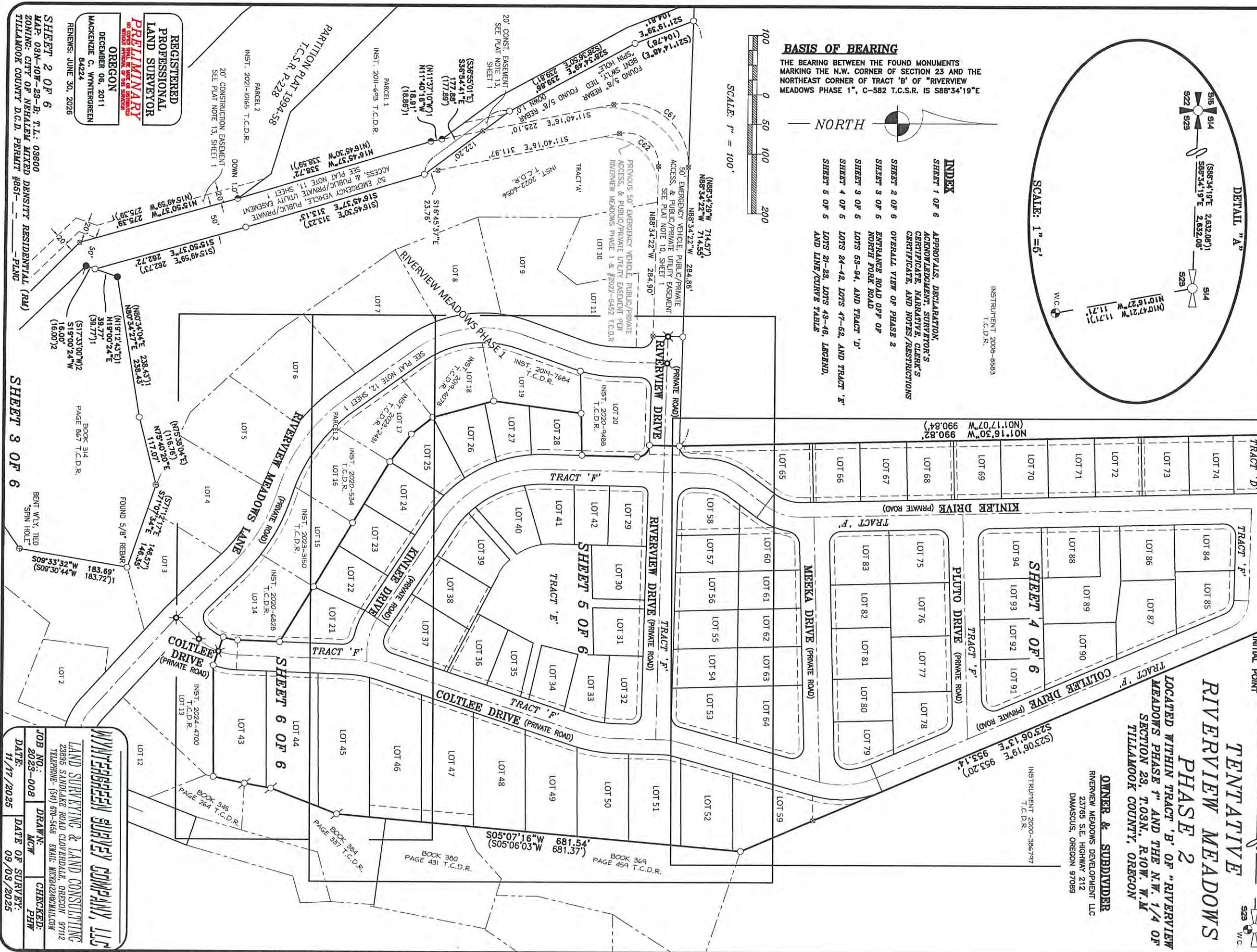
THE BEARING BETWEEN THE FOUND MONUMENTS MARKING THE N.W. CORNER OF SECTION 23 AND THE NORTHEAST CORNER OF TRACT 'B' OF "RIVERVIEW MEADOWS PHASE 1", C-582 T.C.S.R. IS S88°34'19"E



SCALE: 1" = 100'



- INDEX**
- SHEET 1 OF 6 APPROVALS, DECLARATION, ACKNOWLEDGMENT, SURVEYOR'S CERTIFICATE, NARRATIVE, CLERK'S CERTIFICATE, AND NOTES/RESTRICTIONS
  - SHEET 2 OF 6 OVERALL VIEW OF PHASE 2
  - SHEET 3 OF 6 ENTRANCE ROAD OFF OF NORTH FORK ROAD
  - SHEET 4 OF 6 LOTS 24-42, LOTS 47-62, AND TRACT 'D'
  - SHEET 5 OF 6 LOTS 21-23, LOTS 43-46, LARSEND, AND LANE/CURVE TABLE



**REGISTERED PROFESSIONAL LAND SURVEYOR**  
**PRELIMINARY**  
ORIGIN: DECEMBER 06, 2011  
MACKENZIE C. WYNTERGREEN  
84224  
RENEW: JUNE 30, 2026

**SHEET 2 OF 6**  
MAP: 03N-10W-23-B; T.L.: 09800  
ZONING: CITY OF NEHALEM MIXED DENSITY RESIDENTIAL (RD)  
TILLAMOOK COUNTY D.G.D. PERMIT #861-1-PLNG

**SHEET 3 OF 6**

**WYNTERGREEN SURVEY COMPANY, LLC**  
LAND SURVEYING & LAND CONSULTING  
23995 SANDLAKE ROAD CLATSOP COUNTY, OREGON 97112  
TELEPHONE: (541) 650-5458 EMAIL: WYNTERGREEN@GMAIL.COM

JOB NO.: 008	DRAWN BY: ACW	CHECKED BY: PHW
DATE: 11/17/2025	DATE OF SURVEY: 09/03/2025	

**TENTATIVE RIVERVIEW MEADOWS PHASE 2**  
LOCATED WITHIN TRACT 'B' OF "RIVERVIEW MEADOWS PHASE 1" AND THE N.W. 1/4 OF SECTION 23, T.03N., R.10W., W.M. TILLAMOOK COUNTY, OREGON

**OWNER & SUBDIVIDER**  
RIVERVIEW MEADOWS DEVELOPMENT LLC  
23765 S.E. HIGHWAY 212  
DAMASCUS, OREGON 97089

INSTRUMENT 2000-386797  
T.C.D.R.

(S23°06'15"E 953.20')  
(S23°06'15"E 953.14')

BOOK 369 PAGE 459 T.C.D.R.

BOOK 369 PAGE 431 T.C.D.R.

BOOK 380 PAGE 431 T.C.D.R.

BOOK 384 PAGE 337 T.C.D.R.

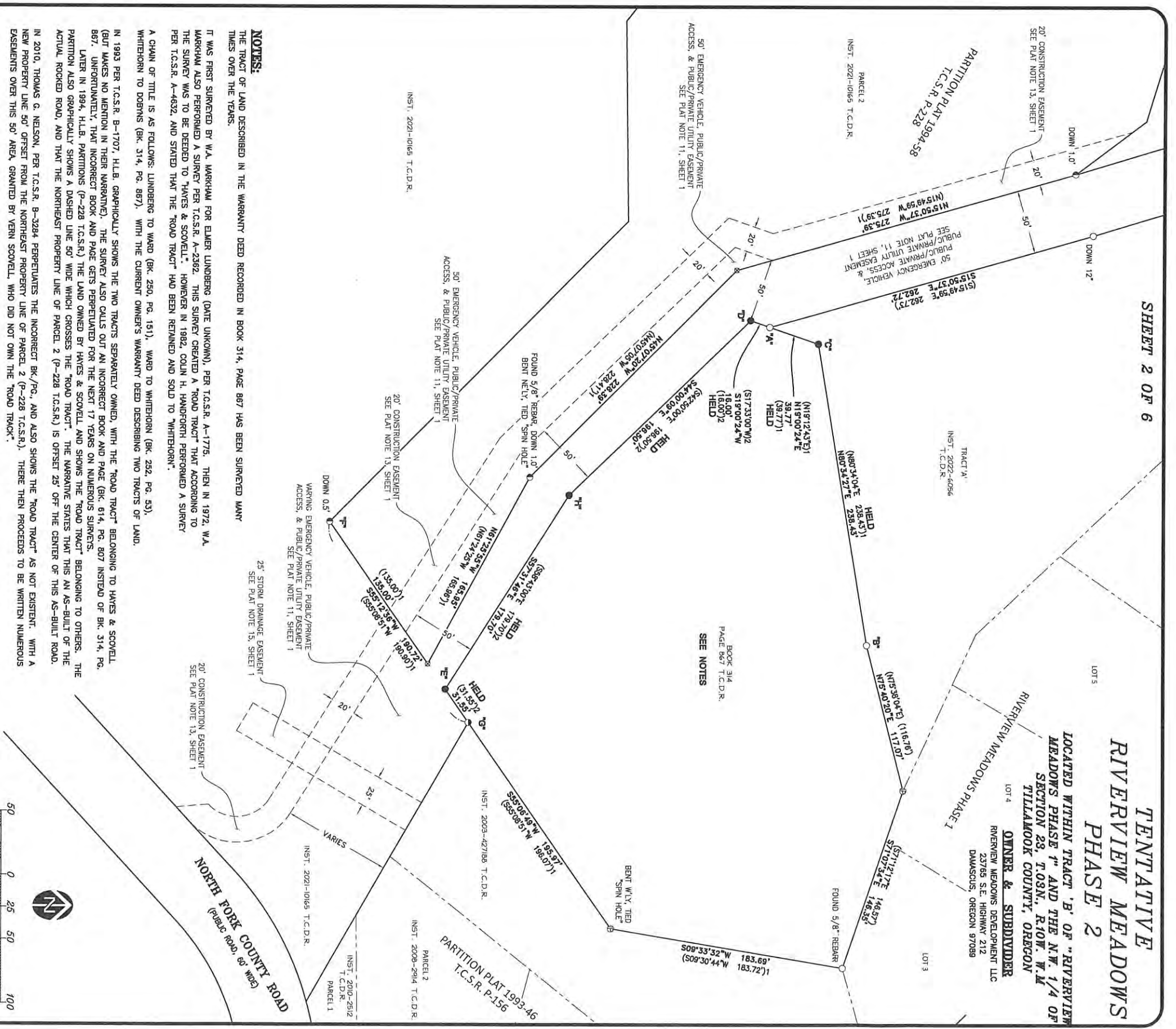
BOOK 345 PAGE 264 T.C.D.R.

BOOK 314 PAGE 967 T.C.D.R.

# TENTATIVE RIVERVIEW MEADOWS PHASE 2

LOCATED WITHIN TRACT 'B' OF "RIVERVIEW MEADOWS PHASE 1" AND THE N.W. 1/4 OF SECTION 29, T.03N., R.10W., W.M. TILLAMOOK COUNTY, OREGON

**OWNER & SUBDIVIDER**  
RIVERVIEW MEADOWS DEVELOPMENT LLC  
23765 S.E. HIGHWAY 212  
DAMASCUS, OREGON 97089



**NOTES:**  
THE TRACT OF LAND DESCRIBED IN THE WARRANTY DEED RECORDED IN BOOK 314, PAGE 867 HAS BEEN SURVEYED MANY TIMES OVER THE YEARS.

IT WAS FIRST SURVEYED BY W.A. MARKHAM FOR ELMER LUNDBERG (DATE UNKNOWN), PER T.C.S.R. A-1775. THEN IN 1972, W.A. MARKHAM ALSO PERFORMED A SURVEY PER T.C.S.R. A-2362. THIS SURVEY CREATED A "ROAD TRACT" THAT ACCORDING TO THE SURVEY WAS TO BE DEEDED TO HAYES & SCOVELL. HOWEVER IN 1982, COLIN H. HANFORD PERFORMED A SURVEY PER T.C.S.R. A-4632, AND STATED THAT THE "ROAD TRACT" HAD BEEN RETAINED AND SOLD TO "WHITEHORN".

A CHAIN OF TITLE IS AS FOLLOWS: LUNDBERG TO WARD (BK. 250, PG. 151), WARD TO WHITEHORN (BK. 222, PG. 53), WHITEHORN TO DOBNS (BK. 314, PG. 867), WITH THE CURRENT OWNER'S WARRANTY DEED DESCRIBING TWO TRACTS OF LAND.

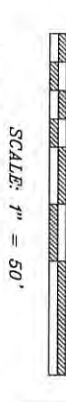
IN 1993 PER T.C.S.R. B-1707, H.L.B. GRAPHICALLY SHOWS THE TWO TRACTS SEPARATELY OWNED, WITH THE "ROAD TRACT" BELONGING TO HAYES & SCOVELL (BUT MAKES NO MENTION IN THEIR WARRANTY). THE SURVEY ALSO CALLS OUT AN INCORRECT BOOK AND PAGE (BK. 614, PG. 807 INSTEAD OF BK. 314, PG. 867, UNFORTUNATELY, THAT INCORRECT BOOK AND PAGE GETS PERPETUATED FOR THE NEXT 17 YEARS ON NUMEROUS SURVEYS.

LATER IN 1994, H.L.B. PARTITIONS (P-228 T.C.S.R.) THE LAND OWNED BY HAYES & SCOVELL AND SHOWS THE "ROAD TRACT" BELONGING TO OTHERS. THE PARTITION ALSO GRAPHICALLY SHOWS A DASHED LINE 50' WIDE WHICH CROSSES THE "ROAD TRACT". THE NARRATIVE STATES THAT THIS AN AS-BUILT OF THE ACTUAL ROCKED ROAD, AND THAT THE NORTHEAST PROPERTY LINE OF PARCEL 2 (P-228 T.C.S.R.) IS OFFSET 25' OFF THE CENTER OF THIS AS-BUILT ROAD.

IN 2010, THOMAS G. NELSON, PER T.C.S.R. B-3284 PERPETUATES THE INCORRECT BK./PG., AND ALSO SHOWS THE "ROAD TRACT" AS NOT EXISTENT. WITH A NEW PROPERTY LINE 50' OFFSET FROM THE NORTHEAST PROPERTY LINE OF PARCEL 2 (P-228 T.C.S.R.). THERE THEN PROCEEDS TO BE WRITTEN NUMEROUS EASEMENTS OVER THIS 50' AREA, GRANTED BY VERN SCOVELL, WHO DID NOT OWN THE "ROAD TRACT".

THEFORE, THIS SURVEY ESTABLISHED AND MONUMENTED THE "ROAD TRACK", AS DESCRIBED IN THE CURRENT VESTING DEED BK. 314, PG. 867. NEW EASEMENTS WERE ALSO WRITTEN AND RECORDED FOR PUBLIC/PRIVATE ACCESS, & PUBLIC/PRIVATES UTILITIES.

THE BOUNDARY OF THE "ROAD TRACK" WAS RESOLVED AS FOLLOWS: POINT "C" WAS ESTABLISHED AT RECORD DISTANCE/DISTANCE INTERSECTION (PER T.C.S.R. B-3284) FROM POINT "A" AND POINT "B". NEXT, POINT "D" WAS ESTABLISHED AT RECORD DISTANCE (PER T.C.S.R. A-2362) EXTENDED ON THE LINE FROM POINT "C" TO POINT "A". NEXT, POINT "E" WAS ESTABLISHED AT RECORD DISTANCE (PER T.C.S.R. A-2362) ON THE LINE FROM POINT "G" TO POINT "F". AND FINALLY, POINT "H" WAS ESTABLISHED AT RECORD DISTANCE/DISTANCE INTERSECTION (PER T.C.S.R. A-2362) FROM POINT "D" AND POINT "E".



**BASIS OF BEARING**  
THE BEARING BETWEEN THE FOUND MONUMENTS MARKING THE N.W. CORNER OF SECTION 29 AND THE NORTHEAST CORNER OF TRACT 'B' OF "RIVERVIEW MEADOWS PHASE 1", C-592 T.C.S.R. IS S89°34'19"E

SHEET 3 OF 6  
MAP: 03N-10W-23-B; T.L.: 03600  
ZONING: CITY OF NEHALEM MIXED DENSITY RESIDENTIAL (RM)  
TILLAMOOK COUNTY D.C.D. PERMIT #861-\_\_\_\_-PLANG

**REGISTERED PROFESSIONAL LAND SURVEYOR**  
OREGON  
DECEMBER 06, 2011  
MACKENZIE C. WINNEMOEN  
84224

**PRELIMINARY**  
NO VALIDATION OF THIS SURVEY  
BY THE BOARD OF LAND SURVEYORS

**WITTEPHAGEN SURVEY COMPANY, LLC**  
LAND SURVEYING & LAND CONSULTING  
23895 SANDLAKE ROAD CLOVERDALE, OREGON 97112  
TELEPHONE: (541) 670-5458 EMAIL: WITTEPHAGEN@GMAIL.COM

JOB NO.: 009	DRAWN BY: ACW	CHECKED BY: PHW
DATE: 11/17/2025	DATE OF SURVEY: 09/03/2025	

INSTRUMENT 2000-396797  
T.C.D.R.

# TENTATIVE RIVERVIEW MEADOWS PHASE 2

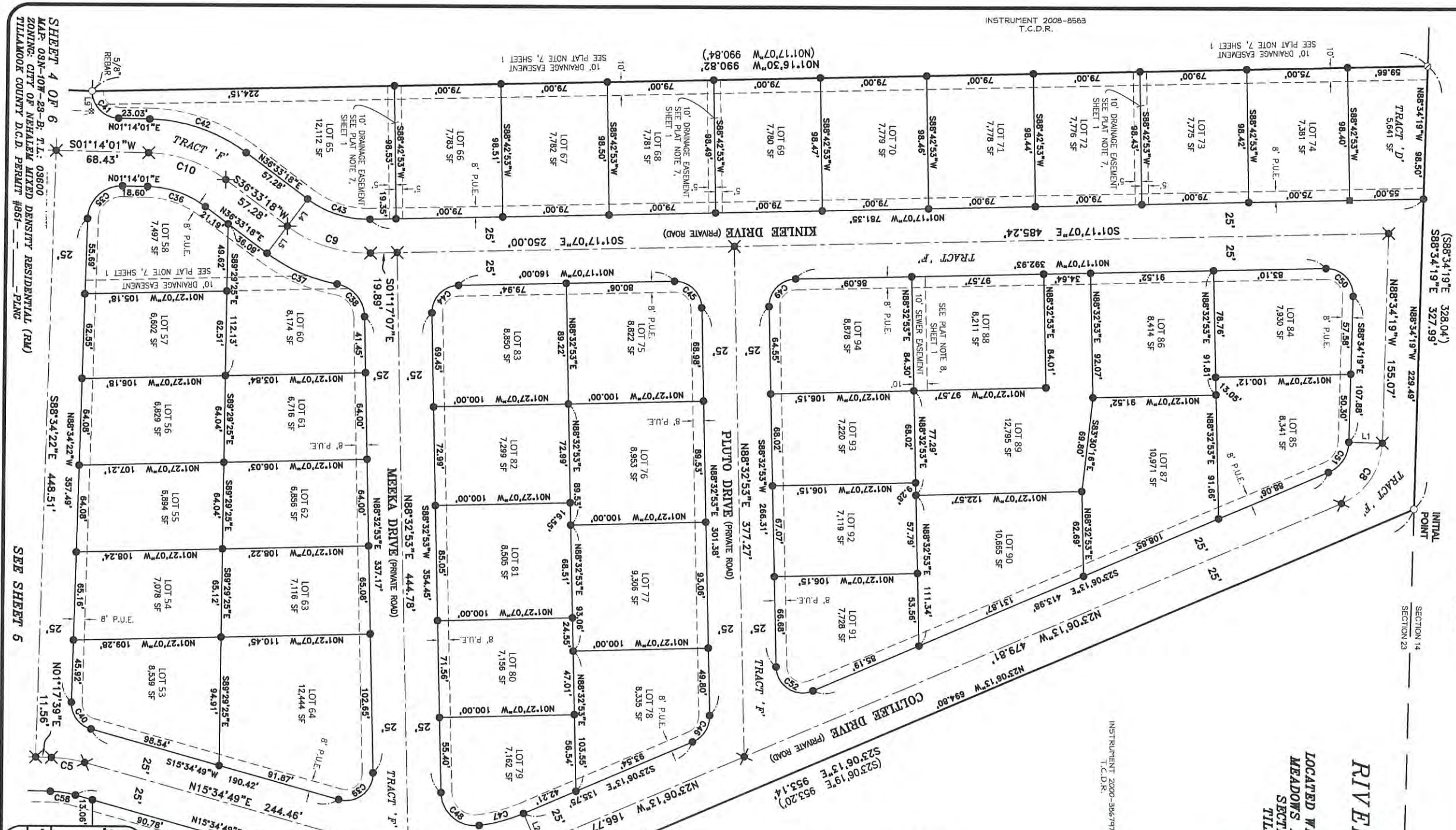
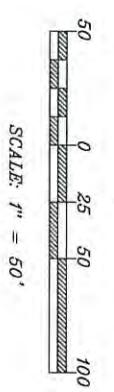
LOCATED WITHIN TRACT 'B' OF 'RIVERVIEW  
MEADOWS PHASE 1' AND THE N.W. 1/4 OF  
SECTION 23, T.03N., R.10W., W.M.  
TILLAMOOK COUNTY, OREGON

**OWNER & SUBDIVIDER**  
RIVERVIEW MEADOWS DEVELOPMENT LLC  
23765 S.E. HIGHWAY 212  
DAMASCUS, OREGON 97089

INSTRUMENT 2000-396797  
T.C.D.R.

REGISTERED  
PROFESSIONAL  
LAND SURVEYOR  
**PRELIMINARY**  
OREGON  
DECEMBER 06, 2011  
MACKENZIE C. WINTERGREEN  
84224  
RENEWALS: JUNE 30, 2026

**BASIS OF BEARING**  
THE BEARING BETWEEN THE FOUND MONUMENTS  
MARKING THE N.W. CORNER OF SECTION 23 AND THE  
NORTHEAST CORNER OF TRACT 'B' OF 'RIVERVIEW  
MEADOWS PHASE 1', 0-582 T.C.S.R., IS S88°34'19"E



**WINTERGREEN SURVEY COMPANY, LLC**  
LAND SURVEYING & LAND CONSULTING  
23895 SANDLAKE ROAD CLOVERDALE, OREGON 97112  
TELEPHONE: (503) 690-5168 EMAIL: WINTERGREEN@GMAIL.COM

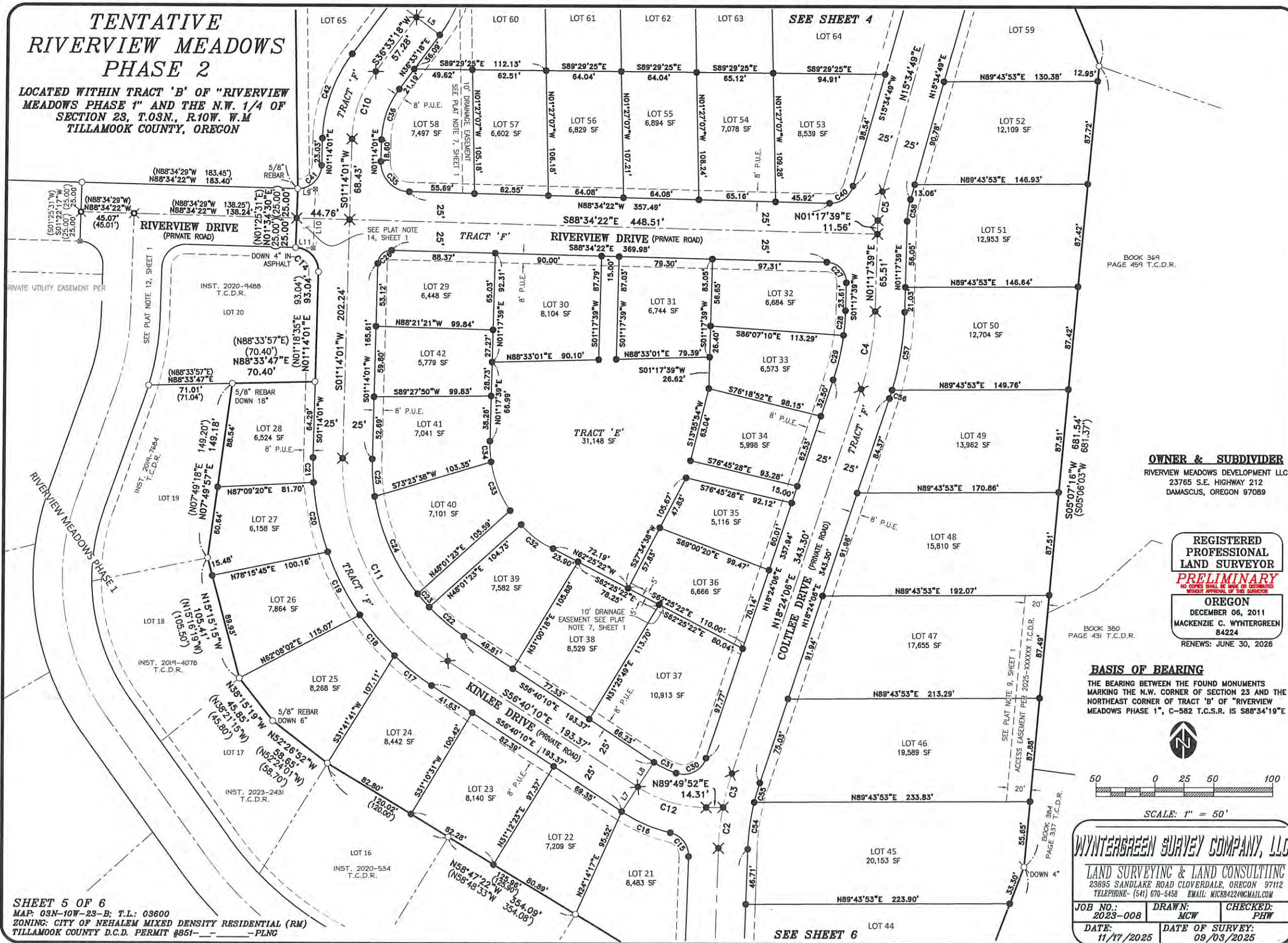
JOB NO.: 2023-008	DRAWN: ACW	CHECKED: PHW
DATE: 11/17/2025	DATE OF SURVEY: 09/03/2025	

SHEET 4 OF 6  
MAP: 09N-10W-23-B; T.L.: 09600  
ZONING: CITY OF NEHALEM MIXED DENSITY RESIDENTIAL (RM)  
TILLAMOOK COUNTY D.C.D. PERMIT #861-1-1-PLNG

SEE SHEET 5

# TENTATIVE RIVERVIEW MEADOWS PHASE 2

LOCATED WITHIN TRACT 'B' OF "RIVERVIEW MEADOWS PHASE 1" AND THE N.W. 1/4 OF SECTION 23, T.03N., R.10W. W.M. TILLAMOOK COUNTY, OREGON



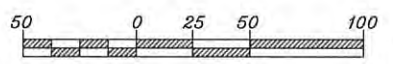
BOOK 364  
PAGE 469 T.C.D.R.

**OWNER & SUBDIVIDER**  
RIVERVIEW MEADOWS DEVELOPMENT LLC  
23765 S.E. HIGHWAY 212  
DAMASCUS, OREGON 97089

**REGISTERED  
PROFESSIONAL  
LAND SURVEYOR**  
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**OREGON**  
DECEMBER 06, 2011  
MACKENZIE C. WYNTERGREEN  
84224  
RENEWS: JUNE 30, 2026

**BASIS OF BEARING**  
THE BEARING BETWEEN THE FOUND MONUMENTS  
MARKING THE N.W. CORNER OF SECTION 23 AND THE  
NORTHEAST CORNER OF TRACT 'B' OF "RIVERVIEW  
MEADOWS PHASE 1", C-582 T.C.S.R. IS S88°34'19"E



SCALE: 1" = 50'

**WYNTERGREEN SURVEY COMPANY, LLC**  
LAND SURVEYING & LAND CONSULTING  
23895 SANDLAKE ROAD CLOVERDALE, OREGON 97112  
TELEPHONE: (541) 670-5458 EMAIL: MICR@4224@GMAIL.COM

JOB NO: 2023-008	DRAWN: MCW	CHECKED: PHW
DATE: 11/17/2025	DATE OF SURVEY: 09/03/2025	

SHEET 5 OF 6  
MAP: 03N-10W-23-B; T.L.: 03600  
ZONING: CITY OF NEHALEM MIXED DENSITY RESIDENTIAL (RM)  
TILLAMOOK COUNTY D.C.D. PERMIT #851- - -PLNG

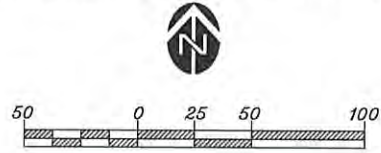
SEE SHEET 6

**TENTATIVE  
RIVERVIEW MEADOWS  
PHASE 2**  
LOCATED WITHIN TRACT 'B' OF "RIVERVIEW  
MEADOWS PHASE 1" AND THE N.W. 1/4 OF  
SECTION 23, T.03N., R.10W. W.M  
TILLAMOOK COUNTY, OREGON

RECORD CURVE TABLE					
CURVE #	DELTA	RADIUS	LENGTH	BEARING	DISTANCE
C13	(18°51'18")	(75.00')	(24.68')	(N11°28'29"E)	(24.57')
C14	(89°53'04")	(20.00')	(31.38')	(N43°37'57"W)	(28.28')
C53	(18°09'01")	(125.00')	(39.60')	(N11°07'21"E)	(39.43')
C60	(22°15'34")	(100.00')	(38.65')	(N31°35'29"E)	(38.61')

CURVE TABLE					
CURVE #	DELTA	RADIUS	LENGTH	BEARING	DISTANCE
C1	18°28'30"	100.00'	32.24'	N11°13'55"E	32.11'
C2	8°50'55"	225.00'	34.75'	S06°24'48"W	34.71'
C3	7°33'50"	225.00'	29.70'	S14°37'10"W	29.68'
C4	17°06'27"	225.00'	67.18'	N09°50'52"E	66.93'
C5	14°17'11"	100.00'	24.93'	N08°26'14"E	24.87'
C6	1°42'21"	150.00'	4.47'	N14°43'39"E	4.47'
C7	36°58'41"	150.00'	96.81'	N04°36'52"W	95.14'
C8	65°28'06"	50.00'	57.13'	N55°50'16"W	54.07'
C9	37°50'25"	100.00'	66.04'	S17°38'06"W	64.85'
C10	35°19'17"	100.00'	61.65'	S18°53'40"W	60.68'
C11	57°54'12"	200.00'	202.12'	S27°43'05"E	193.63'
C12	33°29'57"	105.00'	61.39'	S73°25'09"E	60.52'
C13	18°56'13"	75.00'	24.79'	S11°27'26"W	24.68'
C14	89°54'08"	20.00'	31.38'	S43°33'45"E	28.28'
C15	78°41'07"	20.00'	27.47'	S37°21'14"E	25.36'
C16	20°01'37"	130.00'	45.44'	S66°40'59"E	45.21'
C17	10°20'33"	225.00'	40.61'	S51°29'54"E	40.56'
C18	11°32'55"	225.00'	45.35'	S40°33'10"E	45.27'
C19	15°18'38"	225.00'	60.12'	S27°07'24"E	59.95'
C20	15°18'51"	225.00'	60.14'	S11°48'40"E	59.96'
C21	5°23'16"	225.00'	21.16'	S01°27'36"E	21.15'
C22	12°40'50"	175.00'	38.73'	S50°19'45"E	38.65'
C23	4°54'45"	175.00'	15.00'	S41°31'57"E	15.00'
C24	29°52'33"	175.00'	91.25'	S24°08'18"E	90.22'
C25	10°26'03"	175.00'	31.87'	S03°59'00"E	31.83'
C26	90°11'36"	11.50'	18.10'	S46°19'50"W	16.29'
C27	89°52'01"	17.00'	26.66'	N43°38'22"W	24.01'
C28	6°00'21"	200.00'	20.98'	N04°17'49"E	20.96'
C29	11°06'05"	200.00'	38.75'	N12°51'03"E	38.69'
C30	89°57'35"	20.00'	31.40'	N63°22'53"E	28.27'
C31	14°58'09"	80.00'	20.90'	S64°09'15"E	20.84'
C32	27°57'06"	69.68'	33.99'	S52°57'20"E	33.66'
C33	25°38'07"	100.00'	44.74'	S21°37'41"E	44.37'
C34	10°06'16"	100.00'	17.64'	S03°45'29"E	17.61'
C35	89°48'24"	25.00'	39.19'	S43°40'10"E	35.30'
C36	35°19'17"	75.00'	46.24'	S18°53'40"W	45.51'
C37	26°18'48"	125.00'	57.41'	S23°23'54"W	56.90'
C38	78°18'23"	25.00'	34.17'	S49°23'42"W	31.57'
C39	107°01'56"	20.00'	37.36'	N37°56'09"W	32.16'
C40	75°50'48"	20.00'	26.48'	N53°30'14"E	24.58'
C41	88°14'02"	20.25'	31.18'	S45°18'58"W	28.19'
C42	35°19'17"	125.00'	77.06'	S18°53'40"W	75.84'
C43	37°50'25"	75.00'	49.53'	S17°38'06"W	48.64'
C44	90°10'00"	20.00'	31.47'	S46°22'07"E	28.33'
C45	89°50'00"	20.00'	31.36'	S43°37'53"W	28.24'
C46	68°20'54"	20.70'	24.69'	N57°16'40"W	23.25'
C47	15°42'35"	125.00'	34.27'	N15°14'55"W	34.17'
C48	95°56'31"	25.00'	41.86'	N40°34'38"E	37.14'
C49	90°10'00"	20.00'	31.47'	S46°22'07"E	28.33'
C50	92°42'48"	20.00'	32.36'	S45°04'17"W	28.95'
C51	65°28'06"	25.00'	28.57'	N55°50'16"W	27.04'
C52	111°39'06"	19.70'	38.39'	N32°43'20"E	32.60'
C53	18°11'51"	125.00'	39.70'	S11°05'16"W	39.53'
C54	11°30'53"	200.00'	40.19'	S07°44'46"W	40.13'
C55	4°53'53"	200.00'	17.10'	S15°57'09"W	17.09'
C56	1°43'58"	250.00'	7.56'	N17°32'07"E	7.56'
C57	15°22'29"	250.00'	67.08'	N08°58'53"E	66.88'
C58	14°17'11"	75.00'	18.70'	S08°26'14"W	18.65'
C59	38°41'02"	175.00'	118.15'	S03°45'42"E	115.92'
C60	22°15'46"	100.00'	38.86'	N31°35'43"E	38.61'
C61	103°05'54"	105.00'	188.94'	S39°52'41"W	164.46'
C62	103°05'54"	55.00'	98.97'	S39°52'41"W	86.15'

**BASIS OF BEARING**  
THE BEARING BETWEEN THE FOUND MONUMENTS MARKING THE N.W. CORNER OF SECTION 23 AND THE NORTHEAST CORNER OF TRACT 'B' OF "RIVERVIEW MEADOWS PHASE 1", C-582 T.C.S.R. IS S88°34'19"E



SCALE: 1" = 50'

RECORD LINE TABLE		
LINE #	BEARING	DISTANCE
L9	S88°34'29"E	(15.00')
L10	S01°25'31"W	(50.00')
L11	N88°34'29"W	(15.00')
L12	N87°57'09"W	(50.00')

LINE TABLE		
LINE #	BEARING	DISTANCE
L1	S01°25'41"W	25.00'
L2	S66°53'47"W	25.00'
L3	S66°53'47"W	25.00'
L4	N53°26'42"W	25.00'
L5	S53°26'42"E	25.00'
L7	N33°19'50"E	25.00'
L8	N33°19'50"E	25.00'
L9	S88°34'22"E	15.00'
L10	S01°34'30"W	50.00'
L11	N88°34'22"W	15.00'
L12	N88°00'40"W	50.00'

**SURVEY REFERENCES**

- WARRANTY DEED INSTRUMENT 2021-8657 DATED OCTOBER 15, 2021, T.C.D.R.
- ( ) = "RIVERVIEW MEADOWS PHASE 1" SUBMISSION PER T.C.S.R. C-582 BY THOMAS G. NELSON, JUNE, 2010
- ( )1 = T.C.S.R. B-3284 BY THOMAS G. NELSON, FEBRUARY, 2009
- ( )2 = T.C.S.R. A-2362 BY W.A. MARKHAM, DECEMBER, 1972

**LEGEND**

- ⊕ = FOUND 3" TILLAMOOK COUNTY SURVEYORS BRASS CAP STAMPED "T3N R10W S15, S14, S22, S23 RS 287 1977", IN CONCRETE, PER TILLAMOOK COUNTY REWITNESS CARD #122. (HELD)
- ⊙ = CALCULATED POSITION OF 1/4 SECTION CORNER BETWEEN SECTIONS 14 AND 23.
- ⊕ = FOUND 3" TILLAMOOK COUNTY SURVEYORS BRASS CAP STAMPED "1/4 S14, S23 RS 287 1978", IN GRAVEL DRIVE, PER TILLAMOOK COUNTY REWITNESS CARD #123. (NOT HELD AS 1/4 SECTION CORNER, BUT AS A WITNESS CORNER)
- ⊕ = FOUND 1 1/2" ALUMINUM CAP STAMPED "PLS 2351", FLUSH IN ASPHALT, PER T.C.S.R. C-582. (HELD)
- ⊙ = FOUND 5/8" REBAR W/YPC MARKED "PLS 2351", FLUSH (UNLESS NOTED), PER T.C.S.R. B-3284 & C-582. (HELD)
- ⊕ = FOUND 5/8" REBAR W/YPC MARKED "HLB INC", DOWN 6", PER T.C.S.R. B-1707. BEARS S01°16'30"E, 0.18' FROM CALCULATED POSITION. (HELD FOR LINE)
- ⊕ = FOUND 5/8" REBAR W/YPC MARKED "PLS 1205", FLUSH UNLESS OTHERWISE NOTED, PER T.C.S.R. A-3934 & A-4484. (HELD)
- ⊕ = FOUND 5/8" REBAR W/YPC MARKED "HLB INC", FLUSH UNLESS OTHERWISE NOTED, PER PARTITION PLAT 1994-58, T.C.S.R. P-228. (HELD)
- ⊕ = FOUND 5/8" REBAR W/YPC MARKED "PLS 1205", FLUSH, PER T.C.S.R. A-4632. (HELD)
- ⊕ = FOUND 1/2" IRON PIPE, FLUSH UNLESS OTHERWISE NOTED, PER T.C.S.R. A-1775. (HELD)
- ⊕ = SET 5/8" X 1 1/2" ALUMINUM CAP STAMPED "WSC LS 84224", FLUSH IN ASPHALT.
- ⊕ = SET 5/8" X 3/8" REBAR W/YPC MARKED "M. WYNTERGREEN LS 84224"
- ⊕ = SET 1 1/16" DIAMETER COPPER DISK STAMPED "WSC LS 84224", FLUSH IN CONCRETE.
- ⊕ = COMPUTED POSITION
- T.C.S.R. = TILLAMOOK COUNTY SURVEY RECORD
- T.C.D.R. = TILLAMOOK COUNTY DEED RECORDS
- W/YPC = WITH YELLOW PLASTIC CAP
- SF = SQUARE FEET
- PUE = PUBLIC UTILITY EASEMENT
- W.C. = WITNESS CORNER

**OWNER & SUBDIVIDER**  
RIVERVIEW MEADOWS DEVELOPMENT LLC  
23765 S.E. HIGHWAY 212  
DAMASCUS, OREGON 97089

**REGISTERED PROFESSIONAL LAND SURVEYOR**  
**PRELIMINARY**  
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**OREGON**  
DECEMBER 08, 2011  
MACKENZIE C. WYNTERGREEN  
84224  
RENEWS: JUNE 30, 2026

**WYNTERGREEN SURVEY COMPANY, LLC**  
LAND SURVEYING & LAND CONSULTING  
23895 SANDLAKE ROAD CLOVERDALE, OREGON 97112  
TELEPHONE: (541) 670-5458 EMAIL: MICR84224@GMAIL.COM  
JOB NO.: 2023-008 DRAWN: MCW CHECKED: PHW  
DATE: 11/17/2025 DATE OF SURVEY: 09/03/2025

**SHEET 6 OF 6**  
MAP: 03N-10W-23-B; T.L.: 03600  
ZONING: CITY OF NEHALEM MIXED DENSITY RESIDENTIAL (RM)  
TILLAMOOK COUNTY D.C.D. PERMIT #851-\_\_\_\_-PLNG

**RECEIVED**  
 MAR 30 2026  
 BY: *SAT*



**MORGAN CIVIL  
 ENGINEERING, INC.**

PO BOX 358  
 MANASTITA, OR 97130  
 (503) 838-0500  
 www.morgancivil.com

PROJ. NO. 19-10-RV  
 DATE: FEB. 22, 2025



**RIVERVIEW MEADOWS DEVELOPMENT, LLC**  
 RIVERVIEW MEADOWS IMPROVEMENTS  
 COVER SHEET

**RECORD DRAWINGS - FEB. 2, 2026**

**RIVERVIEW MEADOWS  
 PHASE 2**

MAP 3N 10W SECTION 23B

**UTILITY LOCATE ONE CALL  
 (1-800-332-2344) or (8-1-1)**

ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987).

PROJECT IS AT RIVERVIEW MEADOWS  
 NEHALEM, TILLAMOOK COUNTY, OREGON  
 TAX LOT 3600, MAP 2N 10W 23B.

**SCOPE OF WORK**

<b>SEWER</b>	
CONCRETE MANHOLES	16 EA
8" PVC SEWER	3,700 LF
SERVICE LATERAL ASSEMBLY	74 EA
<b>WATER</b>	
6" WATER MAIN	5,525 LF
6" GATE VALVE	36 EA
6" D.I. TEE	7 EA
6" D.I. CROSS	1 EA
8" WATER MAIN	2,150 LF
8" D.I. TEE	1 EA
8" GATE VALVE	1 EA
FH ASSEMBLY	10 EA
SERVICE ASSEMBLY	74 EA
<b>STORM DRAINAGE</b>	
18" CULVERT (7 SITES)	420 LF
24" CULVERT (7 SITES)	660 LF
MANHOLE	1 EA
CATCH BASIN	1 EA
<b>ROAD</b>	
FABRIC	24,650 SY
BASE ROCK	6,900 CY
LEVELING ROCK	2,300 CY
ASPHALT	4,300 TON

**SHEET INDEX**

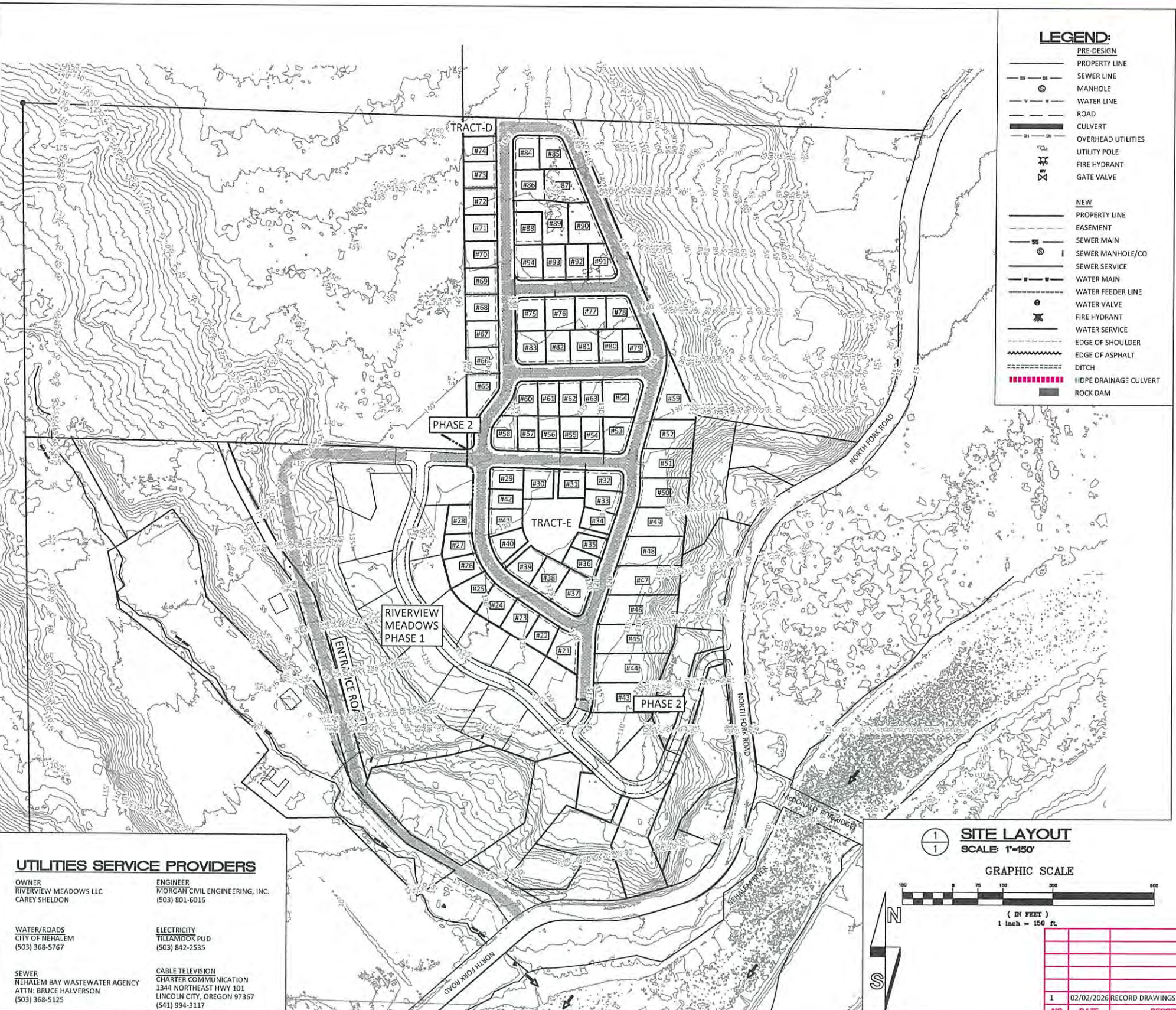
- COVER SHEET
- NOTES
- ROADWAY ALIGNMENTS
- AS-BUILT SURVEY
- STORM DRAIN SYSTEM
- GRADING SOUTH AREA
- GRADING NORTH AREA
- UTILITY LAYOUT - SOUTH
- UTILITY LAYOUT - NORTH

**CONSTRUCTION PLANS**

- OFF-SITE IMPROVEMENTS**  
 R1-3. RIVERVIEW DRIVE GRADING  
 R4. RIVERVIEW DRIVE-PROFILE  
 R5-R12. RIVERVIEW DRIVE
- SUBDIVISION IMPROVEMENTS**  
 C1-8. COLTREE DRIVE  
 K1-6. KINLEE DRIVE  
 M1-2. MEKA DRIVE  
 P1-2. PLUTO DRIVE
- D1. SEWER DETAILS  
 D2. WATER DETAILS

**GENERAL NOTES:**

- ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE NEHALEM PUBLIC WORKS (NPW), THE NEHALEM BAY WASTEWATER AGENCY (NBWA) AND THE 2021 APWA STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION INCLUDING SUPPLEMENTS. IN THE EVENT OF A CONFLICT BETWEEN NBWA AND/OR NPW POLICIES AND REGULATIONS AND THE APWA STANDARD SPECIFICATIONS, THE MORE STRINGENT SHALL CONTROL UNLESS OTHERWISE DIRECTED BY NBWA OR NPW.
- CONTRACTOR SHALL NOTIFY NBWA, NPW, CITY AND ALL UTILITY COMPANIES A MINIMUM OF 72 BUSINESS HOURS (3 BUSINESS DAYS) PRIOR TO THE START OF CONSTRUCTION OR RESUMING WORK AFTER SHUTDOWNS EXCEPT FOR NORMAL RESUMPTION OF WORK AFTER SUNDAYS OR HOLIDAYS. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF ORS 757.541 TO 757.571.
- CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO COMPLETE THE PROJECT IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DRAWINGS INCLUDING SUCH INCIDENTALS AS MAY BE NECESSARY TO MEET APPLICABLE AGENCY REQUIREMENTS AND PROVIDE A COMPLETED PROJECT.
- CONTRACTOR SHALL PROCURE A RIGHT-OF-WAY PERMIT FROM THE CITY OF NEHALEM FOR ALL WORK WITHIN THE CITY RIGHT-OF-WAY AND CONFORM TO ALL CONDITIONS OF THE PERMIT.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE ALL BONDS AND INSURANCE REQUIRED BY PUBLIC OR PRIVATE AGENCIES HAVING JURISDICTION, INCLUDING NBWA AND NEHALEM.
- UNLESS OTHERWISE APPROVED BY NBWA, CONSTRUCTION OF SANITARY SEWER IMPROVEMENTS SHALL BE DONE BETWEEN 7:00 A.M. AND 6:00 P.M., MONDAY THROUGH SATURDAY. WORK OUTSIDE THESE HOURS SHALL BE APPROVED IN WRITING BY NBWA PRIOR TO THE START OF CONSTRUCTION OUTSIDE NORMAL WORK HOURS.
- ANY INSPECTION BY NBWA OR NPW SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN STRICT COMPLIANCE WITH THE APPLICABLE CODES AND AGENCY REQUIREMENTS.
- CONTRACTOR SHALL ERECT AND MAINTAIN BARRICADES, WARNING SIGNS, TRAFFIC CONES (AND ALL OTHER TRAFFIC CONTROL DEVICES REQUIRED) PER DISTRICT AND CITY REQUIREMENTS IN ACCORDANCE WITH THE CURRENT MUTCD (INCLUDING OREGON AMENDMENTS). ACCESS TO DRIVEWAYS SHALL BE MAINTAINED AT ALL TIMES. ALL TRAFFIC CONTROL MEASURES SHALL BE APPROVED AND IN PLACE PRIOR TO ANY CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF APPROVED DRAWINGS ON THE CONSTRUCTION SITE AT ALL TIMES WHEREON HE WILL RECORD ANY APPROVED DEVIATIONS IN CONSTRUCTION FROM THE APPROVED DRAWINGS, AS WELL AS THE STATION LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES ENCOUNTERED. THESE FIELD RECORD DRAWINGS SHALL BE KEPT UP TO DATE AT ALL TIMES AND SHALL BE AVAILABLE FOR INSPECTION BY THE UTILITY DISTRICTS UPON REQUEST.
- SUBMITTALS SHALL BE PROVIDED BY THE CONTRACTOR TO NBWA AND NPW FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION IN ACCORDANCE WITH NBWA AND NPW REQUIREMENTS.
- THE CONTRACTOR SHALL SUBMIT A SUITABLE MAINTENANCE BOND PRIOR TO FINAL PAYMENT WHERE REQUIRED BY PUBLIC AND/OR PRIVATE AGENCIES HAVING JURISDICTION.



**LEGEND:**

**PRE-DESIGN**

- PROPERTY LINE
- SEWER LINE
- MANHOLE
- WATER LINE
- ROAD
- CULVERT
- OVERHEAD UTILITIES
- UTILITY POLE
- FIRE HYDRANT
- GATE VALVE

**NEW**

- PROPERTY LINE
- EASEMENT
- SEWER MAIN
- SEWER MANHOLE/CO
- SEWER SERVICE
- WATER MAIN
- WATER FEEDER LINE
- WATER VALVE
- FIRE HYDRANT
- WATER SERVICE
- EDGE OF SHOULDER
- EDGE OF ASPHALT
- DITCH
- HDPE DRAINAGE CULVERT
- ROCK DAM

**UTILITIES SERVICE PROVIDERS**

<b>OWNER</b> RIVERVIEW MEADOWS LLC CAREY SHELDON	<b>ENGINEER</b> MORGAN CIVIL ENGINEERING, INC. (503) 801-6016
<b>WATER/ROADS</b> CITY OF NEHALEM (503) 368-5767	<b>ELECTRICITY</b> TILLAMOOK PUD (503) 842-2535
<b>SEWER</b> NEHALEM BAY WASTEWATER AGENCY ATTN: BRUCE HALVERSON (503) 368-5125	<b>CABLE TELEVISION</b> CHARTER COMMUNICATION 1344 NORTHEAST HWY 101 LINCOLN CITY, OREGON 97367 (541) 994-3117

**SITE LAYOUT  
 SCALE: 1"=150'**

**GRAPHIC SCALE**

( IN FEET )  
 1 inch = 150 ft.

**REVISIONS**

NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

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# RIVERVIEW MEADOWS PHASE 2

MAP 3N RI0W SECTION 23B

## EXISTING UTILITIES AND FACILITIES:

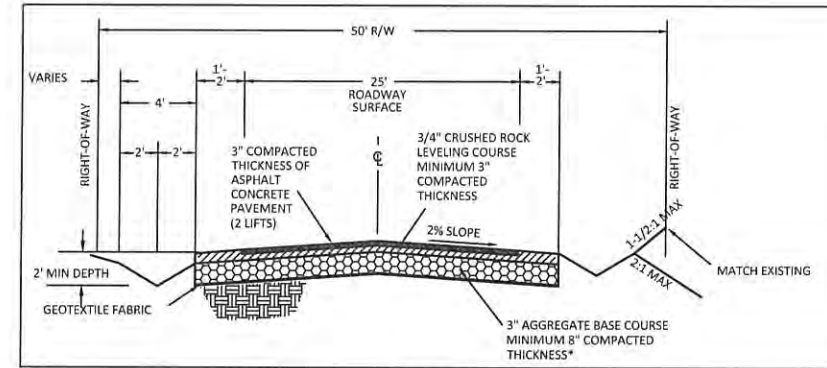
- CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING PROPERTY AND STREET MONUMENTS PRIOR TO CONSTRUCTION. ANY MONUMENTS DISTURBED DURING CONSTRUCTION OF THE SANITARY SEWERAGE IMPROVEMENTS SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE. THE MONUMENTS SHALL BE REPLACED WITHIN A MAXIMUM OF 90 DAYS, AND THE CITY SURVEYOR SHALL BE NOTIFIED IN WRITING AS REQUIRED BY ORS 209.150.
- THE LOCATION AND DESCRIPTION OF EXISTING NBWA AND NPW FACILITIES SHOWN ON THE DRAWINGS ARE COMPILED FROM AVAILABLE RECORDS AND/OR FIELD SURVEYS. NBWA AND NPW DO NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF SUCH RECORDS. CONTRACTOR SHALL FIELD VERIFY SIZES AND LOCATIONS OF ALL EXISTING NBWA FACILITIES PRIOR TO CONSTRUCTION.
- ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-0010900. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987).
- CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES -WHERE NEW FACILITIES CROSS OR ARE CLOSELY PARALLEL TO THE EXISTING FACILITIES. ALL UTILITY CROSSINGS MARKED OR SHOWN ON THE DRAWINGS SHALL BE POTHOLED USING HAND TOOLS OR OTHER NON-INVASIVE METHODS PRIOR TO EXCAVATING OR BORING. CONTRACTOR SHALL BE RESPONSIBLE FOR EXPOSING POTENTIAL UTILITY CONFLICTS FAR ENOUGH AHEAD OF CONSTRUCTION TO MAKE NECESSARY GRADE MODIFICATIONS WITHOUT DELAYING THE WORK. IF GRADE MODIFICATION IS NECESSARY, CONTRACTOR SHALL NOTIFY THE DEVELOPER'S ENGINEER, AND THE DEVELOPER'S ENGINEER SHALL OBTAIN APPROVAL FROM NBWA AND/OR NPW PRIOR TO CONSTRUCTION. ALL UTILITY CROSSINGS SHALL BE POTHOLED AS NECESSARY PRIOR TO EXCAVATING OR BORING TO ALLOW THE CONTRACTOR TO PREVENT GRADE OR ALIGNMENT CONFLICTS.
- ALL EXISTING NBWA AND NPW FACILITIES SHALL BE MAINTAINED IN-PLACE BY THE CONTRACTOR UNLESS OTHERWISE SHOWN OR DIRECTED BY NBWA OR NPW. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO SUPPORT, MAINTAIN OR OTHERWISE PROTECT EXISTING FACILITIES AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR SHALL LEAVE EXISTING FACILITIES IN AN EQUAL OR BETTER-THAN-ORIGINAL CONDITION AND TO THE SATISFACTION OF NBWA AND/OR NPW.
- NBWA OR NPW UTILITIES, OR INTERFERING PORTIONS OF NBWA OR NPW FACILITIES, THAT ARE ABANDONED IN PLACE SHALL BE REMOVED BY THE CONTRACTOR TO THE EXTENT NECESSARY TO ACCOMPLISH THE WORK. THE CONTRACTOR SHALL PLUG THE REMAINING EXPOSED ENDS OF THE ABANDONED UTILITIES.

## WATER UTILITIES:

- BEDDING AND BACKFILL. ALL PIPES SHALL BE BEDDED WITH MINIMUM 6-INCHES OF 3/4" MINUS CRUSHED ROCK BEDDING AND BACKFILLED WITH COMPACTED 3/4" MINUS CRUSHED ROCK IN THE PIPE ZONE (CRUSHED ROCK SHALL EXTEND A MINIMUM OF 12-INCHES OVER THE TOP OF THE PIPE IN ALL CASES). CRUSHED ROCK TRENCH BACKFILL SHALL BE USED UNDER ALL IMPROVED AREAS, INCLUDING SIDEWALKS.
- COMPACTION REQUIREMENTS.
  - TRENCH BACKFILL IN THE PIPE ZONE SHALL BE ACHIEVED BY MECHANICAL MEANS IN HORIZONTAL LIFTS TO NINETY PERCENT (90%) OF THE MAXIMUM DRY DENSITY PER AASHTO 1-180 TEST METHOD.
  - COMPACTION IN THE BACKFILL ZONE (MORE THAN 12" ABOVE THE TOP OF PIPE) AND WITHIN THE STREET RIGHT OF WAY SHALL BE ACHIEVED BY MECHANICAL MEANS IN HORIZONTAL LIFTS TO NINETY-TWO PERCENT (92%) OF THE MAXIMUM DRY DENSITY PER AASHTO T-180 TEST METHOD UNLESS A GREATER DEGREE OF COMPACTION IS REQUIRED BY ANOTHER AGENCY WITH JURISDICTION.
  - COMPACTION IN THE BACKFILL ZONE (MORE THAN 12" ABOVE THE TOP OF PIPE) AND OUTSIDE THE STREET RIGHT OF WAY SHALL BE ACHIEVED BY MECHANICAL MEANS IN HORIZONTAL LIFTS TO NINETY PERCENT (90%) OF THE MAXIMUM DRY DENSITY PER AASHTO T-180 TEST METHOD UNLESS A GREATER DEGREE OF COMPACTION IS REQUIRED BY ANOTHER AGENCY WITH JURISDICTION.
- CRUSHED ROCK SHALL CONFORM TO THE REQUIREMENTS OF SECTION 02630 (BASE AGGREGATE) OSHD STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, EQUIPMENT AND FACILITIES REQUIRED FOR TESTING ALL UTILITY PIPING IN ACCORDANCE WITH NWD CONSTRUCTION SPECIFICATIONS.
- TRACER WIRE. ALL WATER PIPING SHALL HAVE AN ELECTRICALLY CONDUCTIVE INSULATED 12 GAUGE COPPER TRACER WIRE THE FULL LENGTH OF THE INSTALLED PIPE USING BLUE WIRE FOR WATER PIPING. TRACER WIRE SHALL BE EXTENDED UP INTO ALL VALVE BOXES.
- NWD STAFF TO OPERATE ALL VALVES, INCLUDING FIRE HYDRANTS, ON EXISTING PUBLIC MAINS.
- ALL WATER MAINS SHALL BE ASTM D-2241 CLASS 200, C-905 PVC. ALL FITTINGS 4-INCHES THROUGH 24-INCHES IN DIAMETER SHALL BE DUCTILE IRON FITTINGS IN CONFORMANCE WITH AWWA C-153 OR AWWA C-110. THE MINIMUM WORKING PRESSURE FOR ALL MJ CAST IRON OR DUCTILE IRON FITTINGS 4-INCHES THROUGH 24-INCH IN DIAMETER SHALL BE 350 PSI FOR M3 FITTINGS AND 250 PSI FOR FLANGED FITTINGS.
- ALL VALVES SHALL BE FLANGE CONNECTED TO ADJACENT TEES OR CROSSES.
- THE WORK SHALL BE PERFORMED IN A MANNER DESIGNATED TO MAINTAIN WATER SERVICE TO BUILDINGS SUPPLIED FROM THE EXISTING WATERLINES. IN NO CASE SHALL SERVICE TO ANY MAIN LINE OR BUILDING BE INTERRUPTED FOR MORE THAN FOUR (4) HOURS IN ANY ONE DAY. CONTRACTOR SHALL NOTIFY THE NWD AND ALL AFFECTED RESIDENTS AND BUSINESSES A MINIMUM OF 24 BUSINESS HOURS (1 BUSINESS DAY) PRIOR TO ANY INTERRUPTION OF SERVICE.
- ALL WATERLINE SEGMENTS SUBJECT TO PRESSURE TESTING AND BACTERIOLOGICAL BEFORE BEING ACCEPTED BY NWD. COORDINATE WITH NWD.
- PRESSURE TEST: 2 HOURS MINIMUM. 150 PSI MINIMUM STARTING PRESSURE-MAXIMUM DROP OF 10 PSI OVER DURATION OF TEST.

## SANITARY SEWAGE FACILITIES:

- UNLESS OTHERWISE NOTED, MATERIALS AND WORKMANSHIP FOR SANITARY SEWER SHALL CONFORM TO OSSC (ODOT/APWA) SPECIFICATIONS, 2021 EDITION.
- THE CONTRACTOR SHALL HAVE APPROPRIATE EQUIPMENT ON SITE TO PRODUCE A FIRM, SMOOTH, UNDISTURBED SUBGRADE AT THE TRENCH BOTTOM, TRUE TO GRADE. THE BOTTOM OF THE TRENCH EXCAVATION SHALL BE SMOOTH, FREE OF LOOSE MATERIALS OR TOOTH GROOVES FOR THE ENTIRE WIDTH OF THE TRENCH PRIOR TO PLACING THE GRANULAR BEDDING MATERIAL.
- BEDDING AND BACKFILL. ALL SANITARY SEWER PIPES SHALL BE BEDDED WITH A MINIMUM OF 6-INCHES OF 3/4" MINUS CRUSHED ROCK BEDDING AND BACKFILLED WITH COMPACTED 3/4" MINUS CRUSHED ROCK IN THE PIPE ZONE (CRUSHED ROCK SHALL EXTEND A MINIMUM OF 12-INCHES OVER THE TOP OF THE PIPE IN ALL CASES). CRUSHED ROCK TRENCH BACKFILL SHALL BE USED UNDER ALL IMPROVED AREAS.
- TRENCH BACKFILL IN THE PIPE ZONE SHALL BE ACHIEVED BY MECHANICAL MEANS IN HORIZONTAL LIFTS TO NINETY PERCENT (90%) OF THE MAXIMUM DRY DENSITY PER AASHTO T-180 TEST METHOD.
- COMPACTION IN THE BACKFILL ZONE (MORE THAN 12" ABOVE THE TOP OF PIPE) AND WITHIN THE STREET RIGHT OF WAY SHALL BE ACHIEVED BY MECHANICAL MEANS IN HORIZONTAL LIFTS TO NINETY-FIVE PERCENT (95%) OF THE MAXIMUM DRY DENSITY PER AASHTO T-180 TEST METHOD UNLESS A GREATER DEGREE OF COMPACTION IS REQUIRED BY ANOTHER AGENCY WITH JURISDICTION.
- COMPACTION IN THE BACKFILL ZONE (MORE THAN 12" ABOVE THE TOP OF PIPE) AND OUTSIDE THE STREET RIGHT OF WAY SHALL BE ACHIEVED BY MECHANICAL MEANS IN HORIZONTAL LIFTS TO NINETY PERCENT (90%) OF THE MAXIMUM DRY DENSITY PER AASHTO T-180 TEST METHOD UNLESS A GREATER DEGREE OF COMPACTION IS REQUIRED BY ANOTHER AGENCY WITH JURISDICTION.
- CRUSHED ROCK SHALL CONFORM TO THE REQUIREMENTS OF OSSC (2021 ODOT/APWA) 02630.3D (DENSE GRADED BASE AGGREGATE).
- ALL CITY OF NEHALEM PIPED FACILITIES ABANDONED IN PLACE SHALL HAVE ALL OPENINGS CLOSED WITH CONCRETE PLUGS WITH A MINIMUM LENGTH EQUAL TO TWO (2) TIMES THE DIAMETER OF THE ABANDONED PIPE.
- THE END OF ALL UTILITY STUBS SHALL BE MARKED WITH A PAINTED 2x4, EXTENDING 2 FEET MINIMUM ABOVE FINISH GRADE, AND WIRE TO PIPE STUB (PAINTED WHITE FOR SANITARY SEWER). TYPE OF UTILITY (IE. SEWER) AND DEPTH BELOW GRADE TO PIPE INVERT SHALL BE CLEARLY & PERMANENTLY LABELED ON THE MARKER POST.
- NO TRENCHES IN ROADS OR DRIVEWAYS SHALL BE LEFT IN AN OPEN CONDITION OVERNIGHT. ALL SUCH TRENCHES SHALL BE CLOSED BEFORE THE END OF EACH WORK DAY AND NORMAL TRAFFIC FLOWS RESTORED.
- SANITARY SEWER & WATERLINE CROSSINGS. WHERE SANITARY SEWER LINES CROSS ABOVE OR WITHIN 18 INCHES OF VERTICAL SEPARATION BELOW A WATERLINE, SEWER MAINS AND/OR LATERALS SHALL BE REPLACED WITH DUCTILE IRON PIPE AT THE CROSSING. CENTER ONE FULL LENGTH OF CLASS 50 DUCTILE IRON PIPE CONFORMING TO AWWA C-151 AND C-104 AT POINT OF CROSSING. CONNECT TO EXISTING SEWER LINES WITH APPROVED RUBBER COUPLINGS.
- PER DEQ REQUIREMENTS, DEVELOPER/CONTRACTOR SHALL HAVE SANITARY SEWERAGE FACILITIES INSPECTED, TESTED PER APWA PROCEDURES AND CERTIFIED BY A LICENSED ENGINEER.
- UNLESS OTHERWISE SPECIFIED, SANITARY SEWER PIPE SHALL BE PVC IN CONFORMANCE WITH ASTM D3034, SDR 35. MINIMUM STIFFNESS SHALL BE 46 PSI PER ASTM D-2412 AND JOINT TYPE SHALL BE ELASTOMERIC GASKET CONFORMING TO ASTM D-3212. ALL OTHER APPURTENANCES AND INSTALLATION SHALL CONFORM TO CITY OF NEHALEM REQUIREMENTS.
- SANITARY SEWER MANHOLES SHALL HAVE PRECAST BASE SECTIONS OF MONOLITHIC CONSTRUCTION AND SHALL BE MANUFACTURED SUCH THAT THE BASE SECTION IS INTEGRAL WITH THE BASE SLAB. THE MINIMUM BASE THICKNESS SHALL BE 6-INCHES. MANHOLE BASES SHALL HAVE CORE DRILLED OPENINGS AND FLEXIBLE MANHOLE TO PIPE CONNECTORS FOR THE CONNECTIONS TO PIPE STUB OUTS. FLEXIBLE JOINTS FOR PIPE OPENINGS SHALL BE "RES-SEAL" AS MANUFACTURED BY PRICE BROTHERS CO., "KOR-N-SEAL" AS MANUFACTURED BY NATIONAL POLLUTION CONTROL SYSTEMS, INC. OR CITY OF NEHALEM APPROVED EQUAL.
- MANHOLE PRECAST SECTIONS SHALL MEET OR EXCEED ASTM C-478 AND SHALL HAVE WATERTIGHT O-RING OR MASTIC KEYLOCK JOINT.
- MANHOLES SHALL BE INSTALLED WITH STEPS. STEPS TO BE FACTORY INSTALLED POLYPROPYLENE PLASTIC WITH GRADE 60 REINFORCING ROD.
- FLAT TOP MANHOLES SHALL BE USED FOR ALL MANHOLES LESS THAN 6 FEET RIM TO INVERT.
- OPENINGS FOR CONNECTIONS TO EXISTING MANHOLES SHALL BE MADE BY CORE-DRILLING THE EXISTING MANHOLE STRUCTURE AND INSTALLING A RUBBER BOOT. CONNECTIONS TO BE WATERTIGHT AND SHALL PROVIDE A SMOOTH FLOW INTO AND THROUGH THE MANHOLE. SMALL CHIPPING HAMMERS OR SIMILAR LIGHT TOOLS WHICH WILL NOT DAMAGE OR CRACK THE MANHOLE BASE MAY BE USED TO SHAPE CHANNELS. USE OF LARGE PNEUMATIC JACKHAMMERS SHALL BE PROHIBITED. UNLESS OTHERWISE APPROVED IN WRITING BY THE DISTRICT ENGINEER, MANHOLE STEPS SHALL BE INSTALLED IN ANY MANHOLE TAPPED WHICH DOES NOT HAVE EXISTING STEPS.
- SANITARY SEWER TESTING. SANITARY SEWERS AND RELATED APPURTENANCES SHALL BE TESTED IN ACCORDANCE WITH THE OSSC (ODOT/APWA) SPECIFICATIONS, 2021 EDITION UNLESS OTHERWISE REQUIRED BY CITY OF NEHALEM. THE COST OF ALL TESTING AND ANY CORRECTIVE WORK ARE THE RESPONSIBILITY OF THE DEVELOPER.
- SANITARY PIPE CLEANING. PRIOR TO MANDREL OR AIR TESTING, FLUSH AND CLEAN ALL SEWERS TO REMOVE ALL FOREIGN MATERIALS FROM MAINLINES AND MANHOLES. FAILURE TO CLEAN ALL DIRT AND DEBRIS FROM PIPELINES PRIOR TO TV INSPECTION WILL RESULT IN THE NEED TO RE-CLEAN AND RE-TV THE LINES.
- SEWER PIPE AIR TESTING. CONFORM TO OSSC (ODOT/APWA) 00455.72.C AND THE PROCEDURE LISTED ON THE TEST FORM IN PWDS APPENDIX A. ALL SANITARY SEWER MAINS, SERVICES AND APPURTENANCES SHALL BE TESTED FOR LEAKAGE. LEAKAGE TESTS SHALL INCLUDE AN AIR TEST OF ALL SEWER MAINS AND LATERALS PRIOR TO PAVING, AND A SEPARATE AIR TEST OF ALL SEWER MAINS AND LATERALS FOLLOWING EXCAVATION AND BACKFILLING OF ANY FRANCHISE UTILITY TRENCHES OR OTHER UTILITY WORK THAT CROSSES SANITARY SEWER LATERALS.
- SEWER PIPE DEFLECTION TESTING. CONFORM TO OSSC (ODOT/APWA) 00445.73. CONTRACTOR SHALL CONDUCT DEFLECTION TEST OF FLEXIBLE SANITARY SEWER PIPES BY PULLING AN APPROVED MANDREL THROUGH ALL COMPLETED SEWER MAINS FOLLOWING TRENCH COMPACTION. THE DIAMETER OF THE MANDREL SHALL BE 95% OF THE INITIAL PIPE DIAMETER.
- TV INSPECTION OF SANITARY SEWERS. UPON COMPLETION OF ALL SEWER CONSTRUCTION, TESTING AND REPAIR, THE CONTRACTOR SHALL CONDUCT A COLOR TV ACCEPTANCE INSPECTION OF ALL MAINLINES IN ACCORDANCE WITH OSSC (ODOT/APWA) 445.74 TO DETERMINE COMPLIANCE WITH GRADE REQUIREMENTS OF OSSC (ODOT/APWA) 445.40.B. THE TV INSPECTION SHALL BE CONDUCTED BY AN APPROVED TECHNICAL SERVICE WHICH IS EQUIPPED TO MAKE AUDIO-VISUAL RECORDINGS OF THE TV INSPECTIONS ON DVD (VHS VIDEO TAPE ACCEPTABLE ONLY UPON PRIOR WRITTEN APPROVAL BY CITY OF NEHALEM). UNLESS OTHERWISE APPROVED IN WRITING BY THE DISTRICT ENGINEER, A STANDARD 1-INCH DIAMETER BALL SHALL BE SUSPENDED IN FRONT OF THE CAMERA DURING THE INSPECTION TO DETERMINE THE DEPTH OF ANY STANDING WATER. SUFFICIENT WATER TO REVEAL LOW AREAS OR REVERSE GRADES SHALL BE DISCHARGED INTO THE PIPE IMMEDIATELY PRIOR TO INITIATION OF THE TV INSPECTION. THE DVD AND WRITTEN REPORT SHALL BE DELIVERED TO THE DISTRICT ENGINEER.
- MANHOLE TESTING. CONFORM TO SECTION OSSC (ODOT/APWA) 00471.8 OR CITY OF NEHALEM APPROVED VACUUM TEST PROCEDURE. ALL MANHOLES SHALL BE VACUUM TESTED FOLLOWING COMPLETION OF PAVING OR FINAL SURFACE RESTORATION.
- RE-INSPECTION OF THE SANITARY SEWER SYSTEM USING TV INSPECTION PLUS ANY OR ALL OF THE ABOVE TEST METHODS SHALL BE PERFORMED AS REQUIRED BY CITY OF NEHALEM NEAR THE COMPLETION OF THE 18 MONTH WARRANTY PERIOD. THE RESULTS OF THESE TEST(S) WILL BE USED BY CITY OF NEHALEM TO DETERMINE IF FINAL ACCEPTANCE OF THE SYSTEM IS WARRANTED AND WHAT CORRECTIVE WORK IS REQUIRED PRIOR TO FINAL ACCEPTANCE. THE COST OF THESE RE-INSPECTIONS AND ANY CORRECTIVE WORK ARE THE RESPONSIBILITY OF THE DEVELOPER.
- PRIOR TO OR CONCURRENT WITH CONNECTION TO A SANITARY SEWER LATERAL, IT SHALL BE DEMONSTRATED TO THE DISTRICT THAT THE SEWER LATERAL IS NOT OBSTRUCTED. THIS SHALL BE ACCOMPLISHED BY "SNAKING" THE SERVICE LATERAL DOWNSTREAM OF THE CONNECTION POINT TO THE MAINLINE, OR SIMILAR METHOD ACCEPTABLE TO THE DISTRICT. DISTRICT PERSONNEL OR AUTHORIZED AGENT SHALL BE PRESENT DURING THE "SNAKING" OR OTHER DEMONSTRATION METHOD.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED OR NECESSARY INSPECTIONS ARE COMPLETED BY AUTHORIZED INSPECTORS PRIOR TO PROCEEDING WITH SUBSEQUENT WORK WHICH COVERS OR THAT IS DEPENDENT ON THE WORK TO BE INSPECTED. FAILURE TO OBTAIN NECESSARY INSPECTIONS(S) AND APPROVAL(S) SHALL RESULT IN THE CONTRACTOR BEING FULLY RESPONSIBLE FOR ALL PROBLEMS AND/OR CORRECTIVE MEASURES ARISING FROM UNINSPECTED WORK.
- NBWA STAFF MUST BE PRESENT FOR ALL WORK AND TESTING, IF THEY CHOSE. COORDINATE WITH DISTRICT STAFF
- TRACER WIRE, 12 GAUGE, GREEN REQUIRED ON ALL MAINS AND LATERALS. CONNECTIONS MUST BE TESTED PRIOR TO TRENCH FILL OR PIPE COVER. APWA/ODOT 0445.11 (E).



1  
2  
**TYPICAL ROAD SECTION**  
NO SCALE

## SEWER NARRATIVE:

CONNECT NEW SEWER COLLECTION SYSTEM EXTENSION TO THE EXISTING MANHOLE AT LOT 13. EXTEND THE GRAVITY SYSTEM TO THE NORTH WITH LATERAL PIPES TO SERVE EACH NEW LOT ON EACH ROADWAY. USE ALL PVC PIPE AND CONCRETE MANHOLES.

## GRADING NARRATIVE:

SITE GRADING WILL BE LIMITED TO ROADWAYS. NO GRADING OUTSIDE OF RIGHTS-OF-WAY IS PLANNED.

## WATER NARRATIVE:

CONNECT THE NEW WATER DISTRIBUTION EXTENSION TO THE EXISTING SYSTEM AT LOT 13 AND THE NORTH END OF RIVERVIEW MEADOWS LANE. PIPES WILL BE EXTENDED ON EACH CROSS STREET IN ORDER TO SERVE ALL PROPERTIES. THE PIPES WILL BE LOOPED ON EACH CROSS STREET. NO DEAD ENDS WILL BE CREATED.

TANK, PUMP STATION, AND PRESSURE VALVES WILL BE INSTALLED IN OPEN SPACE B.

## LEGEND:

	PRE-DESIGN PROPERTY LINE
	SEWER LINE
	MANHOLE
	WATER LINE
	ROAD
	CULVERT
	OVERHEAD UTILITIES
	UTILITY POLE
	FIRE HYDRANT
	GATE VALVE
	NEW PROPERTY LINE
	EASEMENT
	SEWER MAIN
	SEWER MANHOLE/CO
	SEWER SERVICE
	WATER MAIN
	WATER FEEDER LINE
	WATER VALVE
	FIRE HYDRANT
	WATER SERVICE
	EDGE OF SHOULDER
	EDGE OF ASPHALT
	DITCH
	HDPE DRAINAGE CULVERT
	ROCK DAM

NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

RECORD DRAWINGS - FEB. 2, 2026

RIVERVIEW MEADOWS DEVELOPMENT, LLC  
RIVERVIEW MEADOWS IMPROVEMENTS  
CIVIL NOTES

SHEET

2

OF 41-



**MORGAN CIVIL  
ENGINEERING, INC.**

PO BOX 338  
100 NE 15th St  
MANASSETT, NJ 07020  
(503) 801-0016  
www.morgancivil.com

JOB NO.  
R15-10-RV  
DATE  
FEB. 21, 2025



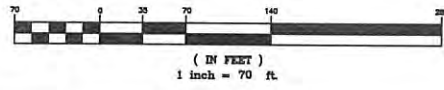
REVISION DATE: DECEMBER 31, 2025

# RIVERVIEW MEADOWS PHASE 2

MAP 3N R10W SECTION 23B



GRAPHIC SCALE



PUBLIC OPEN SPACE  
WATER RESERVOIR SITE



### LEGEND:

- PRE-DESIGN PROPERTY LINE
- SEWER LINE
- MANHOLE
- WATER LINE
- ROAD
- CULVERT
- OVERHEAD UTILITIES
- UTILITY POLE
- FIRE HYDRANT
- GATE VALVE
- NEW PROPERTY LINE
- EASEMENT
- SEWER MAIN
- SEWER MANHOLE/CO
- SEWER SERVICE
- WATER MAIN
- WATER FEEDER LINE
- WATER VALVE
- FIRE HYDRANT
- WATER SERVICE
- EDGE OF SHOULDER
- EDGE OF ASPHALT
- DITCH

**ROAD ALIGNMENTS**  
SCALE: 1"=70'

NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

RECORD DRAWINGS - FEB. 2, 2026

RIVERVIEW MEADOWS DEVELOPMENT, LLC  
RIVERVIEW MEADOWS IMPROVEMENTS  
ROAD ALIGNMENTS

SHEET  
**3**  
OF -41-



RENEWAL DATE: DECEMBER 31, 2026

**MORGAN CIVIL  
ENGINEERING, INC.**  
CIVIL ENGINEERING  
INSPECTION  
PLANNING

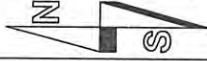
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JOB NO. 419-10-RV  
DATE: FEB. 22, 2025

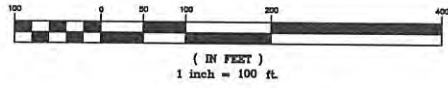
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# RIVERVIEW MEADOWS PHASE 2

MAP 3N ROW SECTION 23B



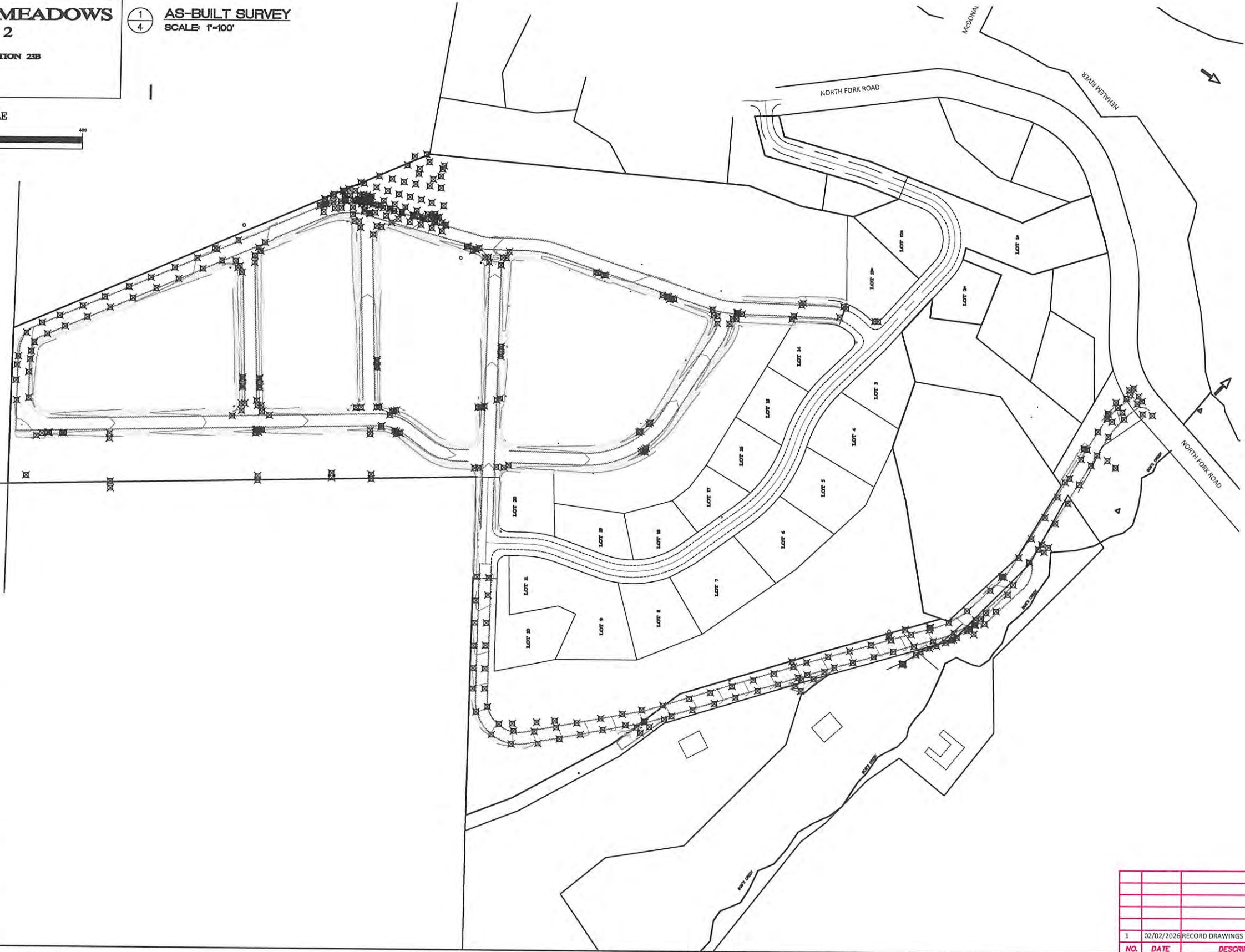
GRAPHIC SCALE



1 AS-BUILT SURVEY  
4 SCALE: 1"=100'

## LEGEND:

- PRE-DESIGN PROPERTY LINE
- PRE-DESIGN SEWER LINE
- PRE-DESIGN MANHOLE
- PRE-DESIGN WATER LINE
- PRE-DESIGN ROAD
- PRE-DESIGN CULVERT
- PRE-DESIGN OVERHEAD UTILITIES
- PRE-DESIGN UTILITY POLE
- PRE-DESIGN FIRE HYDRANT
- PRE-DESIGN GATE VALVE
- NEW PROPERTY LINE
- NEW EASEMENT
- NEW SEWER MAIN
- NEW SEWER MANHOLE/CO
- NEW SEWER SERVICE
- NEW WATER MAIN
- NEW WATER FEEDER LINE
- NEW WATER VALVE
- NEW FIRE HYDRANT
- NEW WATER SERVICE
- EDGE OF SHOULDER
- EDGE OF ASPHALT
- DITCH



NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

**RECORD DRAWINGS - FEB. 2, 2026**

RIVERVIEW MEADOWS DEVELOPMENT, LLC  
 RIVERVIEW MEADOWS IMPROVEMENTS  
 AS-BUILT SURVEY

SHEET  
**4**  
 OF 41-



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 PO BOX 358  
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 JOB NO. #19-10-RV  
 DATE: 02-22-2026

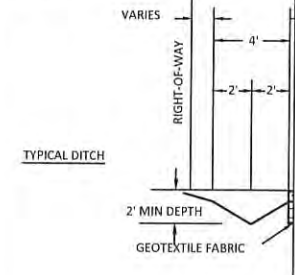
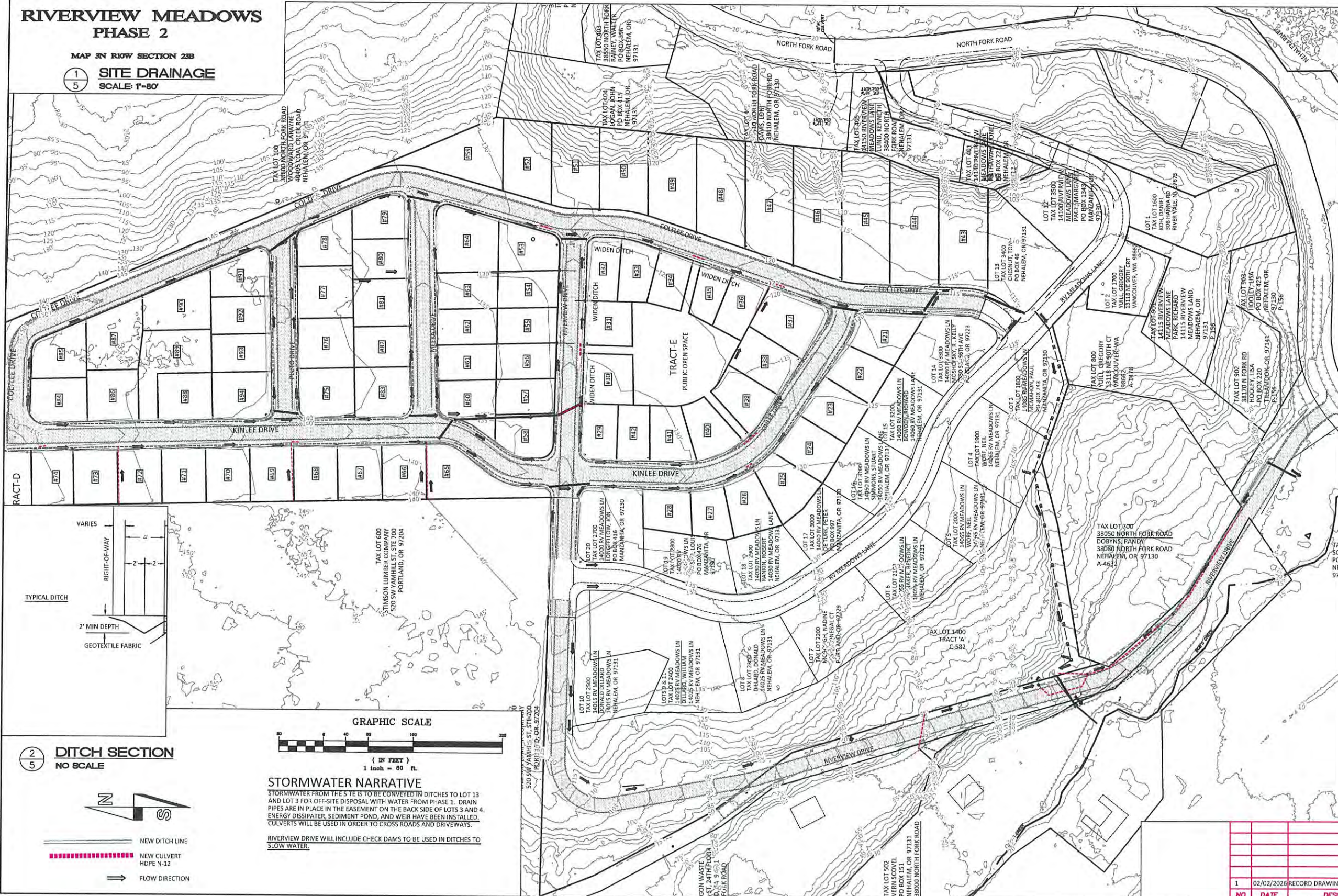


NEHALEM, MAP 3N 10W 23B

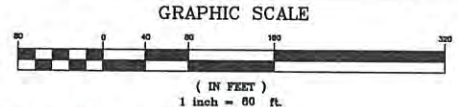
# RIVERVIEW MEADOWS PHASE 2

MAP 3N RI0W SECTION 23B

1 SITE DRAINAGE  
5 SCALE: 1"=80'



2 DITCH SECTION  
5 NO SCALE



### STORMWATER NARRATIVE

STORMWATER FROM THE SITE IS TO BE CONVEYED IN DITCHES TO LOT 13 AND LOT 3 FOR OFF-SITE DISPOSAL WITH WATER FROM PHASE 1. DRAIN PIPES ARE IN PLACE IN THE EASEMENT ON THE BACK SIDE OF LOTS 3 AND 4. ENERGY DISSIPATER, SEDIMENT POND, AND WEIR HAVE BEEN INSTALLED. CULVERTS WILL BE USED IN ORDER TO CROSS ROADS AND DRIVEWAYS.

RIVERVIEW DRIVE WILL INCLUDE CHECK DAMS TO BE USED IN DITCHES TO SLOW WATER.

- NEW DITCH LINE
- - - - - NEW CULVERT HDPE N-12
- FLOW DIRECTION

RECORD DRAWINGS - FEB. 2, 2026

RIVERVIEW MEADOWS DEVELOPMENT, LLC  
RIVERVIEW MEADOWS IMPROVEMENTS  
DRAINAGE LAYOUT

SHEET  
**5**  
of -41-

NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

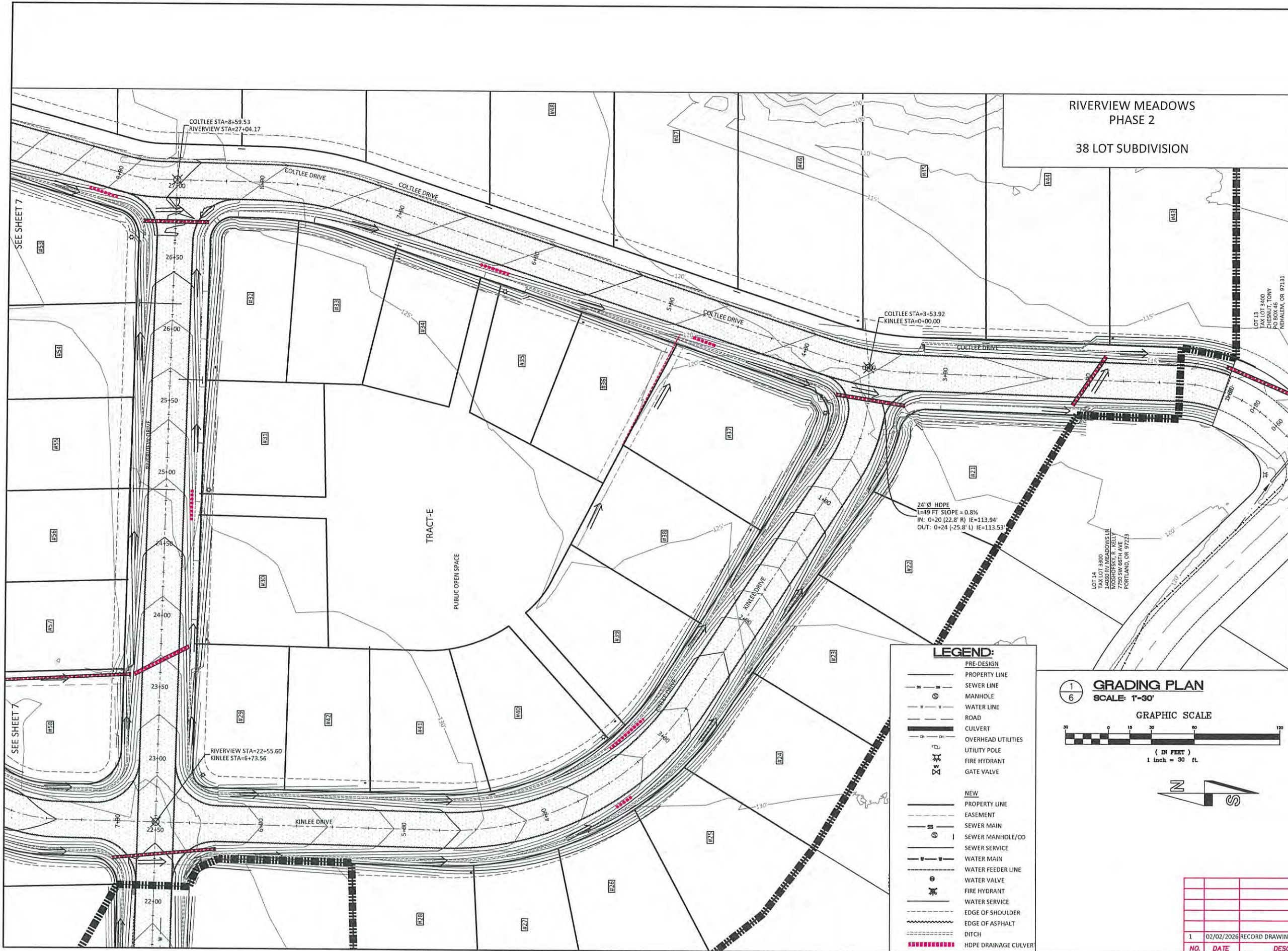


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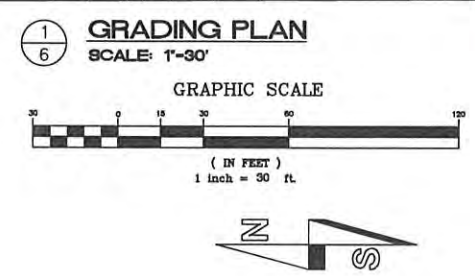
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RIVERVIEW MEADOWS  
PHASE 2  
38 LOT SUBDIVISION

**LEGEND:**

	PRE-DESIGN PROPERTY LINE
	PROPERTY LINE
	SEWER LINE
	MANHOLE
	WATER LINE
	ROAD
	CULVERT
	OVERHEAD UTILITIES
	UTILITY POLE
	FIRE HYDRANT
	GATE VALVE
	NEW PROPERTY LINE
	EASEMENT
	SEWER MAIN
	SEWER MANHOLE/CO
	SEWER SERVICE
	WATER MAIN
	WATER FEEDER LINE
	WATER VALVE
	FIRE HYDRANT
	WATER SERVICE
	EDGE OF SHOULDER
	EDGE OF ASPHALT
	DITCH
	HDPE DRAINAGE CULVERT



NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

RECORD DRAWINGS - FEB. 2, 2026

RIVERVIEW MEADOWS DEVELOPMENT, LLC  
RIVERVIEW MEADOWS IMPROVEMENTS  
GRADING PLAN - SOUTH

SHEET  
**6**  
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JOB NO. #19-10-RIV  
DATE: 02.22.2025

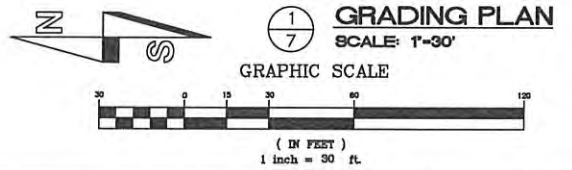
**REGISTERED PROFESSIONAL ENGINEER**  
63055  
OREGON  
JANUARY 15, 2008  
MASON R. MORGAN

RENEWAL DATE: DECEMBER 31, 2025

NEHALEM, MAP 311 LOW 23B

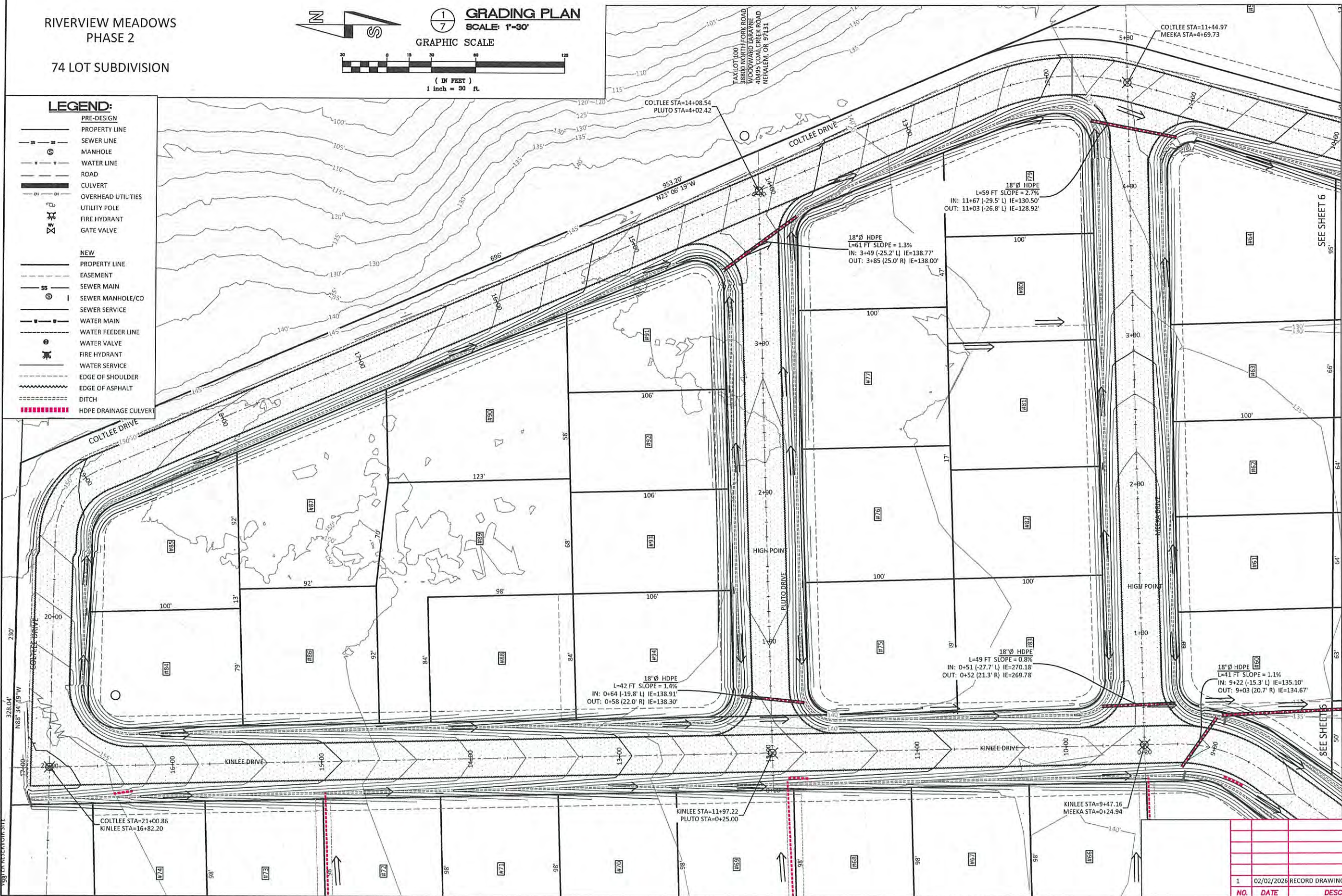
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RIVERVIEW MEADOWS  
PHASE 2  
74 LOT SUBDIVISION



**GRADING PLAN**  
SCALE: 1"=30'

- LEGEND:**
- PRE-DESIGN
  - PROPERTY LINE
  - SEWER LINE
  - MANHOLE
  - WATER LINE
  - ROAD
  - CULVERT
  - OVERHEAD UTILITIES
  - UTILITY POLE
  - FIRE HYDRANT
  - GATE VALVE
- NEW**
- PROPERTY LINE
  - EASEMENT
  - SEWER MAIN
  - SEWER MANHOLE/CO
  - SEWER SERVICE
  - WATER MAIN
  - WATER FEEDER LINE
  - WATER VALVE
  - FIRE HYDRANT
  - WATER SERVICE
  - EDGE OF SHOULDER
  - EDGE OF ASPHALT
  - DITCH
  - HDPE DRAINAGE CULVERT



RECORD DRAWINGS - FEB. 2, 2026

RIVERVIEW MEADOWS DEVELOPMENT, LLC  
RIVERVIEW MEADOWS IMPROVEMENTS  
GRADING PLAN - NORTH



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RENEWAL DATE: DECEMBER 21, 2025

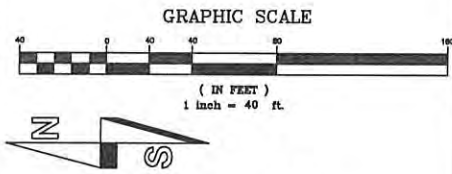
NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

SHEET  
**7**  
OF -41-

REHALEM, MAP 3N 30W 23B

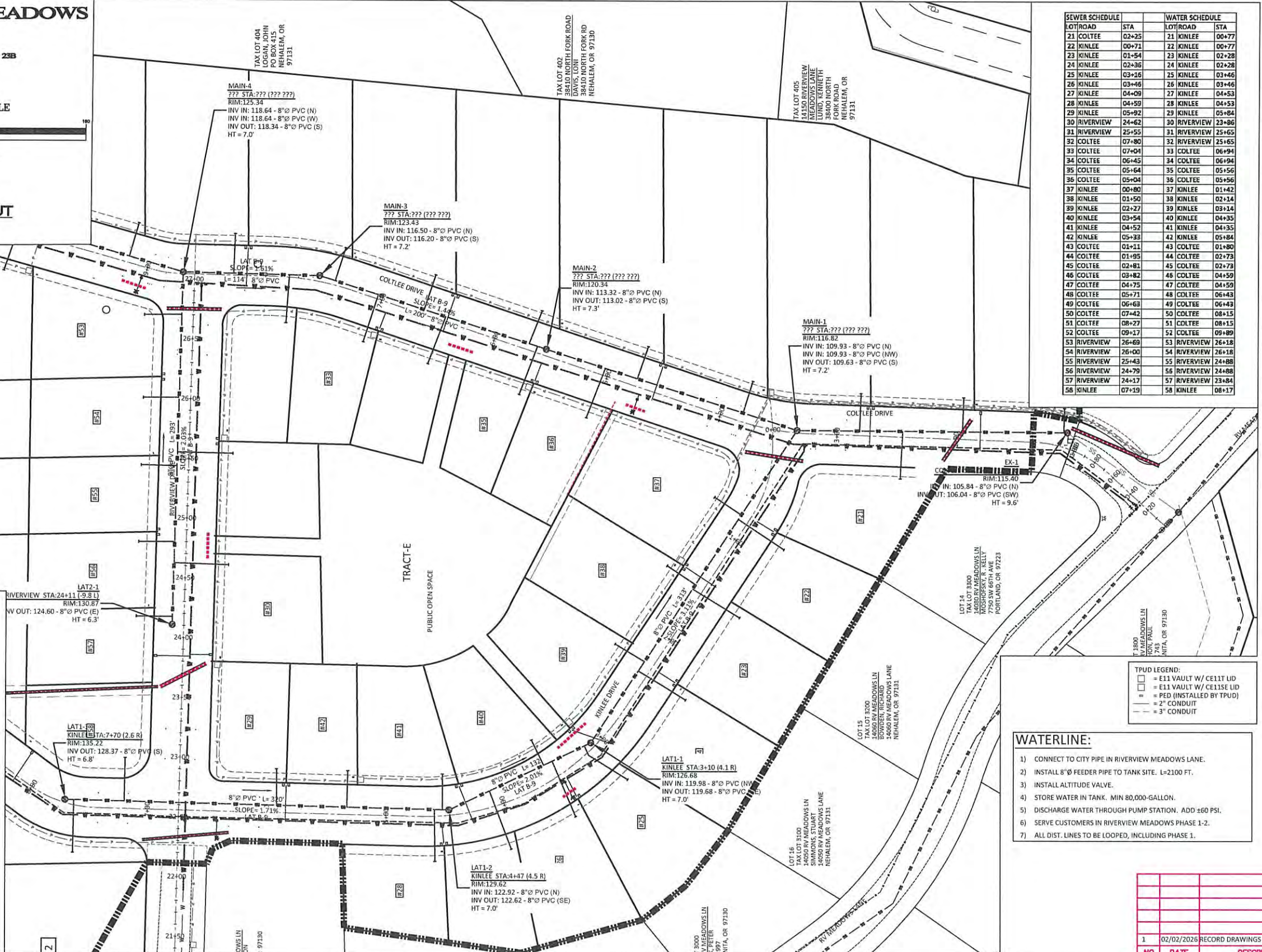
# RIVERVIEW MEADOWS PHASE 2

MAP 3N RI0W SECTION 23B



## UTILITIES LAYOUT SCALE: 1" = 40'

SEWER SCHEDULE		WATER SCHEDULE	
LOT/ROAD	STA	LOT/ROAD	STA
21 COLTEE	02+25	21 KINLEE	00+77
22 KINLEE	00+71	22 KINLEE	00+77
23 KINLEE	01+54	23 KINLEE	02+28
24 KINLEE	02+36	24 KINLEE	02+28
25 KINLEE	03+16	25 KINLEE	03+46
26 KINLEE	03+46	26 KINLEE	03+46
27 KINLEE	04+09	27 KINLEE	04+53
28 KINLEE	04+59	28 KINLEE	04+53
29 KINLEE	05+92	29 KINLEE	05+84
30 RIVERVIEW	24+62	30 RIVERVIEW	23+86
31 RIVERVIEW	25+55	31 RIVERVIEW	25+65
32 COLTEE	07+80	32 RIVERVIEW	25+65
33 COLTEE	07+04	33 COLTEE	06+94
34 COLTEE	06+45	34 COLTEE	06+94
35 COLTEE	05+64	35 COLTEE	05+56
36 COLTEE	05+04	36 COLTEE	05+56
37 KINLEE	00+80	37 KINLEE	01+42
38 KINLEE	01+50	38 KINLEE	02+14
39 KINLEE	02+27	39 KINLEE	03+14
40 KINLEE	03+54	40 KINLEE	04+35
41 KINLEE	04+52	41 KINLEE	04+35
42 KINLEE	05+33	42 KINLEE	05+84
43 COLTEE	01+11	43 COLTEE	01+80
44 COLTEE	01+95	44 COLTEE	02+73
45 COLTEE	02+81	45 COLTEE	02+73
46 COLTEE	03+82	46 COLTEE	04+59
47 COLTEE	04+75	47 COLTEE	04+59
48 COLTEE	05+71	48 COLTEE	06+43
49 COLTEE	06+68	49 COLTEE	06+43
50 COLTEE	07+42	50 COLTEE	08+15
51 COLTEE	08+27	51 COLTEE	08+15
52 COLTEE	09+17	52 COLTEE	09+89
53 RIVERVIEW	26+69	53 RIVERVIEW	26+18
54 RIVERVIEW	26+00	54 RIVERVIEW	26+18
55 RIVERVIEW	25+43	55 RIVERVIEW	24+88
56 RIVERVIEW	24+79	56 RIVERVIEW	24+88
57 RIVERVIEW	24+17	57 RIVERVIEW	23+84
58 KINLEE	07+19	58 KINLEE	08+17



### LEGEND:

- PRE-DESIGN
- PROPERTY LINE
- SEWER LINE
- MANHOLE
- WATER LINE
- ROAD
- CULVERT
- OVERHEAD UTILITIES
- UTILITY POLE
- FIRE HYDRANT
- GATE VALVE
- NEW
- PROPERTY LINE
- EASEMENT
- SEWER MAIN
- SEWER MANHOLE/CO
- SEWER SERVICE
- WATER MAIN
- WATER FEEDER LINE
- WATER VALVE
- FIRE HYDRANT
- WATER SERVICE
- EDGE OF SHOULDER
- EDGE OF ASPHALT
- DITCH
- HDPE DRAINAGE CULVERT

TPUD LEGEND:

□	= E11 VAULT W/ CE11T LID
□	= E11 VAULT W/ CE11SE LID
□	= PED (INSTALLED BY TPUD)
—	= 2" CONDUIT
—	= 3" CONDUIT

### WATERLINE:

- 1) CONNECT TO CITY PIPE IN RIVERVIEW MEADOWS LANE.
- 2) INSTALL 8"Ø FEEDER PIPE TO TANK SITE. L=2100 FT.
- 3) INSTALL ALTITUDE VALVE.
- 4) STORE WATER IN TANK. MIN 80,000-GALLON.
- 5) DISCHARGE WATER THROUGH PUMP STATION. ADD ±60 PSI.
- 6) SERVE CUSTOMERS IN RIVERVIEW MEADOWS PHASE 1-2.
- 7) ALL DIST. LINES TO BE LOOPED, INCLUDING PHASE 1.

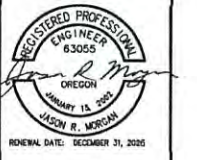
NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM



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• PLANNING



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RIVERVIEW MEADOWS IMPROVEMENTS  
UTILITY LAYOUT-SOUTH

**RECORD DRAWINGS - FEB. 2, 2026**

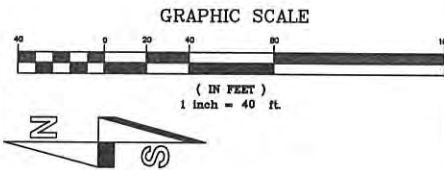
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OF -41-

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NEHALEM, MAP 3N RI0W 23B

# RIVERVIEW MEADOWS PHASE 2

MAP 3N 10W SECTION 23B



## UTILITIES LAYOUT SCALE: 1" = 40'

SEWER SCHEDULE		WATER SCHEDULE	
LOT/ROAD	STA	LOT/ROAD	STA
59 COLTEE	10+08	59 COLTEE	09+89
60 MEEKA	01+07	60 MEEKA	00+68
61 MEEKA	01+71	61 MEEKA	01+77
62 MEEKA	02+35	62 MEEKA	01+77
63 MEEKA	02+90	63 MEEKA	03+06
64 COLTEE	10+12	64 MEEKA	03+06
65 KINLEE	07+62	65 KINLEE	09+47
66 KINLEE	09+63	66 KINLEE	09+47
67 KINLEE	10+34	67 KINLEE	11+05
68 KINLEE	11+13	68 KINLEE	11+05
69 KINLEE	11+93	69 KINLEE	12+63
70 KINLEE	12+71	70 KINLEE	12+63
71 KINLEE	13+50	71 KINLEE	14+21
72 KINLEE	14+29	72 KINLEE	14+21
73 KINLEE	15+08	73 KINLEE	15+79
74 KINLEE	15+88	74 KINLEE	15+79
75 KINLEE	10+80	75 PLUTO	01+98
76 PLUTO	02+20	76 PLUTO	01+98
77 PLUTO	03+13	77 PLUTO	03+21
78 COLTEE	12+92	78 PLUTO	03+21
79 COLTEE	12+10	79 MEEKA	03+69
80 MEEKA	03+61	80 MEEKA	03+69
81 MEEKA	02+85	81 MEEKA	02+13
82 MEEKA	02+05	82 MEEKA	02+13
83 MEEKA	01+32	83 MEEKA	00+76
84 KINLEE	15+60	84 KINLEE	19+96
85 COLTEE	18+10	85 COLTEE	19+96
86 KINLEE	14+69	86 KINLEE	14+61
87 COLTEE	16+99	87 COLTEE	17+95
88 KINLEE	13+37	88 KINLEE	14+16
89 KINLEE	13+33	89 KINLEE	14+61
90 COLTEE	15+68	90 COLTEE	16+86
91 COLTEE	14+82	91 PLUTO	02+70
92 PLUTO	02+62	92 PLUTO	02+70
93 PLUTO	01+95	93 PLUTO	01+35
94 PLUTO	01+27	94 PLUTO	01+35
D KINLEE	16+66	D KINLEE	16+71
E KINLEE		E KINLEE	14+35

- WATERLINE:**
- CONNECT TO CITY PIPE IN RIVERVIEW MEADOWS LANE.
  - INSTALL 8"Ø FEEDER PIPE TO TANK SITE. L=2100 FT.
  - INSTALL ALTITUDE VALVE.
  - STORE WATER IN TANK. MIN 80,000-GALLON.
  - DISCHARGE WATER THROUGH PUMP STATION. ADD ±60 PSI.
  - SERVE CUSTOMERS IN RIVERVIEW MEADOWS PHASE 1-2.
  - ALL DIST. LINES TO BE LOOPED, INCLUDING PHASE 1.

**TPUD LEGEND:**

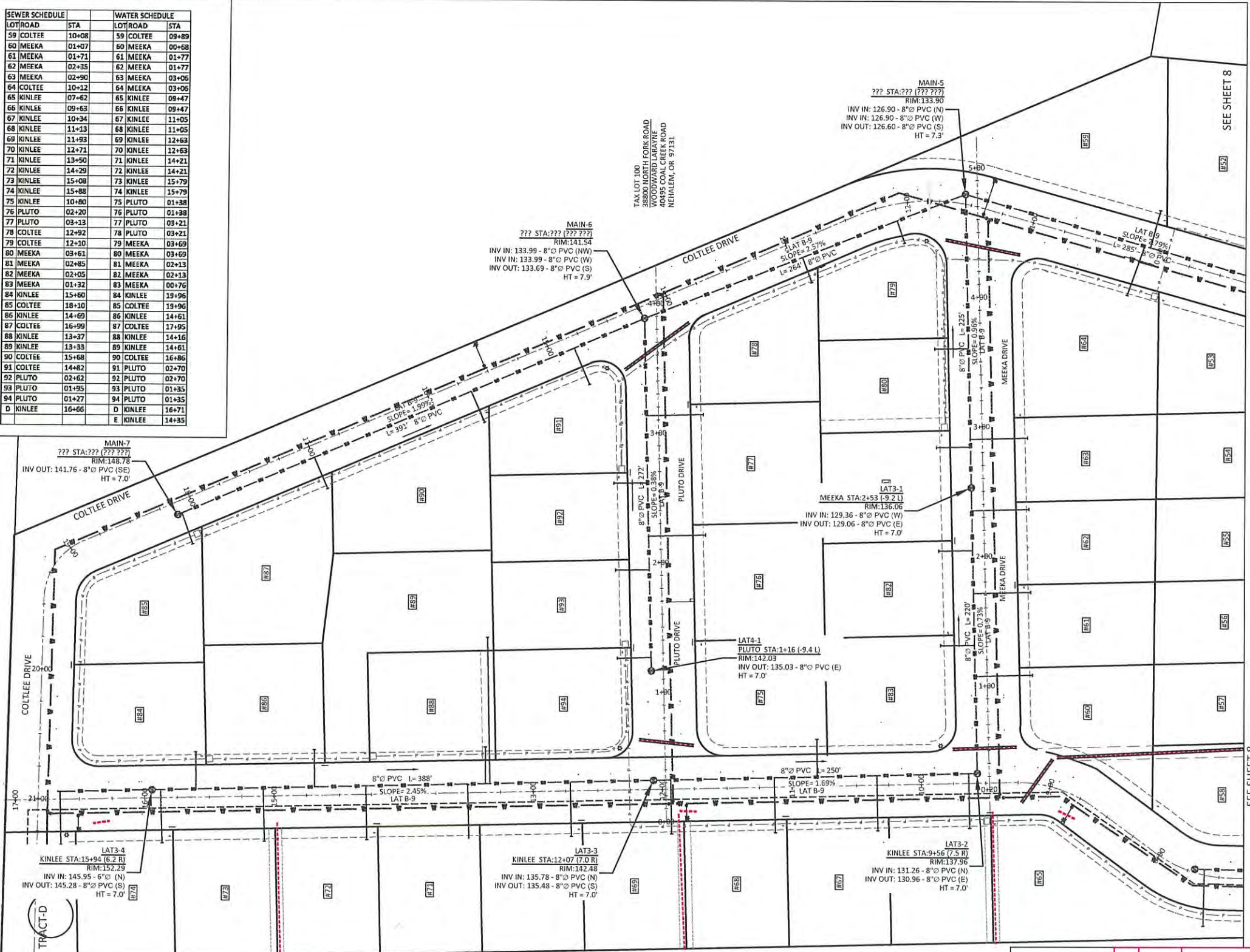
- = E11 VAULT W/ CE11T LID
- = E11 VAULT W/ CE11SE LID
- = PED (INSTALLED BY TPUD)
- = 2" CONDUIT
- = 3" CONDUIT

**LEGEND:**

- PRE-DESIGN**
- PROPERTY LINE
  - SEWER LINE
  - MANHOLE
  - WATER LINE
  - ROAD
  - CULVERT
  - OVERHEAD UTILITIES
  - UTILITY POLE
  - FIRE HYDRANT
  - GATE VALVE
- NEW**
- PROPERTY LINE
  - EASEMENT
  - SEWER MAIN
  - SEWER MANHOLE/CO
  - SEWER SERVICE
  - WATER MAIN
  - WATER FEEDER LINE
  - WATER VALVE
  - FIRE HYDRANT
  - WATER SERVICE
  - EDGE OF SHOULDER
  - EDGE OF ASPHALT
  - DITCH
  - HDPE DRAINAGE CULVERT

TAX LOT 700  
MAP 3N 10W 14  
40495 COAL CREEK ROAD  
NEHALEM, OR 97131

PUBLIC OPEN SPACE  
WATER RESERVOIR SITE



SEE SHEET 8

SEE SHEET 8

RECORD DRAWINGS - FEB. 2, 2026

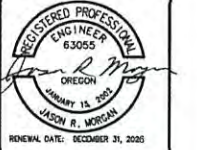
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RIVERVIEW MEADOWS IMPROVEMENTS  
UTILITY LAYOUT-NORTH



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RENEWAL DATE: DECEMBER 31, 2026

REHALEM, MAP 3N 10W 23B

NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

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**9**  
of -41-

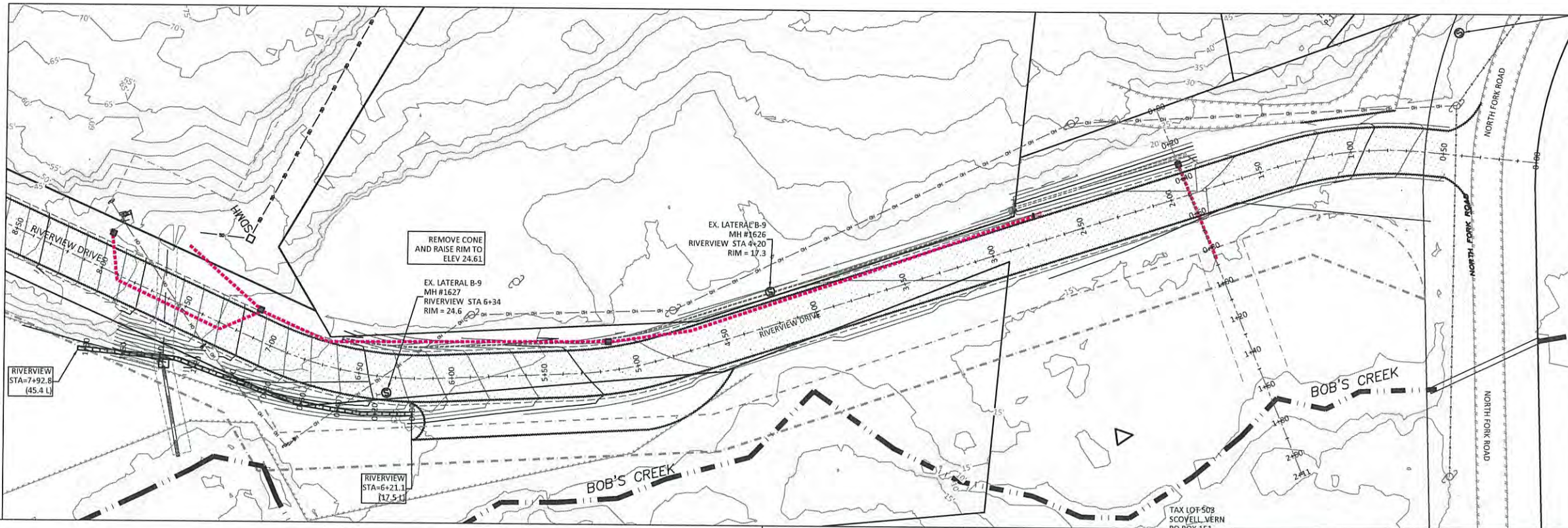
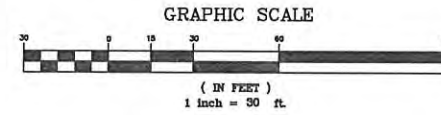
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**RIVERVIEW MEADOWS  
SUBDIVISION  
OFF-SITE IMPROVEMENTS**

MAP 3N RI0W SECTION 23B



**1 R1 RIVERVIEW DRIVE GRADING**  
SCALE: 1"=30'



**LEGEND:**

- PRE-DESIGN
- PROPERTY LINE
- SEWER LINE
- MANHOLE
- WATER LINE
- ROAD
- CULVERT
- OVERHEAD UTILITIES
- UTILITY POLE
- FIRE HYDRANT
- GATE VALVE
- NEW
- PROPERTY LINE
- EASEMENT
- SEWER MAIN
- SEWER MANHOLE/CO
- SEWER SERVICE
- WATER MAIN
- WATER FEEDER LINE
- WATER VALVE
- FIRE HYDRANT
- WATER SERVICE
- EDGE OF SHOULDER
- EDGE OF ASPHALT
- DITCH
- HDPE DRAINAGE CULVERT
- ROCK DAM
- PROFILE
- EXISTING GRADE
- FINISHED GRADE



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JOB NO. #19-10-RV  
DATE: FEB. 22, 2025

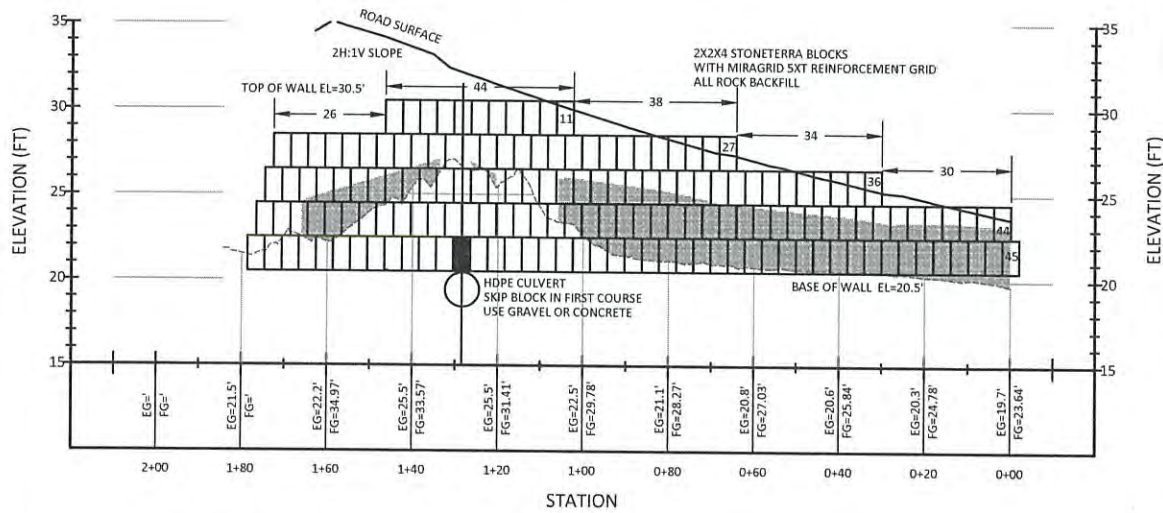


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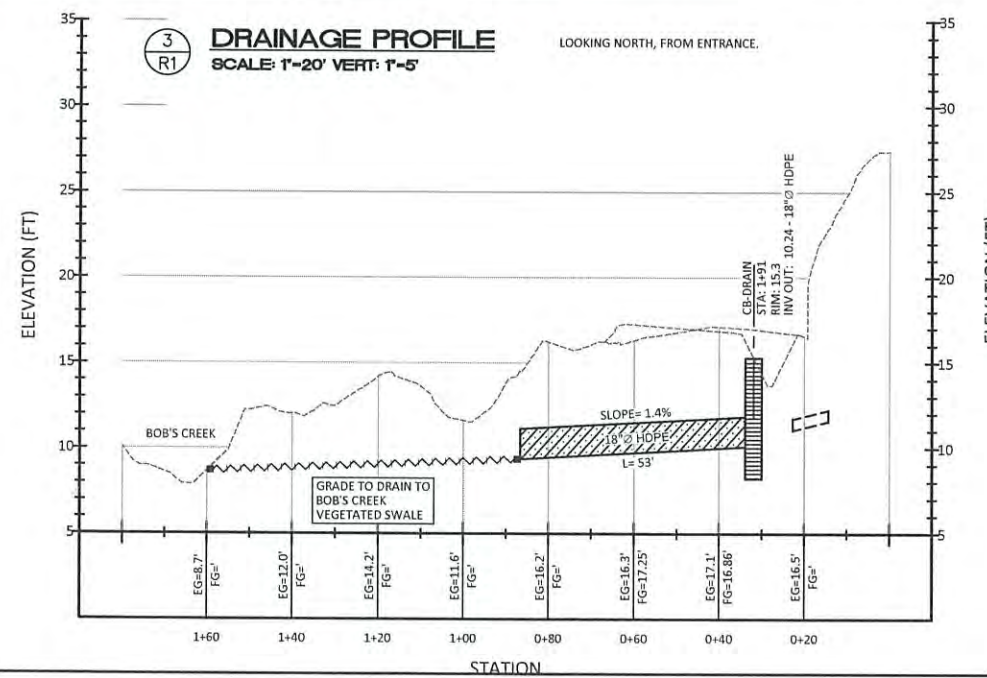
**RIVERVIEW MEADOWS DEVELOPMENT, LLC**  
RIVERVIEW MEADOWS OFF-SITE IMPROVEMENTS  
ENTRANCE ROAD - GRADING

**RECORD DRAWINGS - FEB. 2, 2026**

**2 R1 WALL PROFILE**  
SCALE: 1"=20' VERT: 1"=5'



**3 R1 DRAINAGE PROFILE**  
SCALE: 1"=20' VERT: 1"=5'



**ROADWAY NOTES**

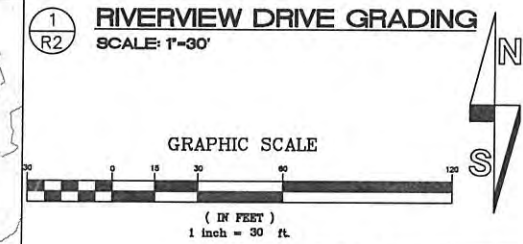
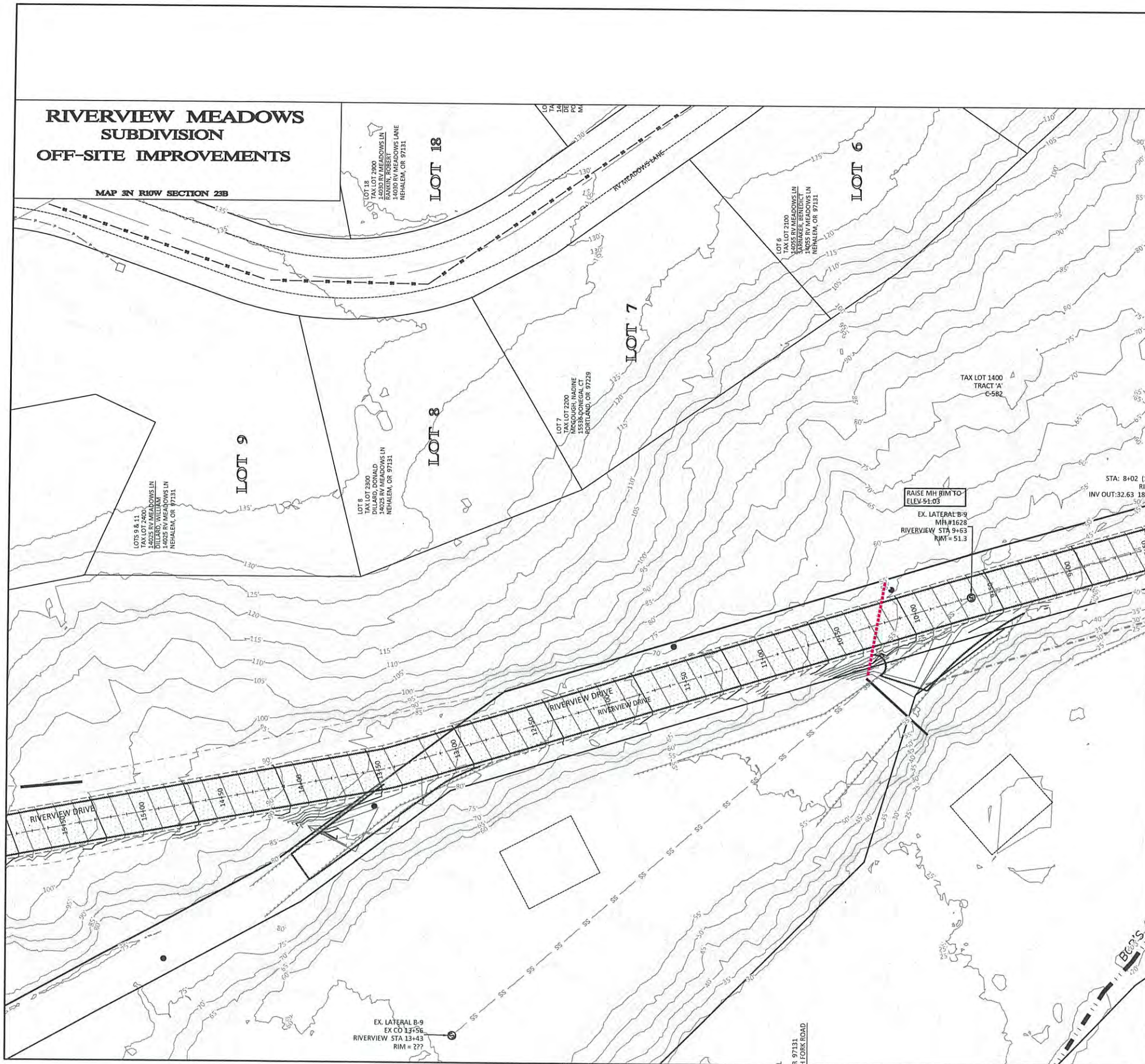
1. NEW MAIN ENTRANCE TO DEVELOPMENT.
2. EXISTING GRAVEL ROAD. UPDATE TO COUNTY STANDARDS AND PAVE.
3. PITCH ROADWAY TO EAST. BUILD FOR HEAVY LOADS TO LOGGING ROAD ENTRANCE (STA 13+20)
4. RETAINING WALL. ECONO-BLOCK WITH GEO-FABRIC REINFORCING.
5. GRADE DRIVEWAYS TO MATCH ROADWAY.
6. UPDATE MANHOLES TO MATCH FINAL GRADE.

NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

SHEET  
**R1**

OF -12-

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**LEGEND:**

PRE-DESIGN	
	PROPERTY LINE
	SEWER LINE
	MANHOLE
	WATER LINE
	ROAD
	CULVERT
	OVERHEAD UTILITIES
	UTILITY POLE
	FIRE HYDRANT
	GATE VALVE
NEW	
	PROPERTY LINE
	EASEMENT
	SEWER MAIN
	SEWER MANHOLE/CO
	SEWER SERVICE
	WATER MAIN
	WATER FEEDER LINE
	WATER VALVE
	FIRE HYDRANT
	WATER SERVICE
	EDGE OF SHOULDER
	EDGE OF ASPHALT
	DITCH
	HDPE DRAINAGE CULVERT
	ROCK DAM

- ROADWAY NOTES**
1. NEW MAIN ENTRANCE TO DEVELOPMENT.
  2. EXISTING GRAVEL ROAD. UPDATE TO COUNTY STANDARDS AND PAVE.
  3. PITCH ROADWAY TO EAST. BUILD FOR HEAVY LOADS TO LOGGING ROAD ENTRANCE (STA 13+20)
  4. RETAINING WALL. ECONO-BLOCK WITH GEO-FABRIC REINFORCING.
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MANZANITA, OR 97130  
(503) 801-6016  
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PROFESSIONAL ENGINEER  
REG. NO. 63055  
JASON R. MORGAN  
JANUARY 11, 2005  
RENEWAL DATE: DECEMBER 31, 2025

**RIVERVIEW MEADOWS DEVELOPMENT, LLC**  
RIVERVIEW MEADOWS OFF-SITE IMPROVEMENTS  
ENTRANCE ROAD - GRADING

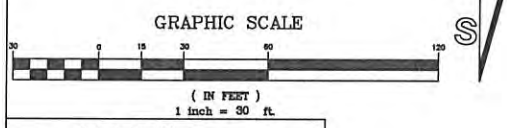
SHEET  
**R2**  
OF -12-

**RIVERVIEW MEADOWS  
SUBDIVISION  
OFF-SITE IMPROVEMENTS**

MAP IN ROW SECTION 23B

PHASE 2

**1 R3 RIVERVIEW DRIVE GRADING**  
SCALE: 1"=30'

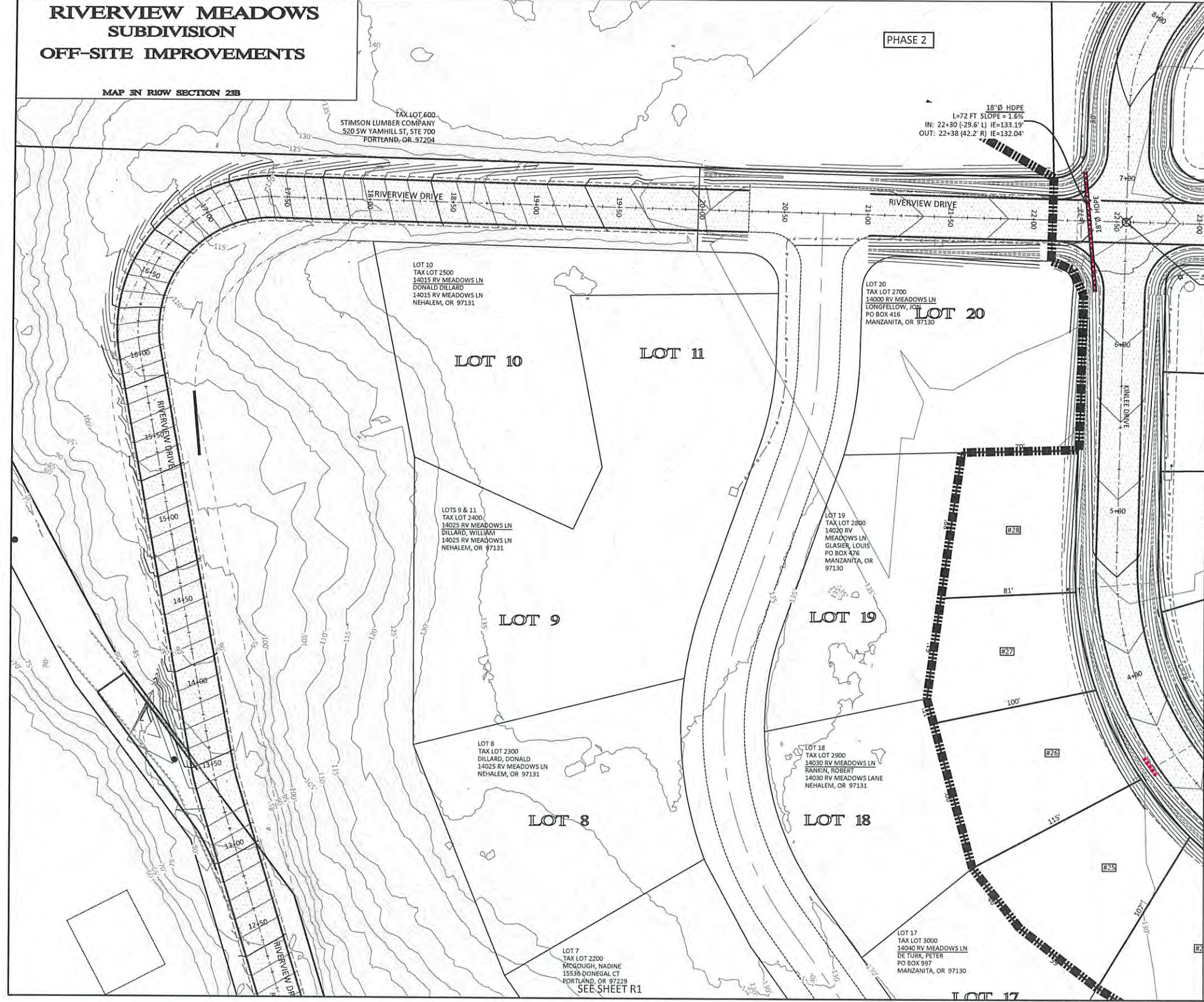


**LEGEND:**

- PRE-DESIGN
- PROPERTY LINE
- SEWER LINE
- MANHOLE
- WATER LINE
- ROAD
- CULVERT
- OVERHEAD UTILITIES
- UTILITY POLE
- FIRE HYDRANT
- GATE VALVE
- NEW
- PROPERTY LINE
- EASEMENT
- SEWER MAIN
- SEWER MANHOLE/CO
- SEWER SERVICE
- WATER MAIN
- WATER FEEDER LINE
- WATER VALVE
- FIRE HYDRANT
- WATER SERVICE
- EDGE OF SHOULDER
- EDGE OF ASPHALT
- DITCH
- HDPE DRAINAGE CULVERT
- ROCK DAM

**ROADWAY NOTES**

1. NEW MAIN ENTRANCE TO DEVELOPMENT.
2. EXISTING GRAVEL ROAD. UPDATE TO COUNTY STANDARDS AND PAVE.
3. PITCH ROADWAY TO EAST. BUILD FOR HEAVY LOADS TO LOGGING ROAD ENTRANCE (STA 13+20)
4. RETAINING WALL. ECONO-BLOCK WITH GEO-FABRIC REINFORCING.
5. GRADE DRIVEWAYS TO MATCH ROADWAY.
6. UPDATE MANHOLES TO MATCH FINAL GRADE.



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INSPECTION  
PLANNING

ISS. NO. #15-10-BV  
DATE NOV. 22, 2025

REGISTERED PROFESSIONAL  
ENGINEER  
#3055  
JANUARY 13, 2025  
DRECOH  
JASON R. MORGAN  
RENEWAL DATE: DECEMBER 31, 2025

**RECORD DRAWINGS - FEB. 2, 2026**

**RIVERVIEW MEADOWS DEVELOPMENT, LLC**  
RIVERVIEW MEADOWS OFF-SITE IMPROVEMENTS  
ENTRANCE ROAD - GRADING

NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

SHEET  
**R3**  
OF -12-

V:\19-10-Riv-Dwg\Riverview Meadows Plans.dwg, entrance-grading (3), 2/2/2026 10:52:28 AM

NEHALEM, MAP IN ROW SECTION 23B

# RIVERVIEW MEADOWS PHASE 2

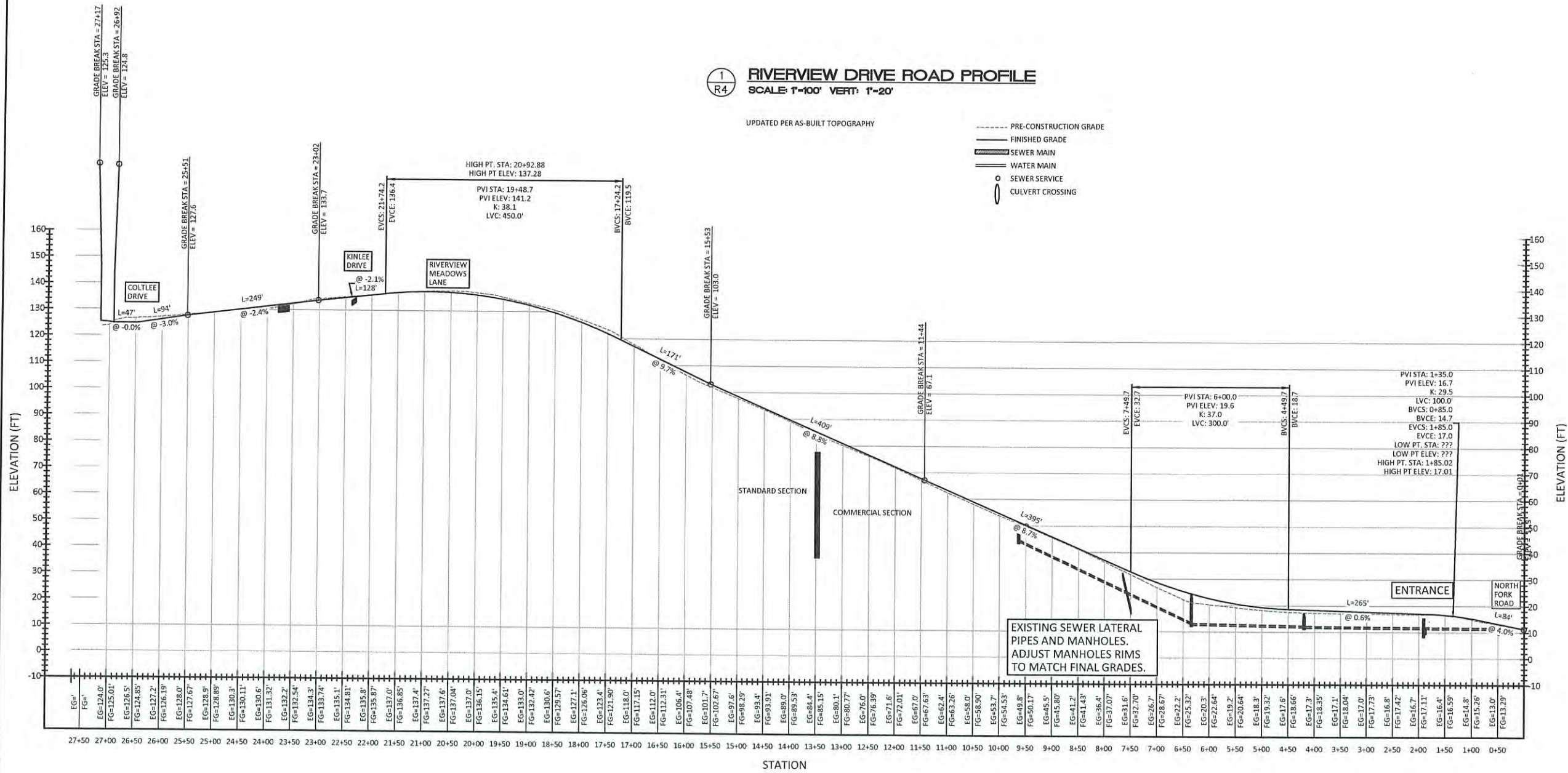
MAP 3N R10W SECTION 23B

## 1 RIVERVIEW DRIVE ROAD PROFILE R4

SCALE: H=1"=100' V=1"=20'

UPDATED PER AS-BUILT TOPOGRAPHY

- PRE-CONSTRUCTION GRADE
- FINISHED GRADE
- SEWER MAIN
- WATER MAIN
- SEWER SERVICE
- CULVERT CROSSING



RECORD DRAWINGS - FEB. 2, 2026

RIVERVIEW MEADOWS DEVELOPMENT, LLC  
RIVERVIEW MEADOWS OFF-SITE IMPROVEMENTS  
ENTRANCE ROAD PROFILE



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JOB NO. 419-10-RV  
DATE NOV. 22, 2025

RECORD DATE: DECEMBER 31, 2025

REHALEM, MAP 3N R10W 23B

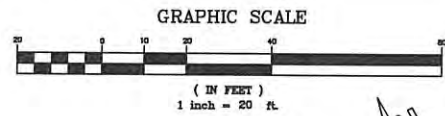
NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

SHEET  
**R4**

OF -12-

# RIVERVIEW MEADOWS SUBDIVISION OFF-SITE IMPROVEMENTS

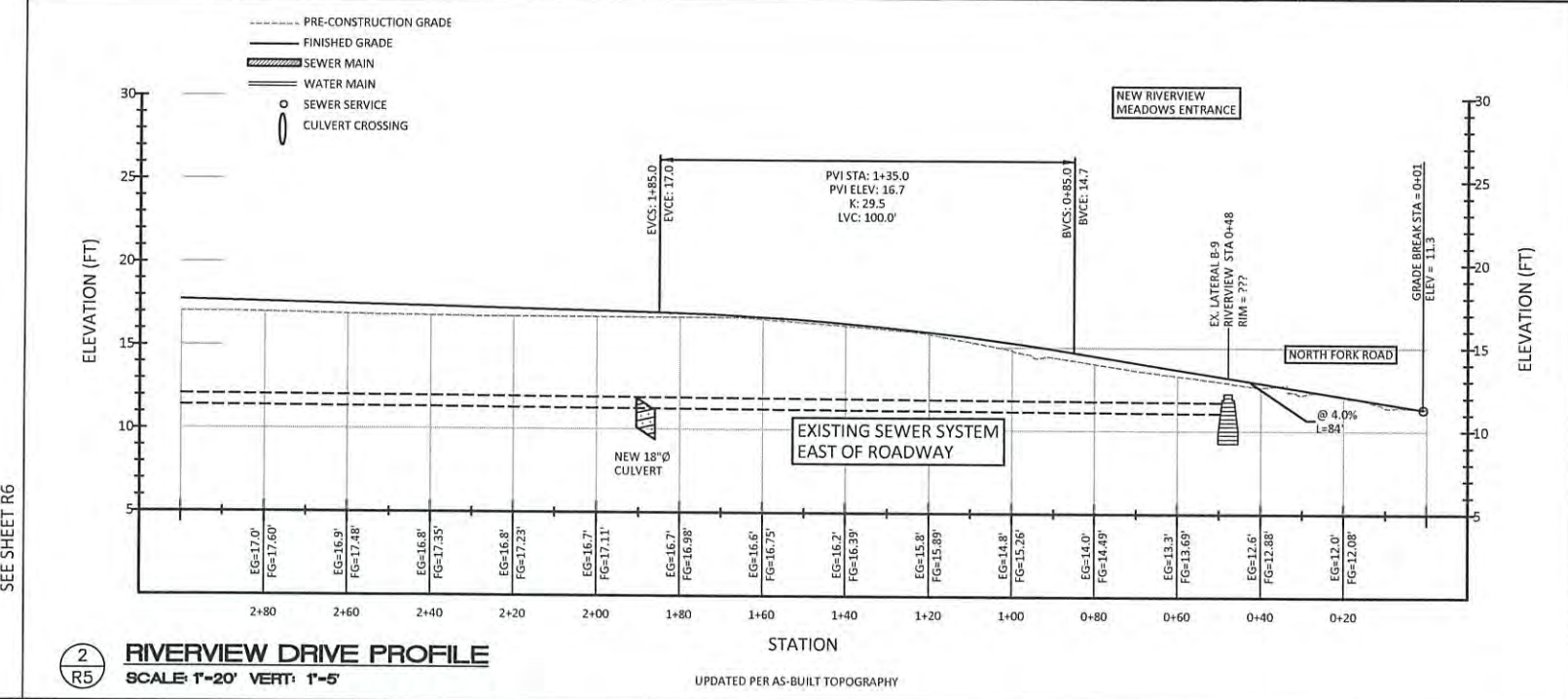
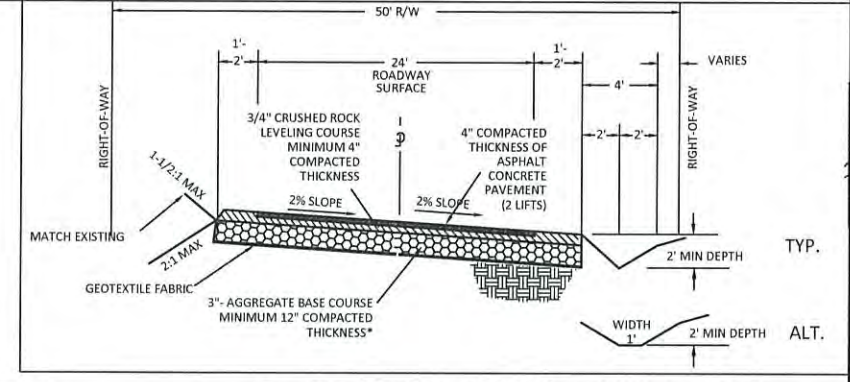
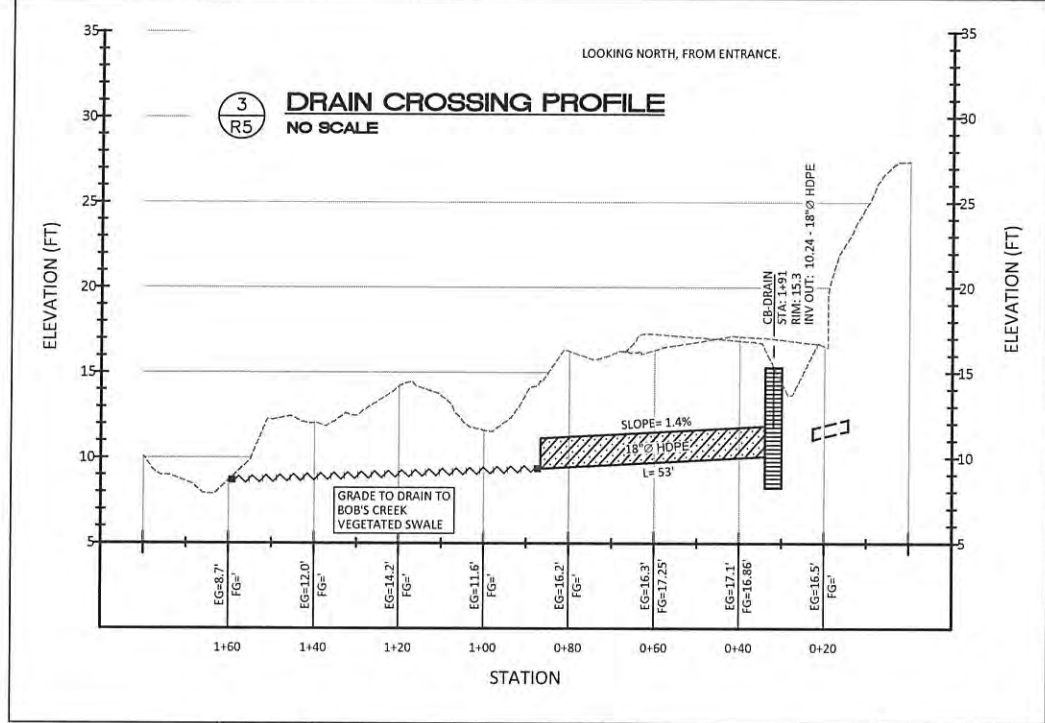
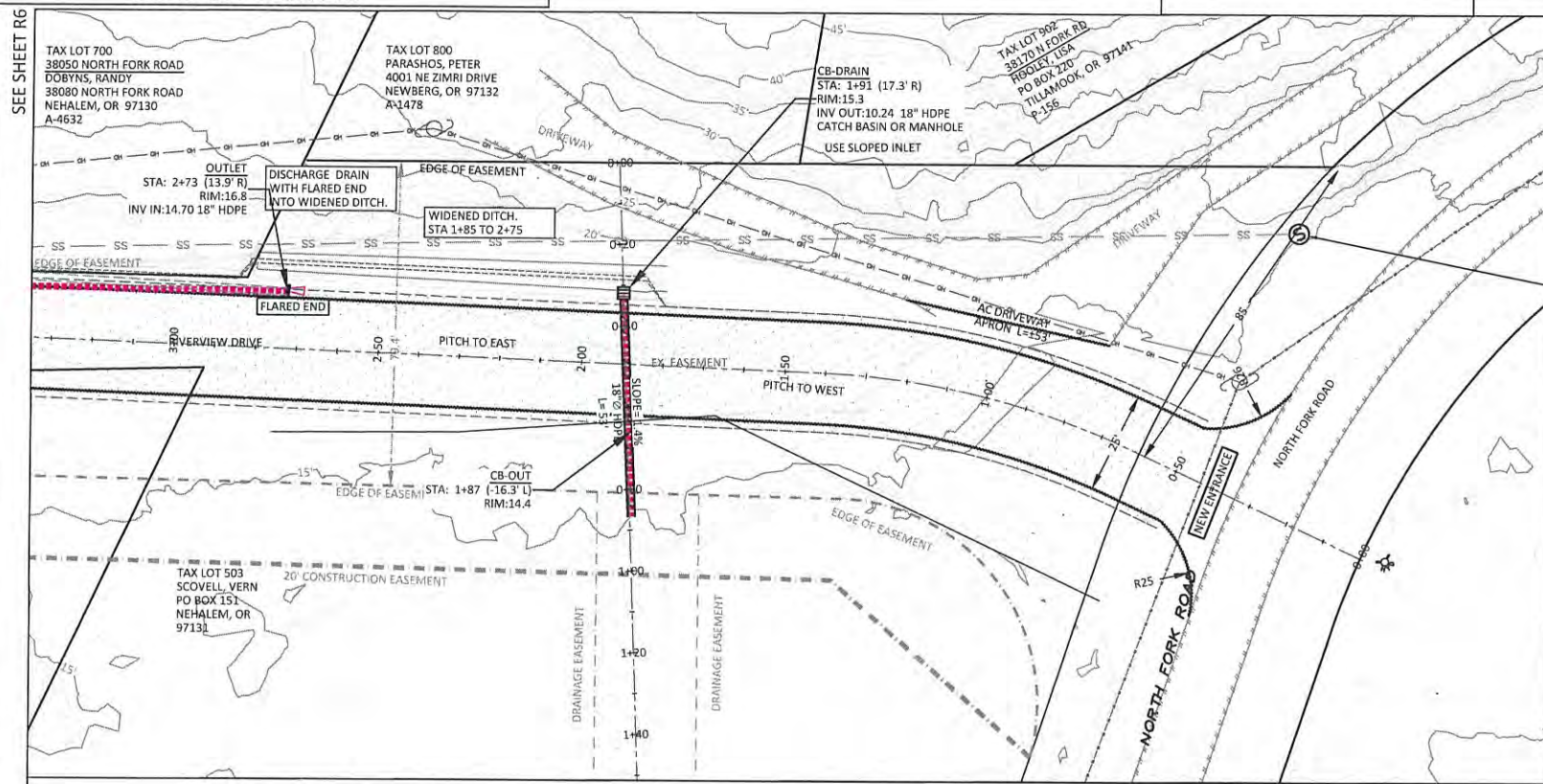
MAP 3N RI0W SECTION 23B



**1** RIVERVIEW DRIVE  
SCALE: 1"=20'

### ROADWAY NOTES

1. NEW MAIN ENTRANCE TO DEVELOPMENT.
2. EXISTING GRAVEL ROAD. UPDATE TO COUNTY STANDARDS AND PAVE.
3. PITCH ROADWAY TO EAST. BUILD FOR HEAVY LOADS TO LOGGING ROAD ENTRANCE (STA 13+20)
4. RETAINING WALL. ECONO-BLOCK WITH GEO-FABRIC REINFORCING.
5. GRADE DRIVEWAYS TO MATCH ROADWAY.
6. UPDATE MANHOLES TO MATCH FINAL GRADE.



**2** RIVERVIEW DRIVE PROFILE  
SCALE: 1"=20' VERT: 1"=5'

- ### LEGEND:
- PRE-DESIGN: PROPERTY LINE, SEWER LINE, MANHOLE, WATER LINE, ROAD, CULVERT, OVERHEAD UTILITIES, UTILITY POLE, FIRE HYDRANT, GATE VALVE.
  - NEW: PROPERTY LINE, EASEMENT, SEWER MAIN, SEWER MANHOLE/CO, SEWER SERVICE, WATER MAIN, WATER FEEDER LINE, WATER VALVE, FIRE HYDRANT, WATER SERVICE, EDGE OF SHOULDER, EDGE OF ASPHALT, DITCH, HDPE DRAINAGE CULVERT, ROCK DAM.
  - PROFILE: EXISTING GRADE, FINISHED GRADE.

**4** ROAD SECTION (COMMERCIAL)  
NO SCALE

### STORM NOTES:

- ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION.
- COORDINATE WORK WITH COUNTY PUBLIC WORKS.
- 300 24" Ø CULVERT
- 301 18" Ø CULVERT
- 302 ROADSIDE DITCH (STANDARD)
- 303 ROADSIDE DITCH (WIDE)
- 304 CONCRETE MANHOLE
- 305 CONCRETE CATCH BASIN
- 306 12" Ø CULVERT

FOR SLOPED INLET, SET MID-POINT AT RIM ELEVATION

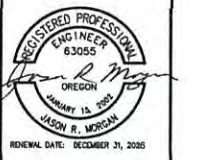
NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM



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97130  
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PLANNING

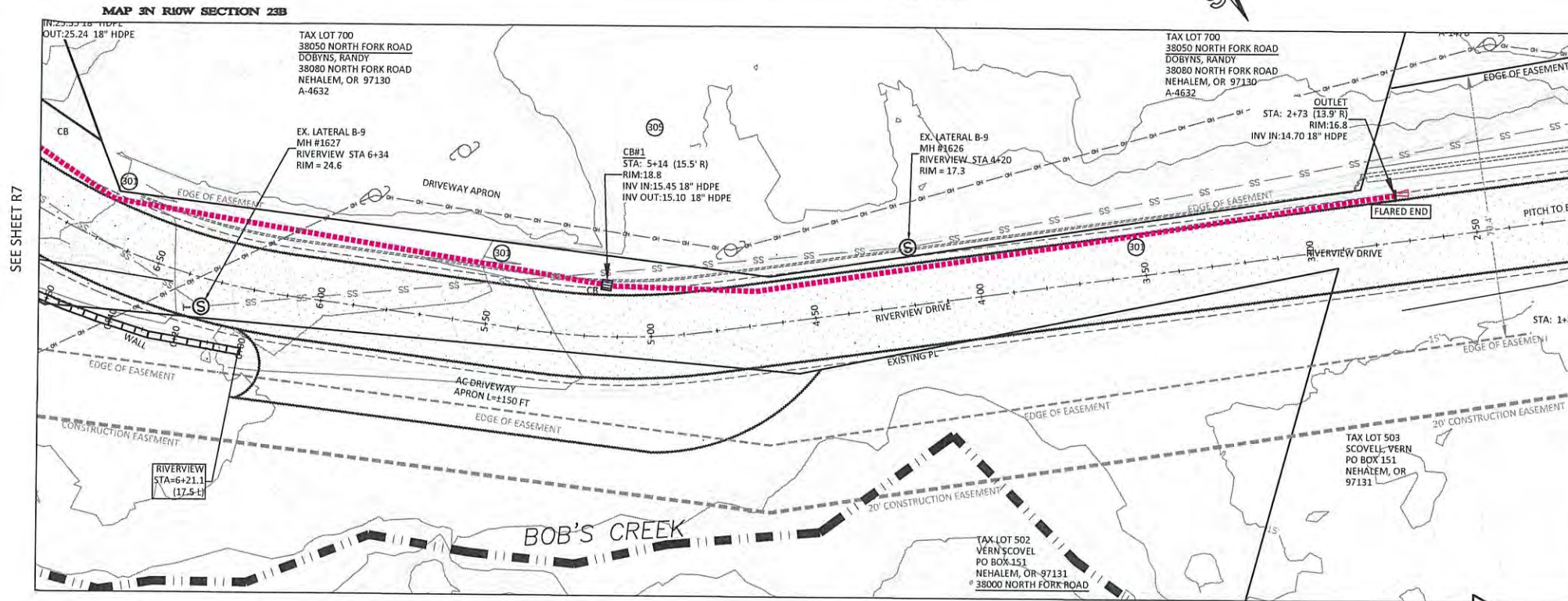
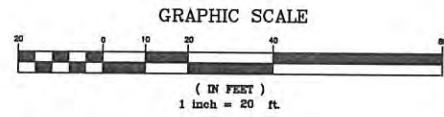


**RIVERVIEW MEADOWS DEVELOPMENT, LLC**  
RIVERVIEW MEADOWS OFF-SITE IMPROVEMENTS  
ENTRANCE ROAD

SHEET  
**R5**  
OF -12-

**RIVERVIEW MEADOWS  
SUBDIVISION  
OFF-SITE IMPROVEMENTS**

**1**  
R6  
**RIVERVIEW DRIVE**  
SCALE: 1"=20'

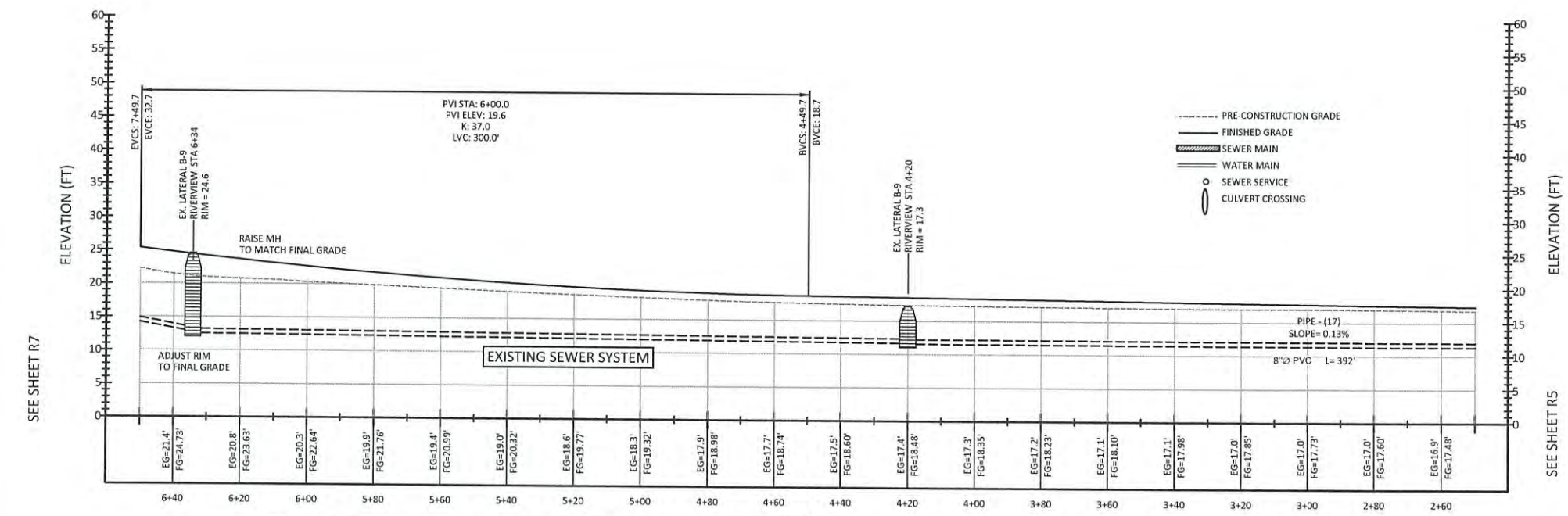


**LEGEND:**

	PRE-DESIGN PROPERTY LINE
	SEWER LINE
	MANHOLE
	WATER LINE
	ROAD
	CULVERT
	OVERHEAD UTILITIES
	UTILITY POLE
	FIRE HYDRANT
	GATE VALVE
	NEW PROPERTY LINE
	EASEMENT
	SEWER MAIN
	SEWER MANHOLE/CO
	SEWER SERVICE
	WATER MAIN
	WATER FEEDER LINE
	WATER VALVE
	FIRE HYDRANT
	WATER SERVICE
	EDGE OF SHOULDER
	EDGE OF ASPHALT
	DITCH
	HDPE DRAINAGE CULVERT
	ROCK DAM

- ROADWAY NOTES**
- NEW MAIN ENTRANCE TO DEVELOPMENT.
  - EXISTING GRAVEL ROAD. UPDATE TO COUNTY STANDARDS AND PAVE.
  - PITCH ROADWAY TO EAST. BUILD FOR HEAVY LOADS TO LOGGING ROAD ENTRANCE (STA 13+20)
  - RETAINING WALL. ECONO-BLOCK WITH GEO-FABRIC REINFORCING.
  - GRADE DRIVEWAYS TO MATCH ROADWAY.
  - UPDATE MANHOLES TO MATCH FINAL GRADE.

- STORM NOTES:**
- ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION.
- COORDINATE WORK WITH COUNTY PUBLIC WORKS.
- 300 24" Ø CULVERT
  - 301 18" Ø CULVERT
  - 302 ROADSIDE DITCH (STANDARD)
  - 303 ROADSIDE DITCH (WIDE)
  - 304 CONCRETE MANHOLE
  - 305 CONCRETE CATCH BASIN
  - 306 12" Ø CULVERT
- FOR SLOPED INLET, SET MID-POINT AT RIM ELEVATION



**2**  
R6  
**RIVERVIEW DRIVE PROFILE**  
SCALE: 1"=20' VERT: 1"=10'

STATION  
UPDATED PER AS-BUILT TOPOGRAPHY

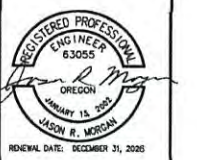
**RECORD DRAWINGS - FEB. 2, 2026**

RIVERVIEW MEADOWS DEVELOPMENT, LLC  
RIVERVIEW MEADOWS OFF-SITE IMPROVEMENTS  
ENTRANCE ROAD



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JOB NO. #19-10-SIV  
DATE: FEB. 22, 2025



REVISION DATE: DECEMBER 31, 2025

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1	02/02/2026	RECORD DRAWINGS	JRM

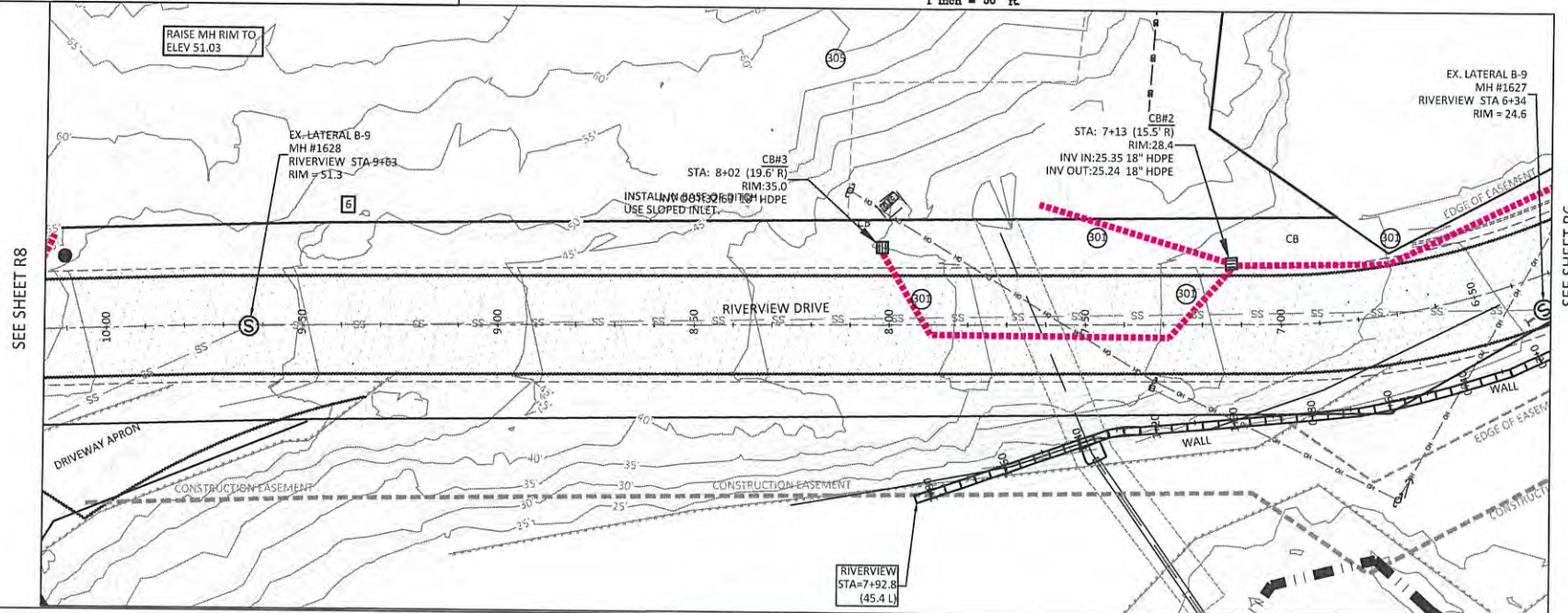
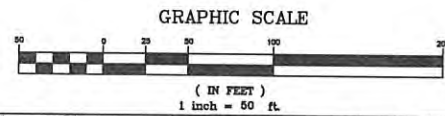
SHEET  
**R6**

OF -12-

**RIVERVIEW MEADOWS  
SUBDIVISION  
OFF-SITE IMPROVEMENTS**

1  
R7

**RIVERVIEW DRIVE  
SCALE: 1"=20'**



**LEGEND:**

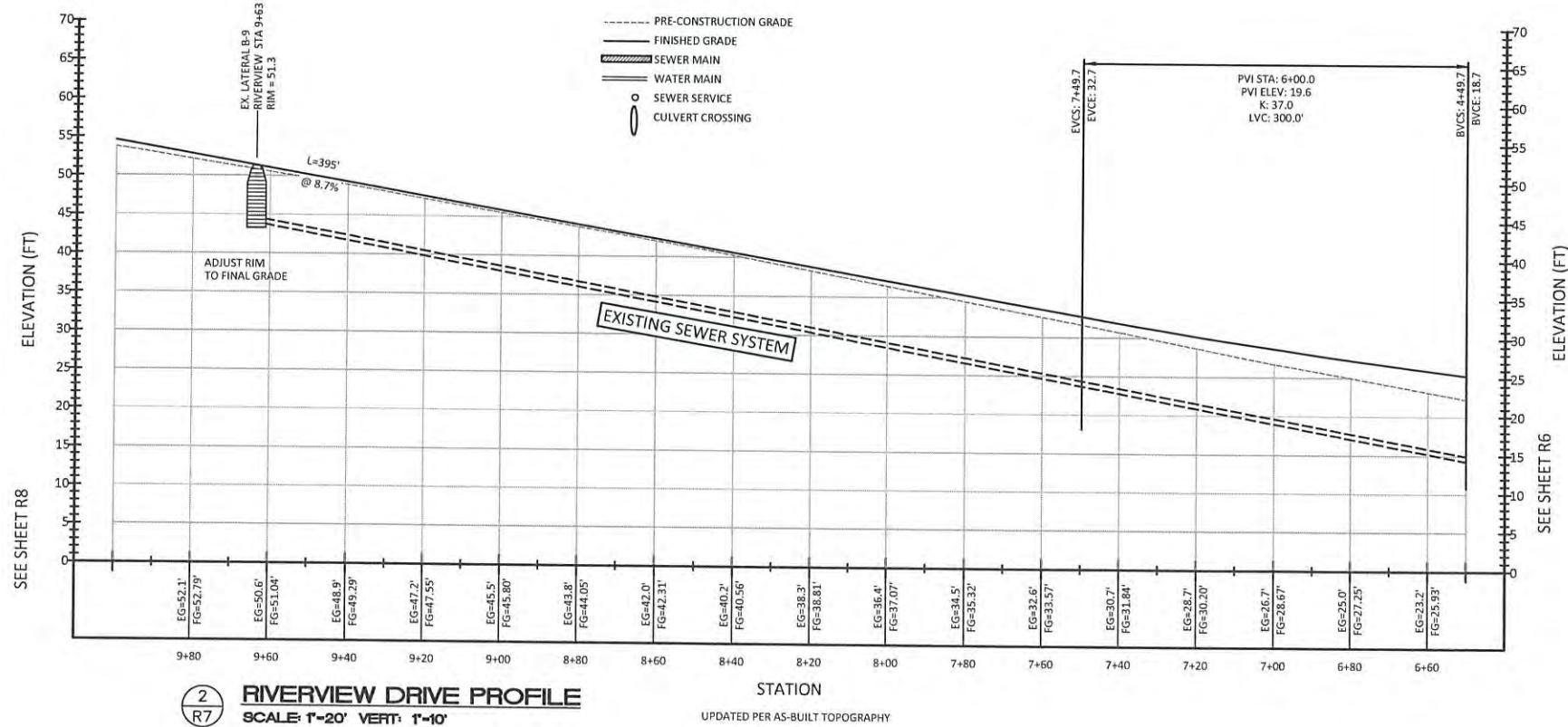
PRE-DESIGN	
---	PROPERTY LINE
---	SEWER LINE
---	MANHOLE
---	WATER LINE
---	ROAD
---	CULVERT
---	OVERHEAD UTILITIES
---	UTILITY POLE
---	FIRE HYDRANT
---	GATE VALVE
NEW	
---	PROPERTY LINE
---	EASEMENT
---	SEWER MAIN
---	SEWER MANHOLE/CO
---	SEWER SERVICE
---	WATER MAIN
---	WATER FEEDER LINE
---	WATER VALVE
---	FIRE HYDRANT
---	WATER SERVICE
---	EDGE OF SHOULDER
---	EDGE OF ASPHALT
---	DITCH
---	HDPE DRAINAGE CULVERT
---	ROCK DAM

**ROADWAY NOTES**

- NEW MAIN ENTRANCE TO DEVELOPMENT.
- EXISTING GRAVEL ROAD. UPDATE TO COUNTY STANDARDS AND PAVE.
- PITCH ROADWAY TO EAST. BUILD FOR HEAVY LOADS TO LOGGING ROAD ENTRANCE (STA 13+20)
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- GRADE DRIVEWAYS TO MATCH ROADWAY.
- UPDATE MANHOLES TO MATCH FINAL GRADE.

**STORM NOTES:**

- ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION.  
COORDINATE WORK WITH COUNTY PUBLIC WORKS.
- 300 24" Ø CULVERT
  - 301 18" Ø CULVERT
  - 302 ROADSIDE DITCH (STANDARD)
  - 303 ROADSIDE DITCH (WIDE)
  - 304 CONCRETE MANHOLE
  - 305 CONCRETE CATCH BASIN
  - 306 12" Ø CULVERT
- FOR SLOPED INLET, SET MID-POINT AT RIM ELEVATION



2  
R7  
**RIVERVIEW DRIVE PROFILE**  
SCALE: 1"=20' VERT: 1"=10'

STATION  
UPDATED PER AS-BUILT TOPOGRAPHY



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PROFESSIONAL ENGINEER  
NO. 19-10-010  
DATE: 10/23/2025



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RIVERVIEW MEADOWS OFF-SITE IMPROVEMENTS  
ENTRANCE ROAD

**RECORD DRAWINGS - FEB. 2, 2026**

SHEET  
**R7**

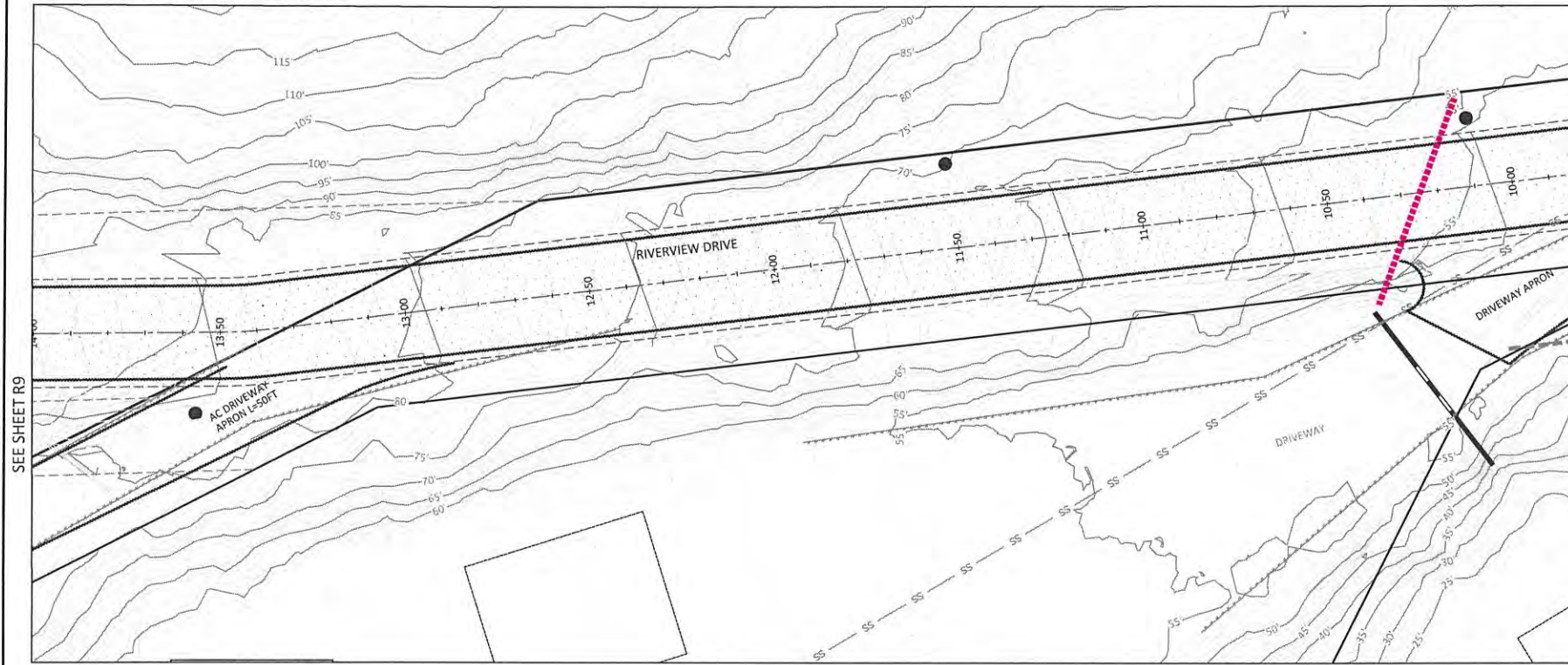
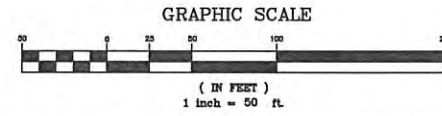
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1	02/02/2026	RECORD DRAWINGS	JRM

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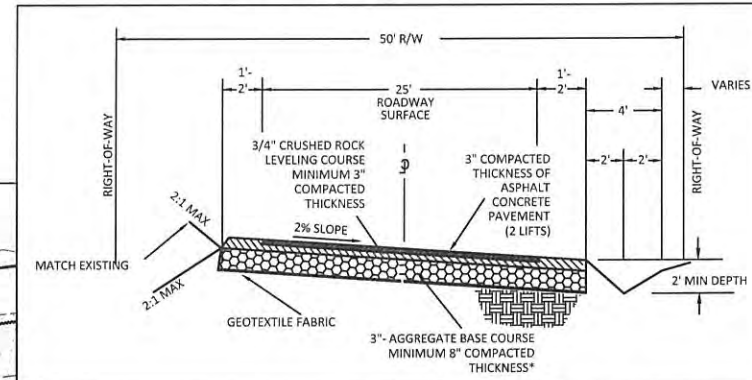
**RIVERVIEW MEADOWS  
SUBDIVISION  
OFF-SITE IMPROVEMENTS**

MAP 3N 10W SECTION 23B

**2 RIVERVIEW DRIVE**  
SCALE: 1"=20'



**1 ENTRANCE ROAD (TYP)**  
SCALE: 1"=20'



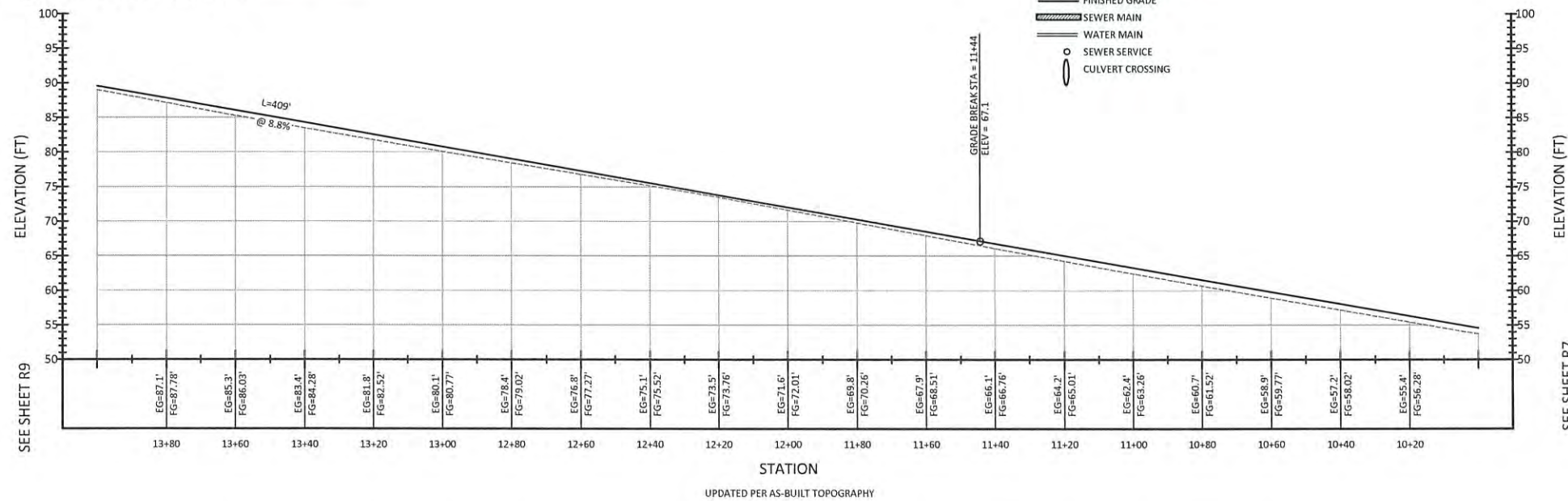
**LEGEND:**

- PRE-DESIGN
- PROPERTY LINE
- SEWER LINE
- MANHOLE
- WATER LINE
- ROAD
- CULVERT
- OVERHEAD UTILITIES
- UTILITY POLE
- FIRE HYDRANT
- GATE VALVE
- NEW
- PROPERTY LINE
- EASEMENT
- SEWER MAIN
- SEWER MANHOLE/CO
- SEWER SERVICE
- WATER MAIN
- WATER FEEDER LINE
- WATER VALVE
- FIRE HYDRANT
- WATER SERVICE
- EDGE OF SHOULDER
- EDGE OF ASPHALT
- DITCH
- HOPE DRAINAGE CULVERT
- ROCK DAM

**ROADWAY NOTES**

1. NEW MAIN ENTRANCE TO DEVELOPMENT.
2. EXISTING GRAVEL ROAD. UPDATE TO COUNTY STANDARDS AND PAVE.
3. PITCH ROADWAY TO EAST. BUILD FOR HEAVY LOADS TO LOGGING ROAD ENTRANCE (STA 13+20)
4. RETAINING WALL. ECONO-BLOCK WITH GEO-FABRIC REINFORCING.
5. GRADE DRIVEWAYS TO MATCH ROADWAY.
6. UPDATE MANHOLES TO MATCH FINAL GRADE.

**2 RIVERVIEW DRIVE PROFILE**  
SCALE: 1"=20' VERT: 1"=10'



**RECORD DRAWINGS - FEB. 2, 2026**

RIVERVIEW MEADOWS DEVELOPMENT, LLC  
RIVERVIEW MEADOWS OFF-SITE IMPROVEMENTS  
ENTRANCE ROAD



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REGISTERED PROFESSIONAL ENGINEER  
#3005  
JANUARY 15, 2005  
JASON R. MORGAN  
RENEWAL DATE: DECEMBER 31, 2025

SHEET  
**R8**  
of -12-

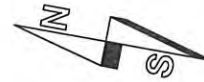
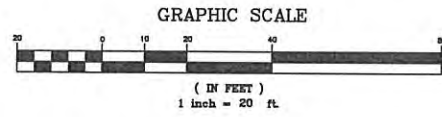
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1	02/02/2026	RECORD DRAWINGS	JRM

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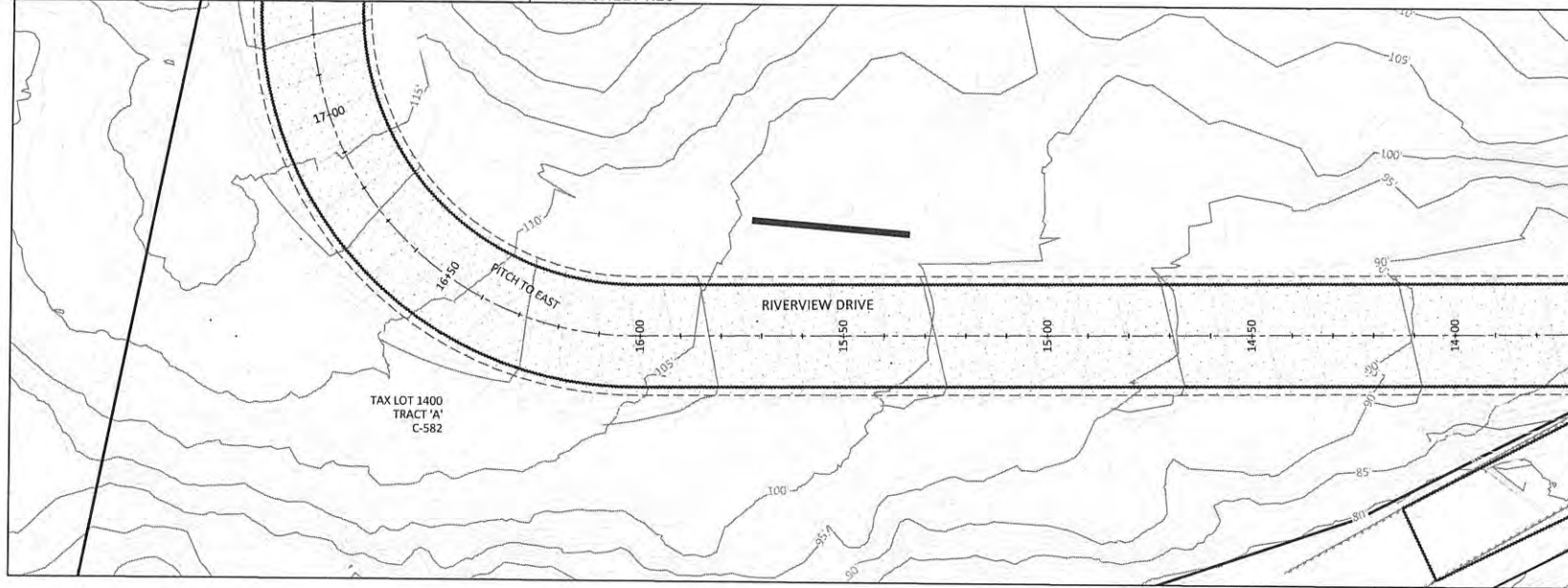
**RIVERVIEW MEADOWS  
SUBDIVISION  
OFF-SITE IMPROVEMENTS**

**1**  
R9  
**RIVERVIEW DRIVE**  
SCALE: 1"=20'



MAP 3N RI0W SECTION 23B

SEE SHEET R10



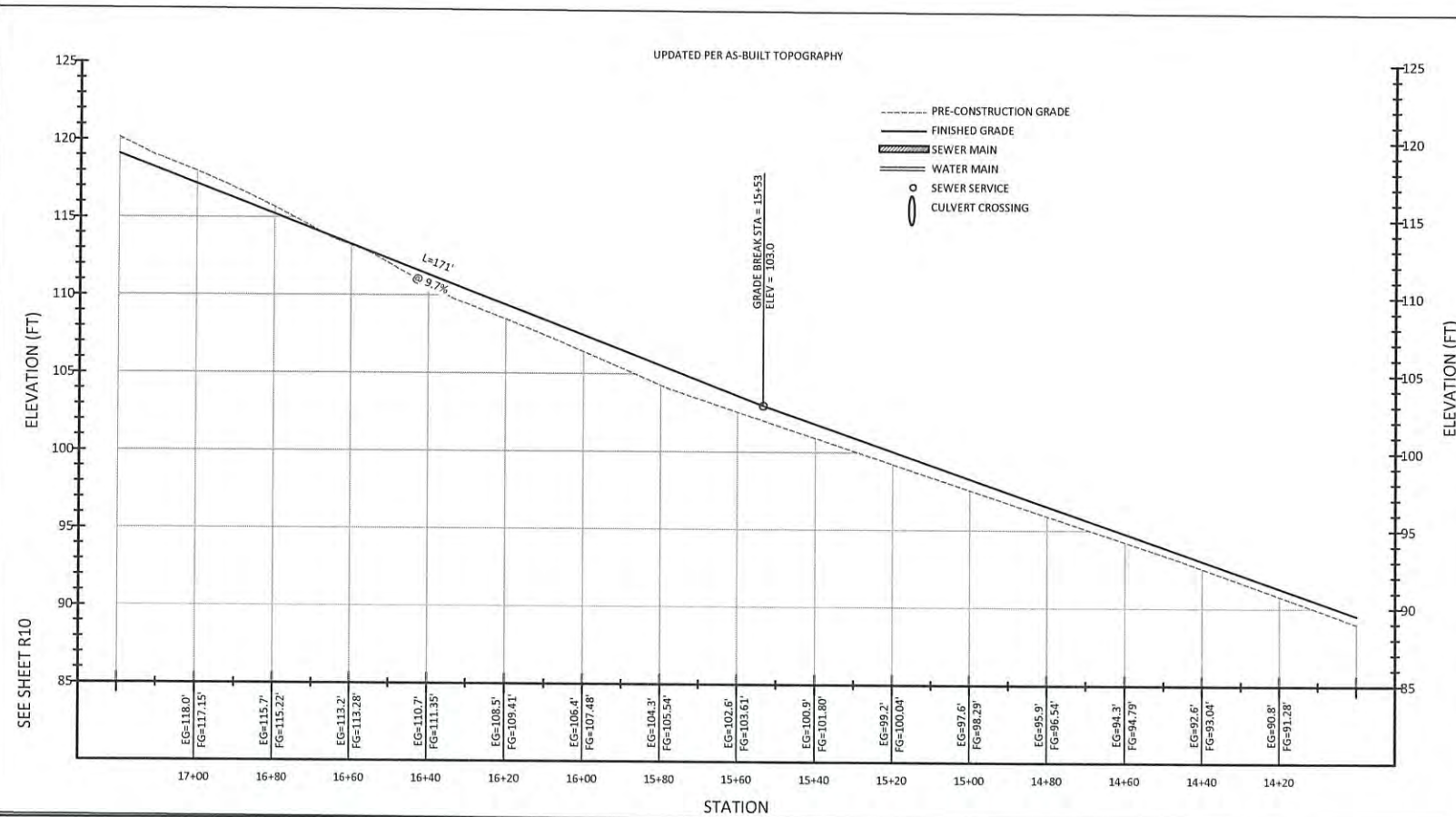
SEE SHEET R8

**ROADWAY NOTES**

1. NEW MAIN ENTRANCE TO DEVELOPMENT.
  2. EXISTING GRAVEL ROAD. UPDATE TO COUNTY STANDARDS AND PAVE.
  3. PITCH ROADWAY TO EAST. BUILD FOR HEAVY LOADS TO LOGGING ROAD ENTRANCE (STA 13+20)
  4. RETAINING WALL. ECONO-BLOCK WITH GEO-FABRIC REINFORCING.
  5. GRADE DRIVEWAYS TO MATCH ROADWAY.
6. UPDATE MANHOLES TO MATCH FINAL GRADE.

**LEGEND:**

PRE-DESIGN	NEW
PROPERTY LINE	PROPERTY LINE
SEWER LINE	EASEMENT
MANHOLE	SEWER MAIN
WATER LINE	SEWER MANHOLE/CO
ROAD	SEWER SERVICE
CULVERT	WATER MAIN
OVERHEAD UTILITIES	WATER FEEDER LINE
UTILITY POLE	WATER VALVE
FIRE HYDRANT	FIRE HYDRANT
GATE VALVE	WATER SERVICE
	EDGE OF SHOULDER
	EDGE OF ASPHALT
	DITCH
	HDPE DRAINAGE CULVERT
	ROCK DAM



SEE SHEET R8

**2**  
R9  
**RIVERVIEW DRIVE PROFILE**  
SCALE: 1"=20' VERT: 1"=5'

NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

**RECORD DRAWINGS - FEB. 2, 2026**

RIVERVIEW MEADOWS DEVELOPMENT, LLC  
RIVERVIEW MEADOWS OFF-SITE IMPROVEMENTS  
ENTRANCE ROAD

SHEET  
**R9**  
OF -12-



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www.morgancivil.com

JOB NO. REF-10-RV  
DATE FEB. 2, 2025



RENEWAL DATE: DECEMBER 31, 2025

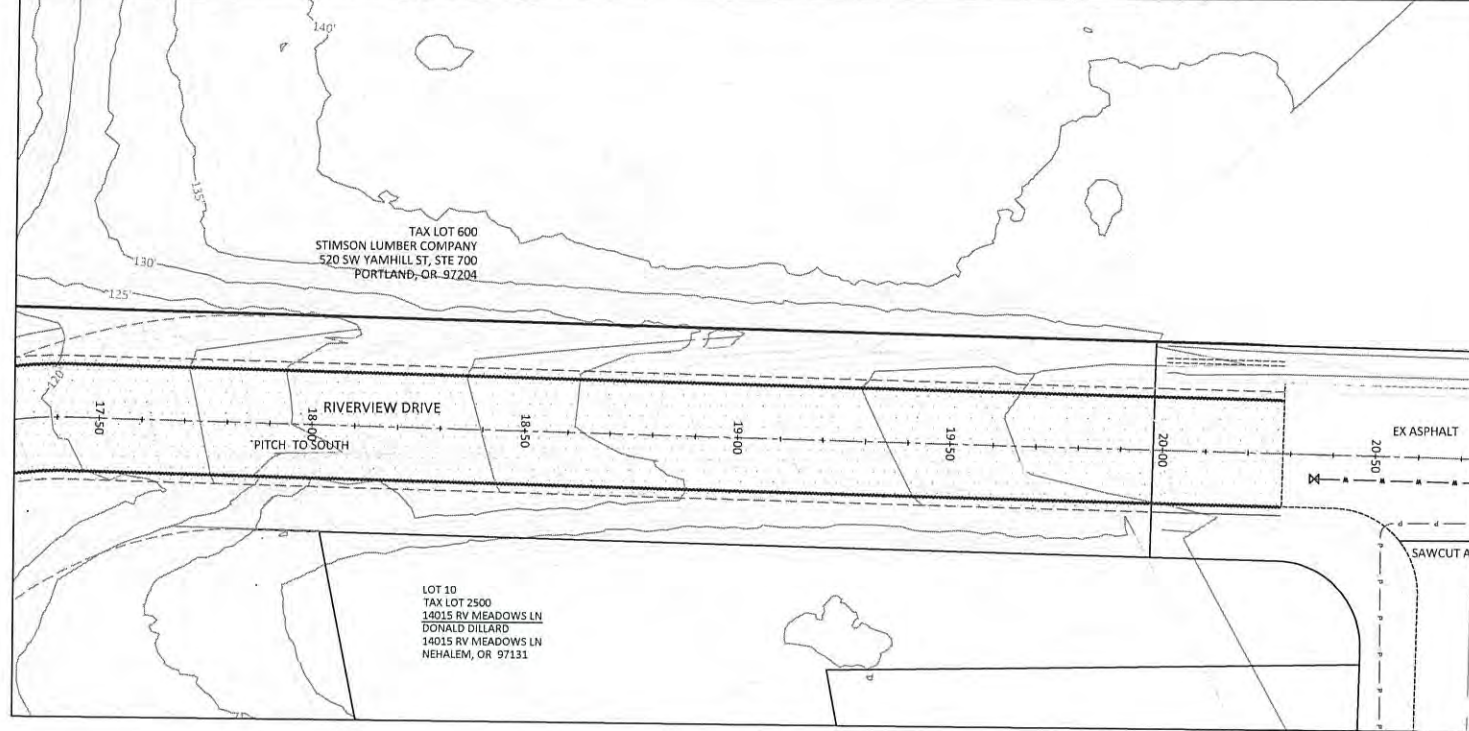
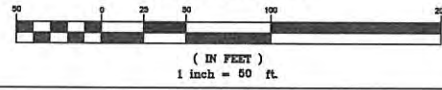
NEHALEM, MAP 3N 10W 23B

**RIVERVIEW MEADOWS  
PHASE 2**

MAP IN ROW SECTION 23B

**1**  
R10 **RIVERVIEW DRIVE**  
SCALE: 1"=20'

GRAPHIC SCALE



**SEWER NOTES:**

ALL CRUSHED ROCK BEDDING AND BACKFILL.  
95% COMPACTION. SEE DETAILS SHEET 23.

COORDINATE WORK WITH NBWA.

101 CONNECT TO EXISTING STUB  
102 INSTALL NEW MANHOLE  
103 INSTALL NEW 8" SEWER PIPE  
104 INSTALL NEW SEWER SERVICE ASSEMBLY

DEFLECTION TESTING, PRESSURE TESTING, AND  
VIDEO INSPECTION OF PIPE REQUIRED.

VACUUM TEST OF MANHOLES REQUIRED.

**LEGEND:**

	PRE-DESIGN PROPERTY LINE
	SEWER LINE
	MANHOLE
	WATER LINE
	ROAD
	CULVERT
	OVERHEAD UTILITIES
	UTILITY POLE
	FIRE HYDRANT
	GATE VALVE
<b>NEW</b>	
	PROPERTY LINE
	EASEMENT
	SEWER MAIN
	SEWER MANHOLE/CO
	SEWER SERVICE
	WATER MAIN
	WATER FEEDER LINE
	WATER VALVE
	FIRE HYDRANT
	WATER SERVICE
	EDGE OF SHOULDER
	EDGE OF ASPHALT
	DITCH
	HDPE DRAINAGE CULVERT
	ROCK DAM



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INSPECTION  
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REGISTERED PROFESSIONAL  
ENGINEER  
63095  
OREGON  
JANUARY 15, 2002  
MASON R. MORGAN

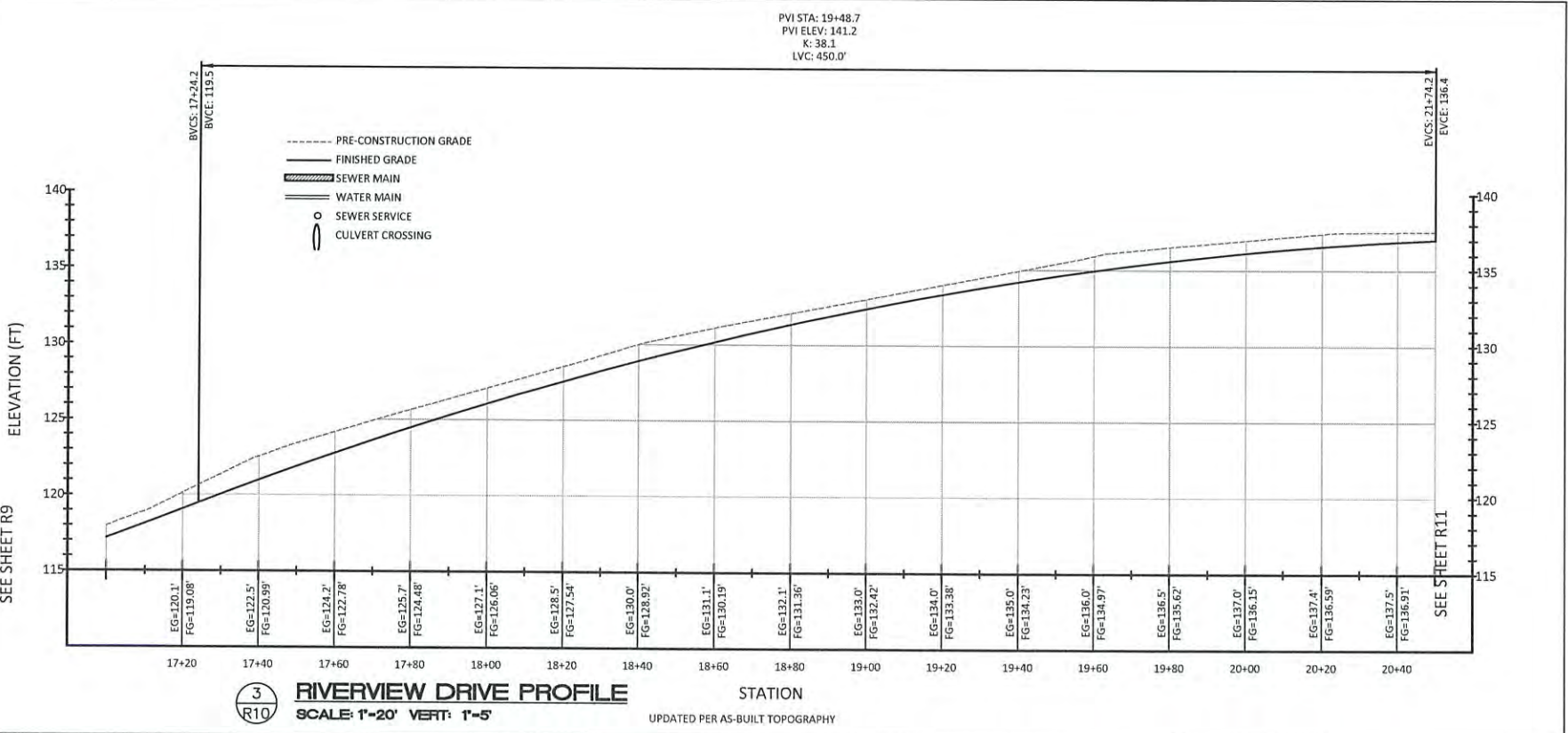
RENEWAL DATE: DECEMBER 31, 2025

RIVERVIEW MEADOWS DEVELOPMENT, LLC  
RIVERVIEW MEADOWS IMPROVEMENTS  
ENTRANCE ROAD  
NEHALEM, MAP 3N LOW 23B

**RECORD DRAWINGS - FEB. 2, 2026**

SHEET  
**R10**

OF -12-

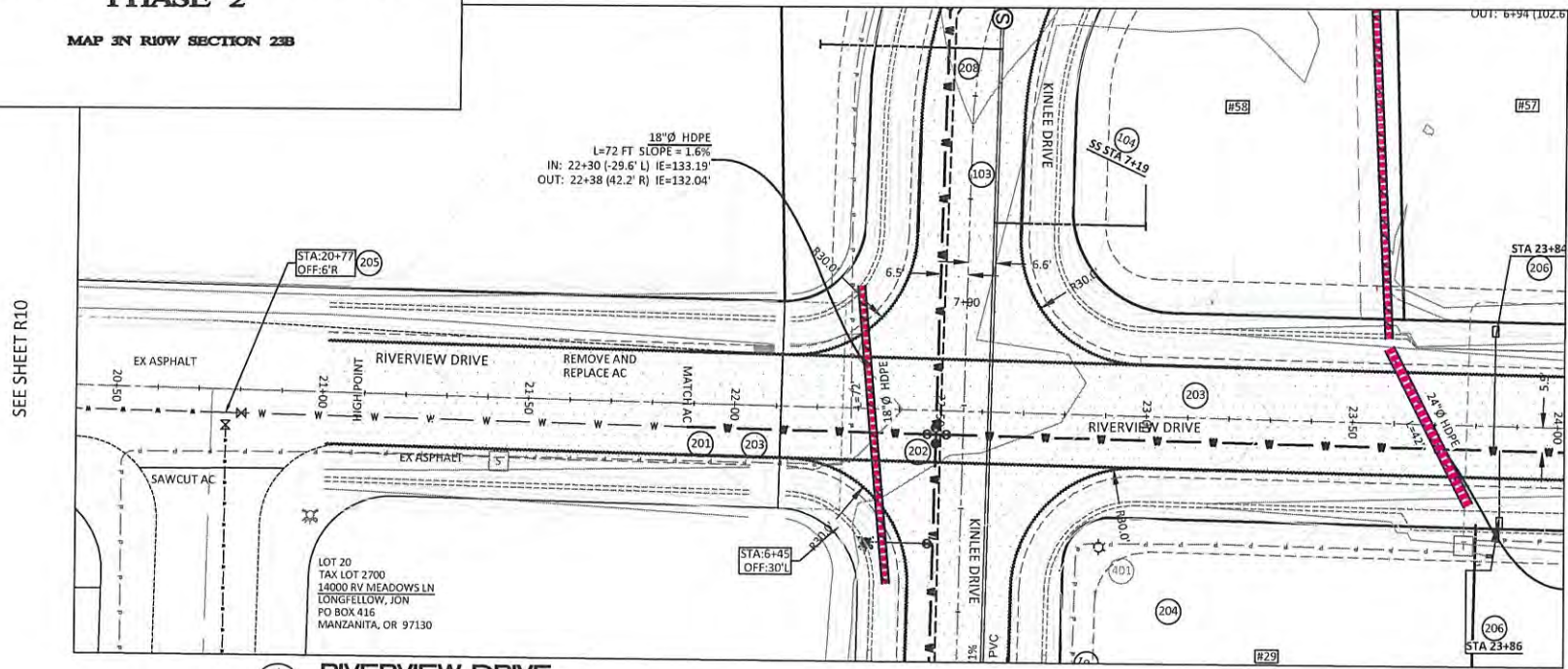


NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

V:\19-10-Riv-Dwg\Riverview Meadows Plans.dwg, entrance (10), 2/2/2026 10:55:22 AM

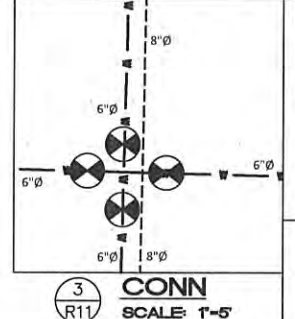
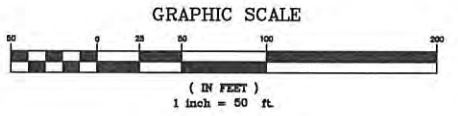
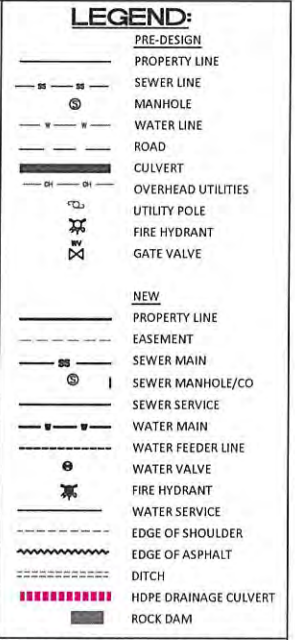
# RIVERVIEW MEADOWS PHASE 2

MAP 31 R10W SECTION 23B



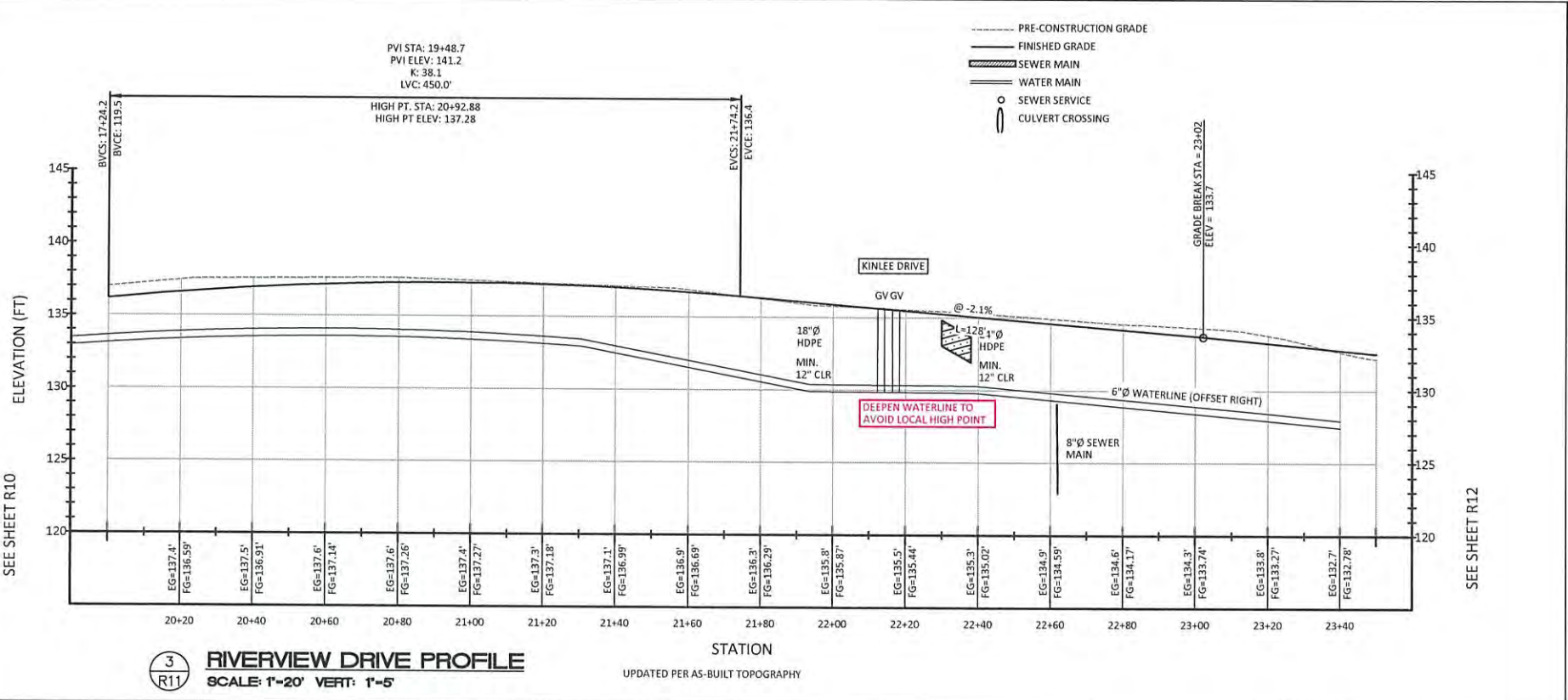
**1**  
R11  
**RIVERVIEW DRIVE**  
SCALE: 1"=20'

**SEWER NOTES:**  
ALL CRUSHED ROCK BEDDING AND BACKFILL.  
95% COMPACTION. SEE DETAILS SHEET 23.  
COORDINATE WORK WITH NBWA.  
101 CONNECT TO EXISTING STUB  
102 INSTALL NEW MANHOLE  
103 INSTALL NEW 8" SEWER PIPE  
104 INSTALL NEW SEWER SERVICE ASSEMBLY  
DEFLECTION TESTING, PRESSURE TESTING, AND VIDEO INSPECTION OF PIPE REQUIRED.  
VACUUM TEST OF MANHOLES REQUIRED.



**ELECTRICAL NOTES:**  
ALL CRUSHED ROCK BEDDING AND BACKFILL.  
95% COMPACTION IN RIGHT-OF-WAY.  
COORDINATE WORK WITH TPUD.  
401 LIGHT POLE  
TPUD LEGEND:  
= E11 VAULT W/ CE11T LID  
= E11 VAULT W/ CE11SE LID  
= PED (INSTALLED BY TPUD)  
= 2" CONDUIT  
= 3" CONDUIT

**WATER NOTES:**  
ALL CRUSHED ROCK BEDDING AND BACKFILL.  
95% COMPACTION IN RIGHT-OF-WAY.  
COORDINATE WORK WITH CITY OF NEHALEM.  
30" COVER OVER PIPES. 18" MIN VERTICAL SEPARATION FROM SEWER LINE AT CROSSINGS.  
201 LOCATE AND CONNECT TO EXISTING WATER  
202 INSTALL 6"Ø TEE WITH GATE VALVES AND BEND, AS NEEDED.  
USE VC212 VALVE BOX SELF-CENTERING GUIDE ON ALL VALVES.  
203 INSTALL 6"Ø PVC PIPE  
204 INSTALL FIRE HYDRANT ASSEMBLY  
205 INSTALL D.I. BENDS, AS NEEDED  
206 INSTALL WATER SERVICE ASSEMBLY  
207 INSTALL 6"Ø TEE WITH 6" GATE VALVE AND 6X8 REDUCER.  
208 INSTALL 8"Ø PVC PIPE  
209 INSTALL 8"Ø GATE VALVE  
210 INSTALL ARV - CONNECT TO WATER PIPE AT HIGH POINT, AS SHOWN  
△△ PIPE D.I. ANGLE BEND. NOMINAL ANGLE. MATCH PIPE SIZE  
PRESSURE TESTING, AND BACTERIOLOGICAL TESTING REQUIRED.



RECORD DRAWINGS - FEB. 2, 2026

RIVERVIEW MEADOWS DEVELOPMENT, LLC  
RIVERVIEW MEADOWS IMPROVEMENTS  
ENTRANCE ROAD

SHEET  
**R11**  
OF -12-

NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM



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CIVIL ENGINEERING  
INSPECTION  
PLANNING  
PO BOX 358  
MANZANITA, OR 97130  
(503) 801-0016  
www.morgancivil.com

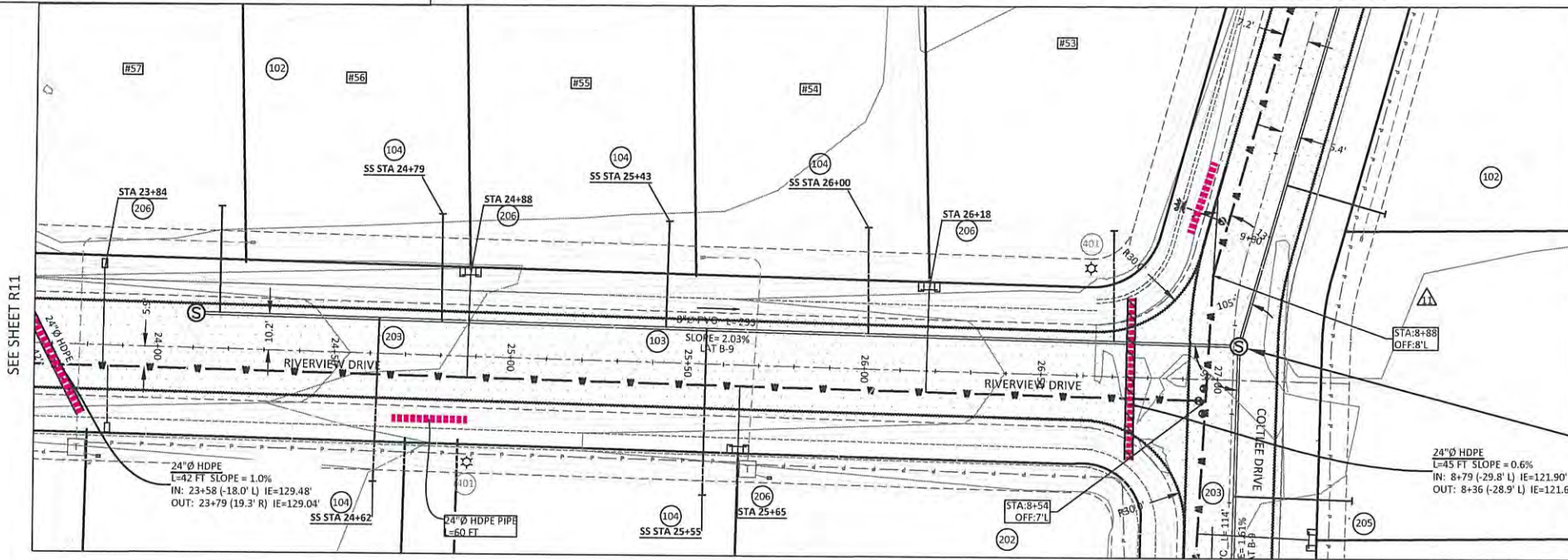
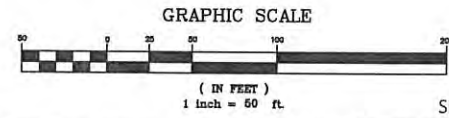
JOB NO. R15-10-RV  
DATE: NOV. 22, 2025

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# RIVERVIEW MEADOWS PHASE 2

MAP 3N RI0W SECTION 23B

## 1 RIVERVIEW DRIVE (PHASE 2) SCALE: 1"=20'



**LEGEND:**

PRE-DESIGN	
---	PROPERTY LINE
---	SEWER LINE
---	MANHOLE
---	WATER LINE
---	ROAD
---	CULVERT
---	OVERHEAD UTILITIES
---	UTILITY POLE
---	FIRE HYDRANT
---	GATE VALVE
NEW	
---	PROPERTY LINE
---	EASEMENT
---	SEWER MAIN
---	SEWER MANHOLE/CO
---	SEWER SERVICE
---	WATER MAIN
---	WATER FEEDER LINE
---	WATER VALVE
---	FIRE HYDRANT
---	WATER SERVICE
---	EDGE OF SHOULDER
---	EDGE OF ASPHALT
---	DITCH
---	HDPE DRAINAGE CULVERT
---	ROCK DAM

**WATER NOTES:**

ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION. SEE DETAILS SHEET D2.

COORDINATE WORK WITH CITY OF NEHALEM. 30" COVER OVER PIPES. 18" MIN VERTICAL SEPARATION FROM SEWER LINE AT CROSSINGS.

201 LOCATE AND CONNECT TO EXISTING WATER  
 202 INSTALL 6" Tee WITH GATE VALVES AND BEND, AS NEEDED.  
 USE VC212 VALVE BOX SELF-CENTERING GUIDE ON ALL VALVES.  
 203 INSTALL 6" PVC PIPE  
 204 INSTALL FIRE HYDRANT ASSEMBLY  
 205 INSTALL D.I. BENDS, AS NEEDED  
 206 INSTALL WATER SERVICE ASSEMBLY  
 207 INSTALL 6" Tee WITH 6" GATE VALVE AND 6X8 REDUCER.  
 208 INSTALL 8" PVC PIPE  
 209 INSTALL 8" GATE VALVE  
 210 INSTALL ARV - CONNECT TO WATER PIPE AT HIGH POINT, AS SHOWN

XX PIPE D.I. ANGLE BEND. NOMINAL ANGLE. MATCH PIPE SIZE.

PRESSURE TESTING, AND BACTERIOLOGICAL TESTING REQUIRED.

**ELECTRICAL NOTES:**

ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION IN RIGHT-OF-WAY.

COORDINATE WORK WITH TPUD.

401 LIGHT POLE

TPUD LEGEND:  
 □ = E11 VAULT W/ CE11T LID  
 □ = E11 VAULT W/ CE11SE LID  
 □ = PED (INSTALLED BY TPUD)  
 --- = 2" CONDUIT  
 --- = 3" CONDUIT

**SEWER NOTES:**

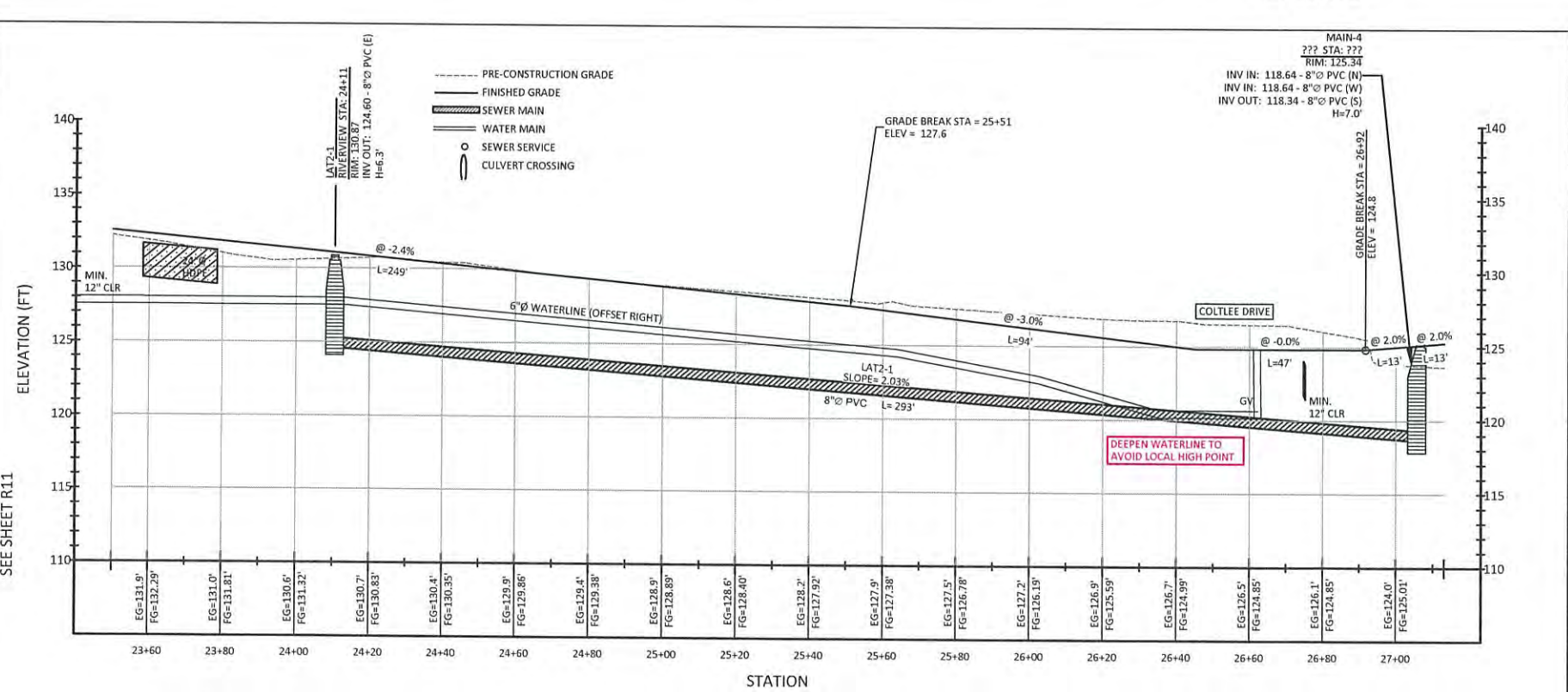
ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION. SEE DETAILS SHEET 23.

COORDINATE WORK WITH NBWA.

101 CONNECT TO EXISTING STUB  
 102 INSTALL NEW MANHOLE  
 103 INSTALL NEW 8" SEWER PIPE  
 104 INSTALL NEW SEWER SERVICE ASSEMBLY

DEFLECTION TESTING, PRESSURE TESTING, AND VIDEO INSPECTION OF PIPE REQUIRED.  
 VACUUM TEST OF MANHOLES REQUIRED.

## 2 RIVERVIEW DRIVE PROFILE SCALE: 1"=20' VERT: 1"=5'



NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

RECORD DRAWINGS - FEB. 2, 2026



**MORGAN CIVIL ENGINEERING, INC.**  
 CIVIL ENGINEERING  
 SURVEYING  
 PLANNING

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 (503) 754-1111  
 www.morgancivil.com

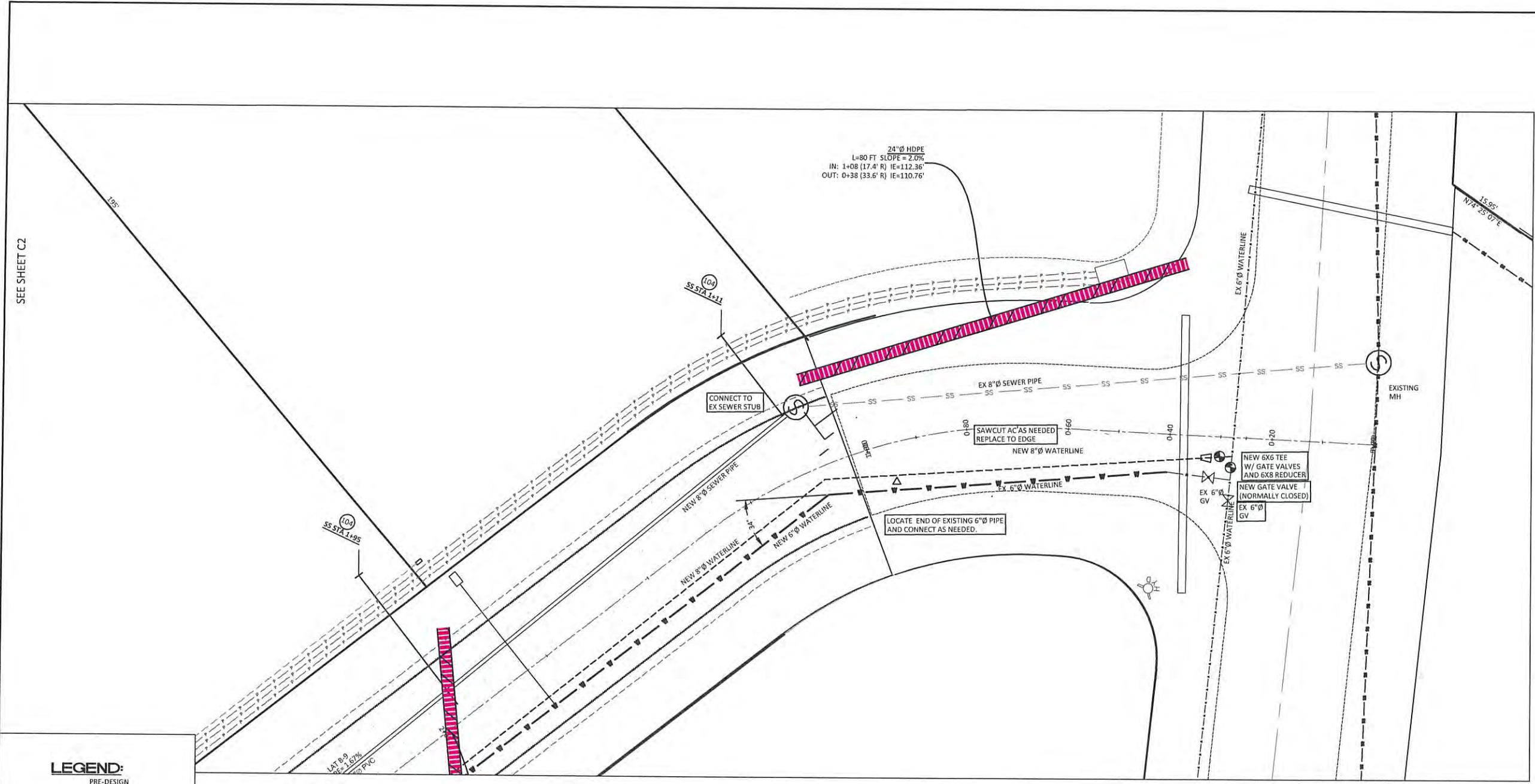
PROFESSIONAL ENGINEER  
 JASON R. MORGAN  
 REG. NO. 15300  
 OREGON  
 EXPIRES 12/31/2025  
 RENEWAL DATE: DECEMBER 31, 2025

**RIVERVIEW MEADOWS DEVELOPMENT, LLC**  
 RIVERVIEW MEADOWS IMPROVEMENTS  
 ENTRANCE ROAD

NEHALEM, MAP 3N RI0W 23B

SHEET  
**R12**  
 OF -12-

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**LEGEND:**

PRE-DESIGN

PROPERTY LINE

SEWER LINE

MANHOLE

WATER LINE

ROAD

CULVERT

OVERHEAD UTILITIES

UTILITY POLE

FIRE HYDRANT

GATE VALVE

**NEW**

PROPERTY LINE

EASEMENT

SEWER MAIN

SEWER MANHOLE/CO

SEWER SERVICE

WATER MAIN

WATER FEEDER LINE

WATER VALVE

FIRE HYDRANT

WATER SERVICE

EDGE OF SHOULDER

EDGE OF ASPHALT

DITCH

HDPE DRAINAGE CULVERT

**ELECTRICAL NOTES:**

ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION IN RIGHT-OF-WAY.

COORDINATE WORK WITH TPUD.

401 LIGHT POLE

TPUD LEGEND:

- = E11 VAULT W/ CE11T LID
- = E11 VAULT W/ CE11SE LID
- = PED (INSTALLED BY TPUD)
- = 2" CONDUIT
- = 3" CONDUIT

**STORM NOTES:**

ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION.

COORDINATE WORK WITH COUNTY PUBLIC WORKS.

- 300 24" Ø CULVERT
- 301 18" Ø CULVERT
- 302 ROADSIDE DITCH (STANDARD)
- 303 ROADSIDE DITCH (WIDE)
- 304 CONCRETE MANHOLE
- 305 CONCRETE CATCH BASIN
- 306 12" Ø CULVERT

**WATER NOTES:**

ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION. SEE DETAILS SHEET D2.

COORDINATE WORK WITH CITY OF NEHALEM. 30" COVER OVER PIPES. 18" MIN VERTICAL SEPARATION FROM SEWER LINE AT CROSSINGS.

- 201 LOCATE AND CONNECT TO EXISTING WATER
- 202 INSTALL 6" TEE WITH GATE VALVES AND BEND, AS NEEDED. USE VC212 VALVE BOX SELF-CENTERING GUIDE ON ALL VALVES.
- 203 INSTALL 6" PVC PIPE
- 204 INSTALL FIRE HYDRANT ASSEMBLY
- 205 INSTALL D.J. BENDS, AS NEEDED
- 206 INSTALL WATER SERVICE ASSEMBLY
- 207 INSTALL 6" TEE WITH 6" GATE VALVE AND 6X8 REDUCER.
- 208 INSTALL 8" PVC PIPE
- 209 INSTALL 8" GATE VALVE
- 210 INSTALL ARV - CONNECT TO WATER PIPE AT HIGH POINT, AS SHOWN

△ PIPE D.I. ANGLE BEND. NOMINAL ANGLE. MATCH PIPE SIZE.

PRESSURE TESTING, AND BACTERIOLOGICAL TESTING REQUIRED.

**SEWER NOTES:**

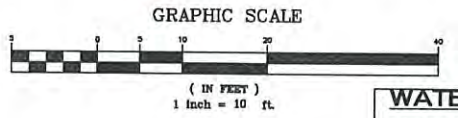
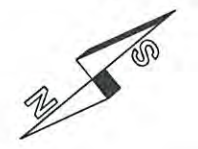
ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION. SEE DETAILS SHEET 23.

COORDINATE WORK WITH NBWA.

- 101 CONNECT TO EXISTING STUB
- 102 INSTALL NEW MANHOLE
- 103 INSTALL NEW 8" SEWER PIPE
- 104 INSTALL NEW SEWER SERVICE ASSEMBLY

DEFLECTION TESTING, PRESSURE TESTING, AND VIDEO INSPECTION OF PIPE REQUIRED.

VACUUM TEST OF MANHOLES REQUIRED.



**COLTLEE DRIVE**

SCALE: 1"=10'

RECORD DRAWINGS - FEB. 2, 2026

RIVERVIEW MEADOWS DEVELOPMENT, LLC  
RIVERVIEW MEADOWS IMPROVEMENTS  
COLTLEE DRIVE  
NEHALEM, OR 97131

SHEET  
**C1**  
OF 8

NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM



RENEWAL DATE: DECEMBER 31, 2025

**MORGAN CIVIL ENGINEERING, INC.**

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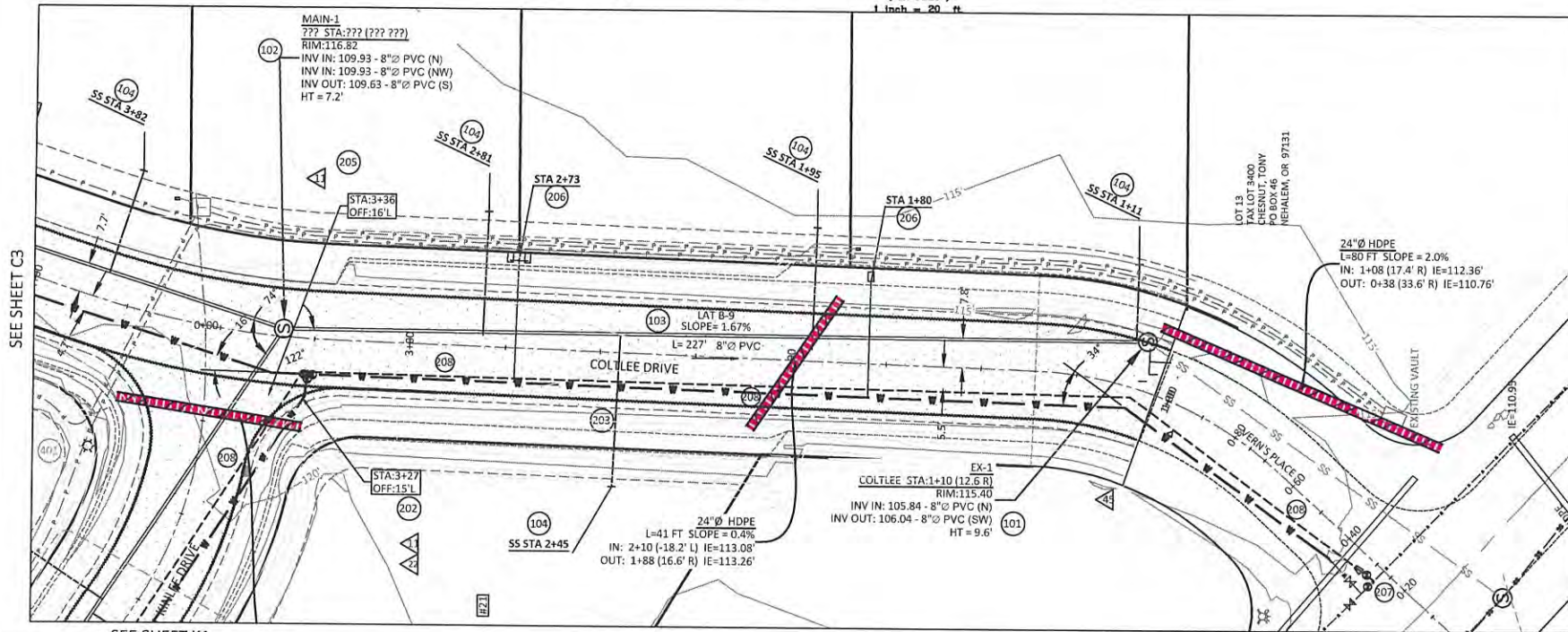
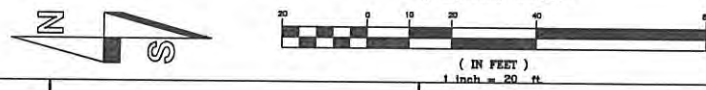
CIVIL ENGINEERING  
INSPECTION  
PLANNING

JOB NO. #19-10-RIV  
DATE FEB 22, 2025



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**1 COLTLEE DRIVE**  
SCALE: 1"=20'



SEE SHEET K1

**STORM NOTES:**

- ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION.
- COORDINATE WORK WITH COUNTY PUBLIC WORKS.
- 300 24" Ø CULVERT
- 301 18" Ø CULVERT
- 302 ROADSIDE DITCH (STANDARD)
- 303 ROADSIDE DITCH (WIDE)
- 304 CONCRETE MANHOLE
- 305 CONCRETE CATCH BASIN
- 306 12" Ø CULVERT

**ELECTRICAL NOTES:**

- ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION IN RIGHT-OF-WAY.
- COORDINATE WORK WITH TPUD.
- 401 LIGHT POLE
- TPUD LEGEND:
  - = E11 VAULT W/ CE11T LID
  - = E11 VAULT W/ CE11SE LID
  - = PED (INSTALLED BY TPUD)
  - = 2" CONDUIT
  - = 3" CONDUIT

**SEWER NOTES:**

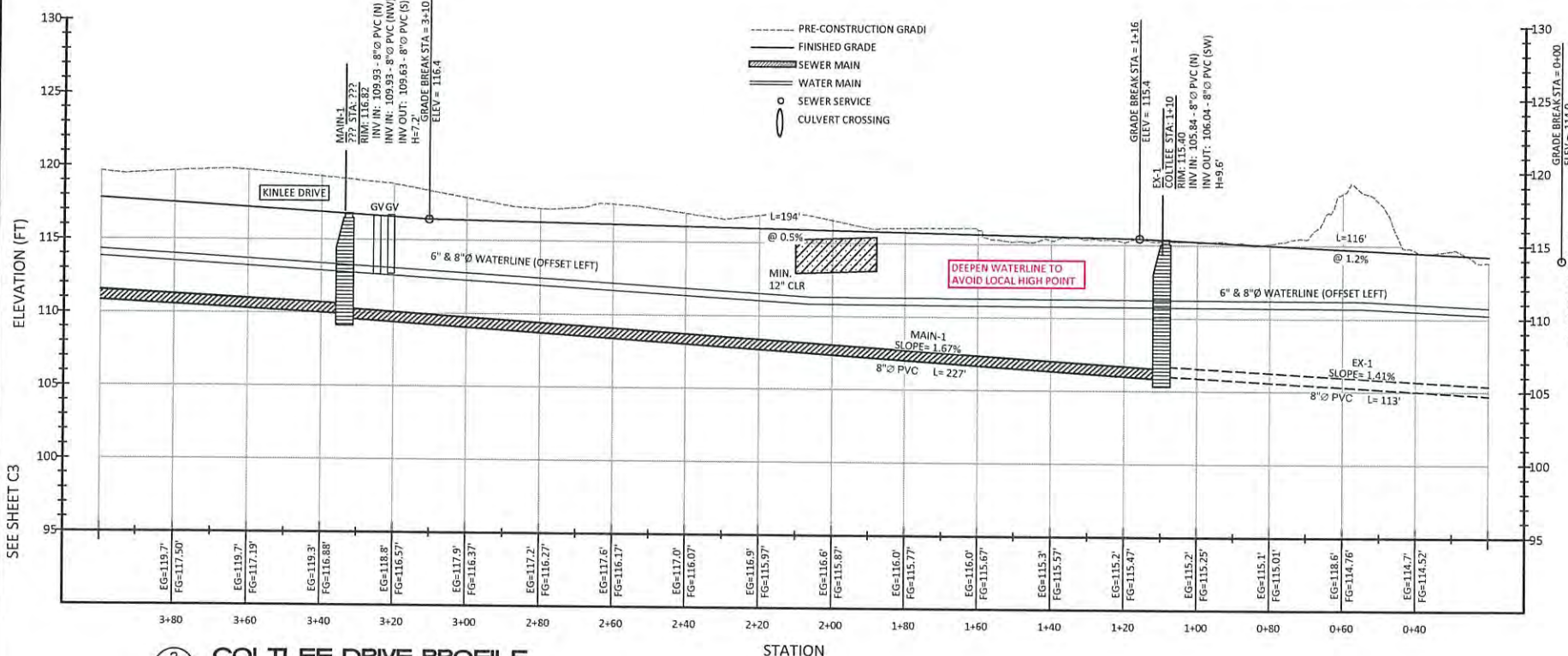
- ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION. SEE DETAILS SHEET 23.
- COORDINATE WORK WITH NBWA.
- 101 CONNECT TO EXISTING STUB
- 102 INSTALL NEW MANHOLE
- 103 INSTALL NEW 8" SEWER PIPE
- 104 INSTALL NEW SEWER SERVICE ASSEMBLY
- DEFLECTION TESTING, PRESSURE TESTING, AND VIDEO INSPECTION OF PIPE REQUIRED.
- VACUUM TEST OF MANHOLES REQUIRED.

**LEGEND:**

- PRE-DESIGN
- PROPERTY LINE
- SEWER LINE
- MANHOLE
- WATER LINE
- ROAD
- CULVERT
- OVERHEAD UTILITIES
- UTILITY POLE
- FIRE HYDRANT
- GATE VALVE
- NEW
- PROPERTY LINE
- EASEMENT
- SEWER MAIN
- SEWER MANHOLE/CO
- SEWER SERVICE
- WATER MAIN
- WATER FEEDER LINE
- WATER VALVE
- FIRE HYDRANT
- WATER SERVICE
- EDGE OF SHOULDER
- EDGE OF ASPHALT
- DITCH
- HDPE DRAINAGE CULVERT
- ROCK DAM
- PROFILE
- EXISTING GRADE
- FINISHED GRADE

**WATER NOTES:**

- ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION. SEE DETAILS SHEET D2.
- COORDINATE WORK WITH CITY OF NEHALEM. 30" COVER OVER PIPES. 18" MIN VERTICAL SEPARATION FROM SEWER LINE AT CROSSINGS.
- 201 LOCATE AND CONNECT TO EXISTING WATER
- 202 INSTALL 6" Ø TEE WITH GATE VALVES AND BEND, AS NEEDED. USE VC212 VALVE BOX SELF-CENTERING GUIDE ON ALL VALVES.
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- 204 INSTALL FIRE HYDRANT ASSEMBLY
- 205 INSTALL D.I. BENDS, AS NEEDED
- 206 INSTALL WATER SERVICE ASSEMBLY
- 207 INSTALL 6" Ø TEE WITH 6" GATE VALVE AND 6X8 REDUCER.
- 208 INSTALL 8" Ø PVC PIPE
- 209 INSTALL 8" Ø GATE VALVE
- 210 INSTALL ARV - CONNECT TO WATER PIPE AT HIGH POINT, AS SHOWN
- XX PIPE D.I. ANGLE BEND. NOMINAL ANGLE. MATCH PIPE SIZE.
- PRESSURE TESTING, AND BACTERIOLOGICAL TESTING REQUIRED.



**2 COLTLEE DRIVE PROFILE**  
SCALE: 1"=20' VERT: 1"=5'

NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

**RECORD DRAWINGS - FEB. 2, 2026**

**MORGAN CIVIL ENGINEERING, INC.**

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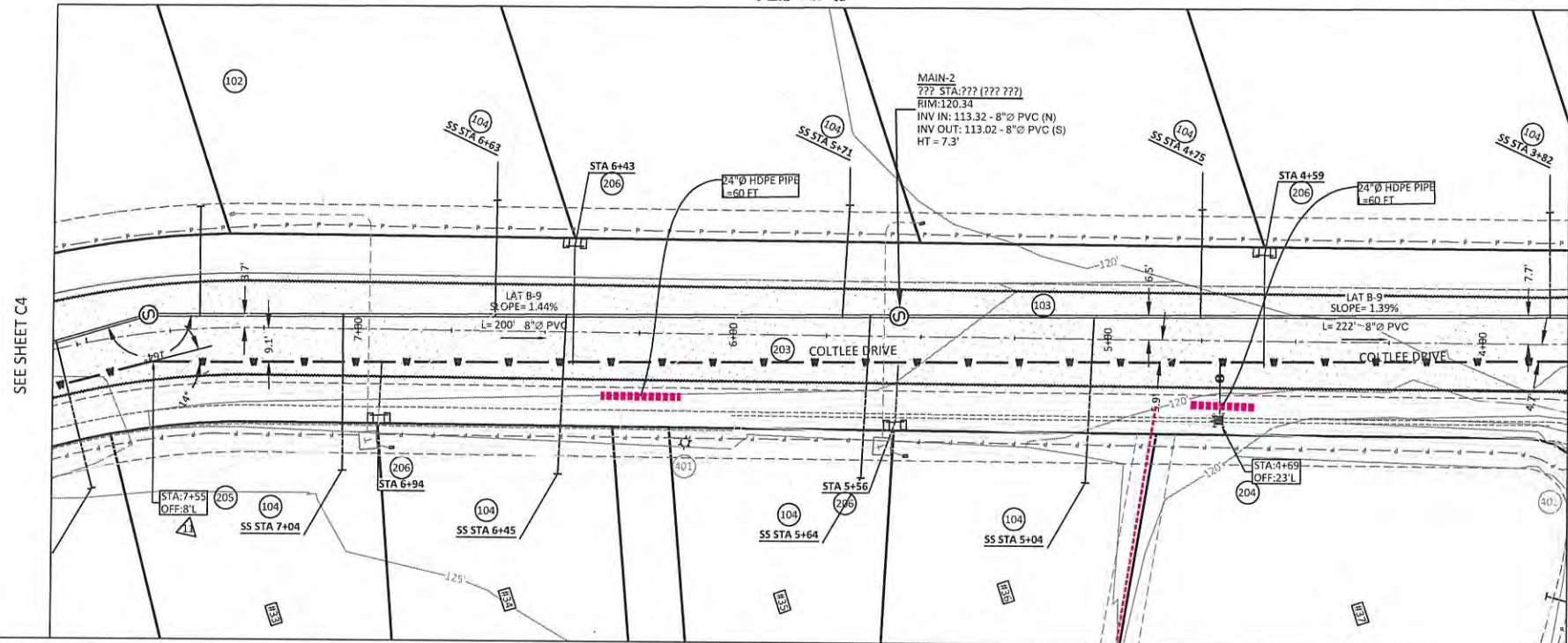
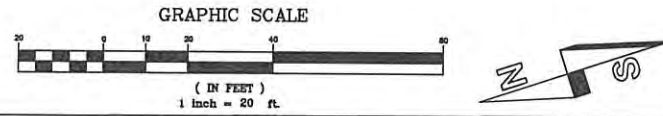
REGISTERED PROFESSIONAL ENGINEER  
63055  
JASON W. MORGAN  
JANUARY 15, 2004  
OREGON  
RENEWAL DATE: DECEMBER 31, 2026

**RIVERVIEW MEADOWS DEVELOPMENT, LLC**  
RIVERVIEW MEADOWS IMPROVEMENTS  
COLTLEE DRIVE

NEHALEM, OR 97131

Y:\19-104-Rev\Drawings\Review Meadows\Plans.dwg, coltlee-3, 2/2/2026 10:57:55 AM

**1 COLTLEE DRIVE**  
SCALE: 1"=20'

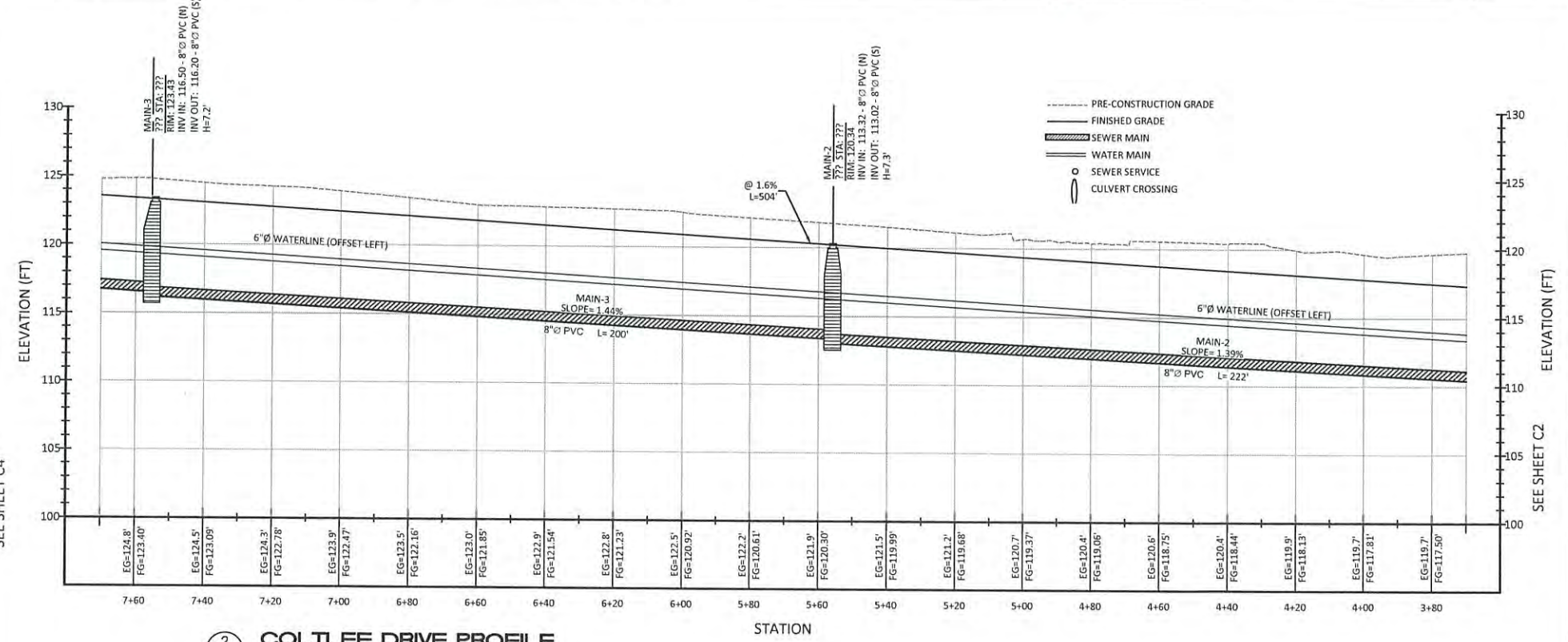


- STORM NOTES:**  
ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION.  
COORDINATE WORK WITH COUNTY PUBLIC WORKS.
- 300 24"Ø CULVERT
  - 301 18"Ø CULVERT
  - 302 ROADSIDE DITCH (STANDARD)
  - 303 ROADSIDE DITCH (WIDE)
  - 304 CONCRETE MANHOLE
  - 305 CONCRETE CATCH BASIN
  - 306 12"Ø CULVERT
- ELECTRICAL NOTES:**  
ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION IN RIGHT-OF-WAY.  
COORDINATE WORK WITH TPUD.
- 401 LIGHT POLE
- TPUD LEGEND:**  
 □ = E11 VAULT W/ CE11T LID  
 □ = E11 VAULT W/ CE11SE LID  
 □ = PED (INSTALLED BY TPUD)  
 — = 2" CONDUIT  
 — = 3" CONDUIT
- ROADWAY NOTES**  
PITCH ROADWAY TO WEST.

- LEGEND:**
- PRE-DESIGN
  - PROPERTY LINE
  - SEWER LINE
  - MANHOLE
  - WATER LINE
  - ROAD
  - CULVERT
  - OVERHEAD UTILITIES
  - UTILITY POLE
  - FIRE HYDRANT
  - GATE VALVE
- NEW**
- PROPERTY LINE
  - EASEMENT
  - SEWER MAIN
  - SEWER MANHOLE/CO
  - SEWER SERVICE
  - WATER MAIN
  - WATER FEEDER LINE
  - WATER VALVE
  - FIRE HYDRANT
  - WATER SERVICE
  - EDGE OF SHOULDER
  - EDGE OF ASPHALT
  - DITCH
  - HDPE DRAINAGE CULVERT
  - ROCK DAM
- PROFILE**
- EXISTING GRADE
  - FINISHED GRADE

- SEWER NOTES:**  
ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION. SEE DETAILS SHEET 23.  
COORDINATE WORK WITH NBWA.
- 101 CONNECT TO EXISTING STUB
  - 102 INSTALL NEW MANHOLE
  - 103 INSTALL NEW 8" SEWER PIPE
  - 104 INSTALL NEW SEWER SERVICE ASSEMBLY
- DEFLECTION TESTING, PRESSURE TESTING, AND VIDEO INSPECTION OF PIPE REQUIRED.  
VACUUM TEST OF MANHOLES REQUIRED.

- WATER NOTES:**  
ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION. SEE DETAILS SHEET D2.  
COORDINATE WORK WITH CITY OF NEHALEM.  
30" COVER OVER PIPES. 18" MIN VERTICAL SEPARATION FROM SEWER LINE AT CROSSINGS.
- 201 LOCATE AND CONNECT TO EXISTING WATER
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  - 204 INSTALL FIRE HYDRANT ASSEMBLY
  - 205 INSTALL D.J. BENDS, AS NEEDED
  - 206 INSTALL WATER SERVICE ASSEMBLY
  - 207 INSTALL 6"Ø TEE WITH 6" GATE VALVE AND 6X8 REDUCER.
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  - 209 INSTALL 8"Ø GATE VALVE
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- △ PIPE D.J. ANGLE BEND. NOMINAL ANGLE. MATCH PIPE SIZE
- PRESSURE TESTING, AND BACTERIOLOGICAL TESTING REQUIRED.



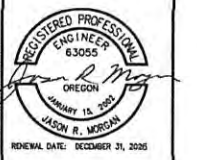
**2 COLTLEE DRIVE PROFILE**  
SCALE: 1"=20' VERT: 1"=5'

**RECORD DRAWINGS - FEB. 2, 2026**

RIVERVIEW MEADOWS DEVELOPMENT, LLC  
RIVERVIEW MEADOWS IMPROVEMENTS  
COLTLEE DRIVE  
NEHALEM, MAP 3N 10W 23B



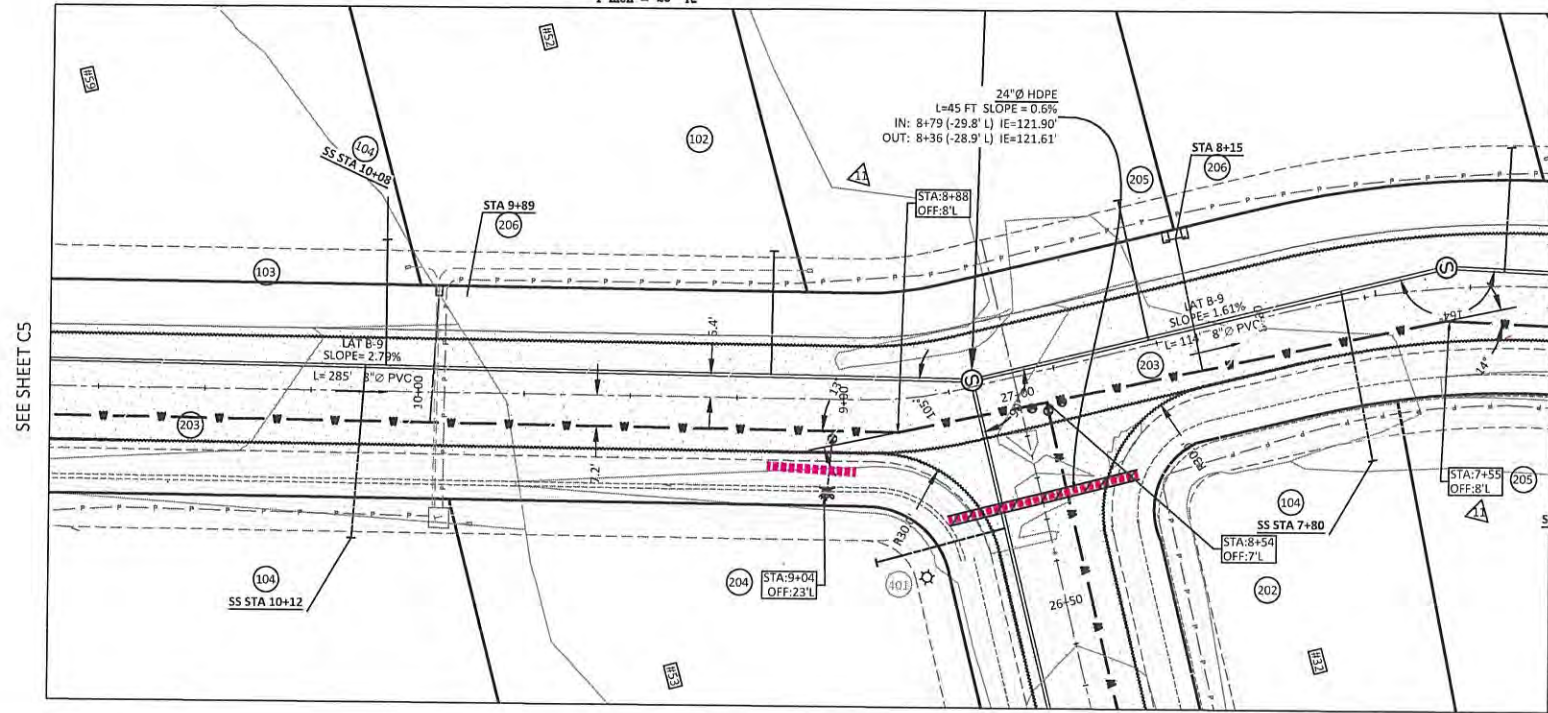
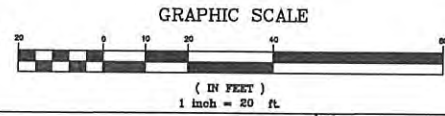
**MORGAN CIVIL ENGINEERING, INC.**  
CIVIL ENGINEERING  
LANDSCAPE ARCHITECTURE  
PLANNING  
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(503) 856-6000  
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JOB NO. #19-104-REV  
DATE NOV. 22, 2025



NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

SHEET  
**C3**  
OF 8

1  
C4  
**COLTLEE DRIVE**  
SCALE: 1"=20'



SEE SHEET C5

SEE SHEET C3

SEE SHEET R12

**STORM NOTES:**

- ALL CRUSHED ROCK BEDDING AND BACKFILL.  
95% COMPACTION.
- COORDINATE WORK WITH COUNTY PUBLIC WORKS.
- 300 24" Ø CULVERT
  - 301 18" Ø CULVERT
  - 302 ROADSIDE DITCH (STANDARD)
  - 303 ROADSIDE DITCH (WIDE)
  - 304 CONCRETE MANHOLE
  - 305 CONCRETE CATCH BASIN
  - 306 12" Ø CULVERT

**ELECTRICAL NOTES:**

- ALL CRUSHED ROCK BEDDING AND BACKFILL.  
95% COMPACTION IN RIGHT-OF-WAY.
- COORDINATE WORK WITH TPUD.
- 401 LIGHT POLE
- TPUD LEGEND:
- = E11 VAULT W/ CE11 LID
  - = E11 VAULT W/ CE11SE LID
  - = PED (INSTALLED BY TPUD)
  - = 2" CONDUIT
  - = 3" CONDUIT

**ROADWAY NOTES**

PITCH ROADWAY TO WEST.

**LEGEND:**

- PRE-DESIGN
- PROPERTY LINE
  - SEWER LINE
  - MANHOLE
  - WATER LINE
  - ROAD
  - CULVERT
  - OVERHEAD UTILITIES
  - UTILITY POLE
  - FIRE HYDRANT
  - GATE VALVE
- NEW
- PROPERTY LINE
  - EASEMENT
  - SEWER MAIN
  - SEWER MANHOLE/CO
  - SEWER SERVICE
  - WATER MAIN
  - WATER FEEDER LINE
  - WATER VALVE
  - FIRE HYDRANT
  - WATER SERVICE
  - EDGE OF SHOULDER
  - EDGE OF ASPHALT
  - DITCH
  - HDPE DRAINAGE CULVERT
  - ROCK DAM

**WATER NOTES:**

- ALL CRUSHED ROCK BEDDING AND BACKFILL.  
95% COMPACTION. SEE DETAILS SHEET D2.
- COORDINATE WORK WITH CITY OF NEHALEM.  
30" COVER OVER PIPES. 18" MIN VERTICAL SEPARATION FROM SEWER LINE AT CROSSINGS.
- 201 LOCATE AND CONNECT TO EXISTING WATER
  - 202 INSTALL 6" Ø TEE WITH GATE VALVES AND BEND, AS NEEDED.
  - USE VC212 VALVE BOX SELF-CENTERING GUIDE ON ALL VALVES.
  - 203 INSTALL 6" Ø PVC PIPE
  - 204 INSTALL FIRE HYDRANT ASSEMBLY
  - 205 INSTALL D.I. BENDS, AS NEEDED
  - 206 INSTALL WATER SERVICE ASSEMBLY
  - 207 INSTALL 6" Ø TEE WITH 6" GATE VALVE AND 6X8 REDUCER.
  - 208 INSTALL 8" Ø PVC PIPE
  - 209 INSTALL 8" Ø GATE VALVE
  - 210 INSTALL ARV - CONNECT TO WATER PIPE AT HIGH POINT, AS SHOWN
- △ XX PIPE D.I. ANGLE BEND. NOMINAL ANGLE. MATCH PIPE SIZE
- PRESSURE TESTING, AND BACTERIOLOGICAL TESTING REQUIRED.

**SEWER NOTES:**

- ALL CRUSHED ROCK BEDDING AND BACKFILL.  
95% COMPACTION. SEE DETAILS SHEET 23.
- COORDINATE WORK WITH NBWA.
- 101 CONNECT TO EXISTING STUB
  - 102 INSTALL NEW MANHOLE
  - 103 INSTALL NEW 8" SEWER PIPE
  - 104 INSTALL NEW SEWER SERVICE ASSEMBLY
- DEFLECTION TESTING, PRESSURE TESTING, AND VIDEO INSPECTION OF PIPE REQUIRED.
- VACUUM TEST OF MANHOLES REQUIRED.



**MORGAN CIVIL ENGINEERING, INC.**

CIVIL ENGINEERING  
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JOB NO. 419-10-RV  
DATE: FEB. 23, 2025

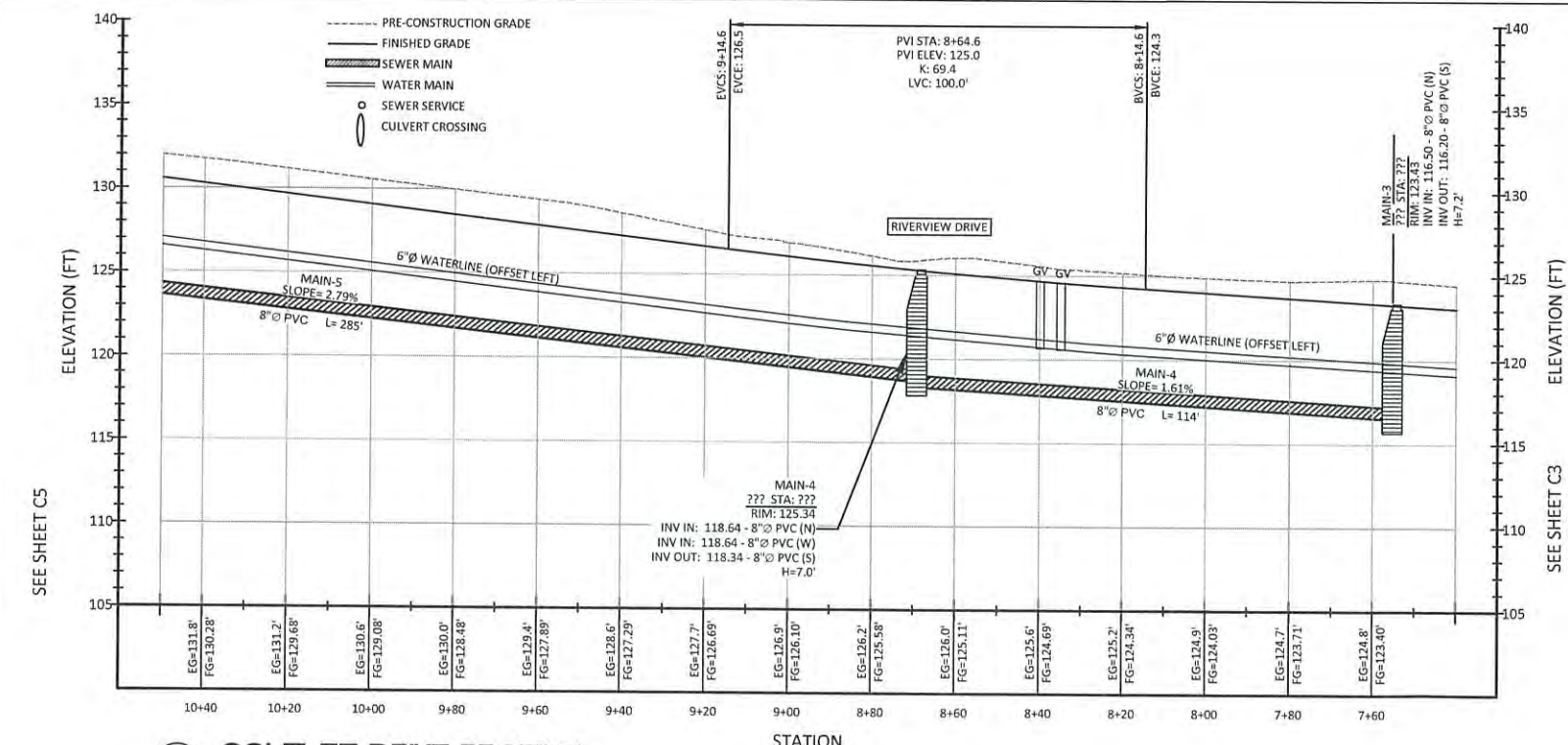


**RIVERVIEW MEADOWS DEVELOPMENT, LLC**  
RIVERVIEW MEADOWS IMPROVEMENTS  
COLTLEE DRIVE

NEHALEM, OR 97131

RECORD DRAWINGS - FEB. 2, 2026

SHEET  
**C4**



2  
C4  
**COLTLEE DRIVE PROFILE**  
SCALE: 1"=20' VERT: 1"=5'

SEE SHEET C5

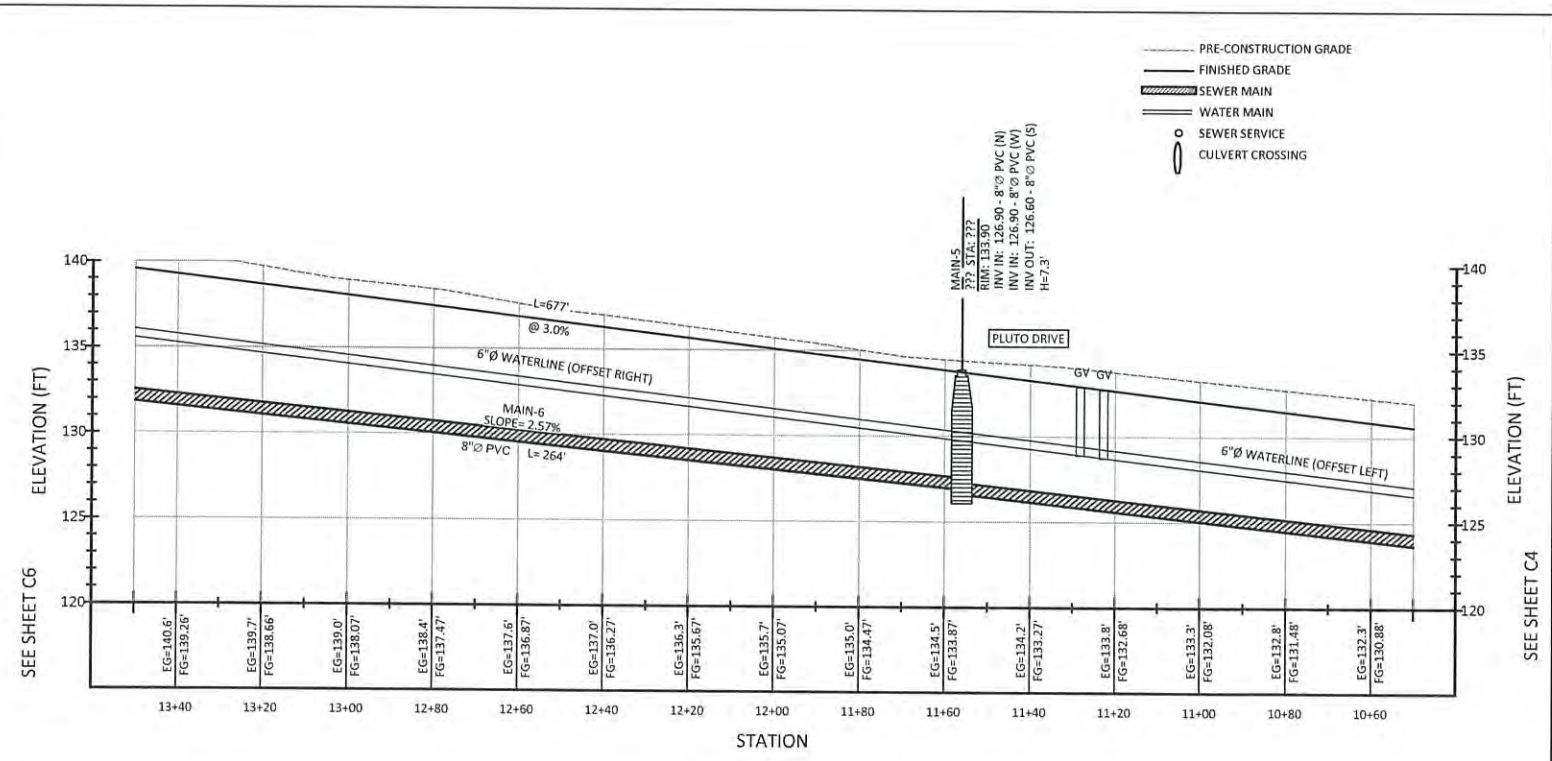
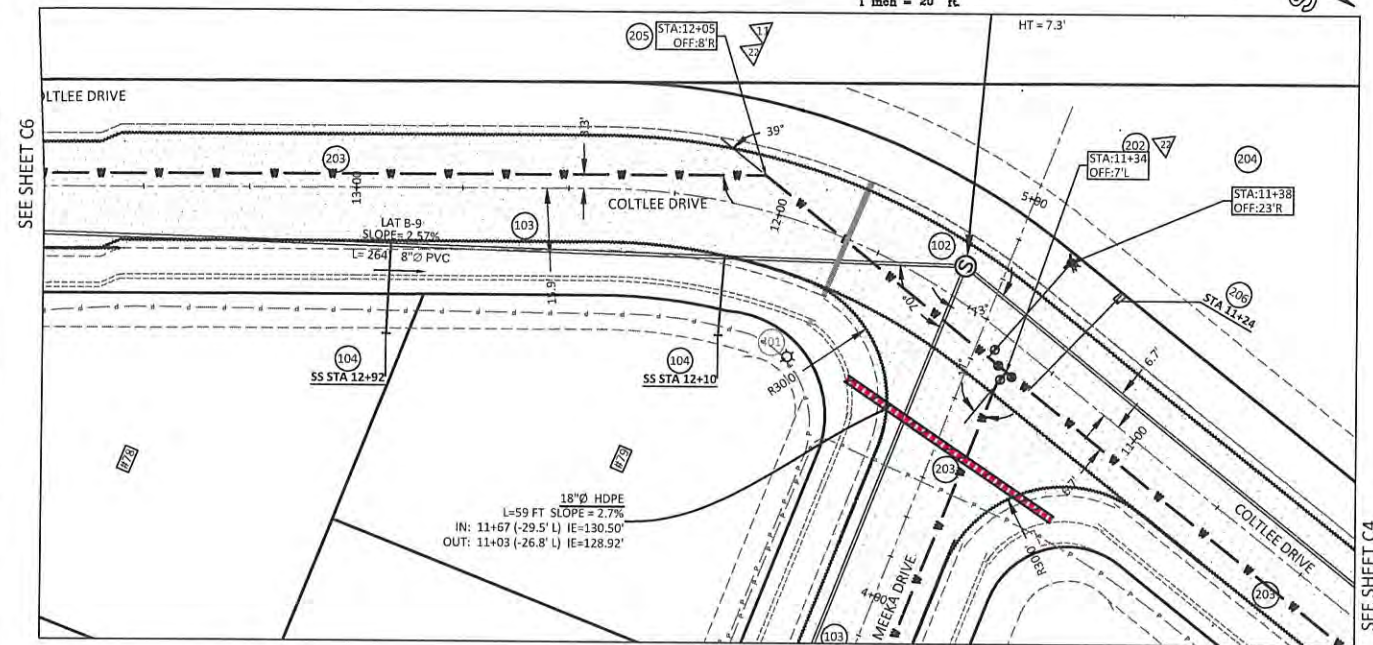
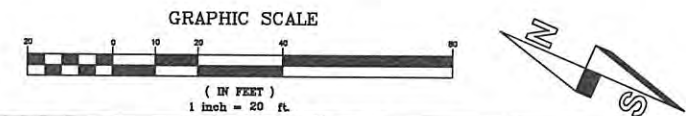
SEE SHEET C3

NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

OF 8

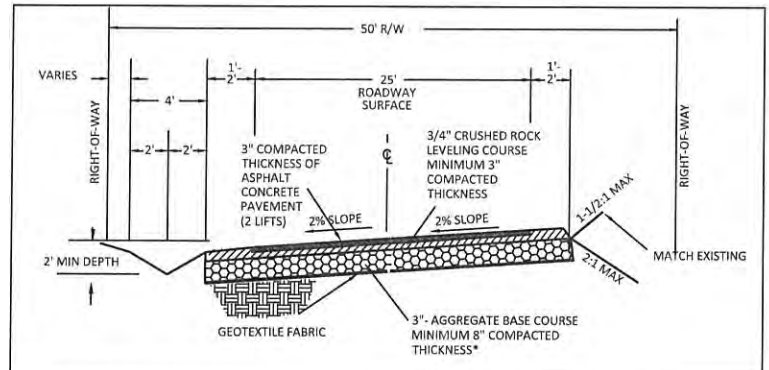
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**2**  
C5  
**COLTLEE DRIVE**  
SCALE: 1"=20'



**3**  
C5  
**COLTLEE DRIVE PROFILE**  
SCALE: 1"=20' VERT: 1"=5'

**1**  
C5  
**COLTLEE ROAD SECTION**  
NO SCALE



**WATER NOTES:**

ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION. SEE DETAILS SHEET D2.  
COORDINATE WORK WITH CITY OF NEHALEM. 30" COVER OVER PIPES. 18" MIN VERTICAL SEPARATION FROM SEWER LINE AT CROSSINGS.  
201 LOCATE AND CONNECT TO EXISTING WATER  
202 INSTALL 6" TEE WITH GATE VALVES AND BEND, AS NEEDED.  
USE VC212 VALVE BOX SELF-CENTERING GUIDE ON ALL VALVES.  
203 INSTALL 6" PVC PIPE  
204 INSTALL FIRE HYDRANT ASSEMBLY  
205 INSTALL D.I. BENDS, AS NEEDED  
206 INSTALL WATER SERVICE ASSEMBLY  
207 INSTALL 6" TEE WITH 6" GATE VALVE AND 6X8 REDUCER.  
208 INSTALL 8" PVC PIPE  
209 INSTALL 8" GATE VALVE  
210 INSTALL ARV - CONNECT TO WATER PIPE AT HIGH POINT, AS SHOWN  
XX PIPE D.I. ANGLE BEND. NOMINAL ANGLE. MATCH PIPE SIZE  
PRESSURE TESTING, AND BACTERIOLOGICAL TESTING REQUIRED.

**STORM NOTES:**

ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION.  
COORDINATE WORK WITH COUNTY PUBLIC WORKS.  
300 24" CULVERT  
301 18" CULVERT  
302 ROADSIDE DITCH (STANDARD)  
303 ROADSIDE DITCH (WIDE)  
304 CONCRETE MANHOLE  
305 CONCRETE CATCH BASIN  
306 12" CULVERT

**ROADWAY NOTES**

PITCH ROADWAY TO WEST.  
**ELECTRICAL NOTES:**  
ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION IN RIGHT-OF-WAY.  
COORDINATE WORK WITH TPUD.  
401 LIGHT POLE  
TPUD LEGEND:  
□ = E11 VAULT W/ CE11T LID  
□ = E11 VAULT W/ CE11SE LID  
○ = PED (INSTALLED BY TPUD)  
--- = 2" CONDUIT  
--- = 3" CONDUIT

**LEGEND:**

- PRE-DESIGN
- PROPERTY LINE
- SEWER LINE
- MANHOLE
- WATER LINE
- ROAD
- CULVERT
- OVERHEAD UTILITIES
- UTILITY POLE
- FIRE HYDRANT
- GATE VALVE
- NEW
- PROPERTY LINE
- EASEMENT
- SEWER MAIN
- SEWER MANHOLE/CO
- SEWER SERVICE
- WATER MAIN
- WATER FEEDER LINE
- WATER VALVE
- FIRE HYDRANT
- WATER SERVICE
- EDGE OF SHOULDER
- EDGE OF ASPHALT
- DITCH
- HDPE DRAINAGE CULVERT
- ROCK DAM
- PROFILE
- EXISTING GRADE
- FINISHED GRADE

**SEWER NOTES:**

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104 INSTALL NEW SEWER SERVICE ASSEMBLY  
DEFLECTION TESTING, PRESSURE TESTING, AND VIDEO INSPECTION OF PIPE REQUIRED.  
VACUUM TEST OF MANHOLES REQUIRED.

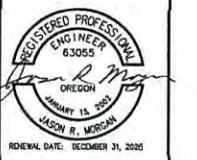
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**RECORD DRAWINGS - FEB. 2, 2026**



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JOB NO. 19-10-REV  
REV. 10-REV  
DATE: 2/2/2026

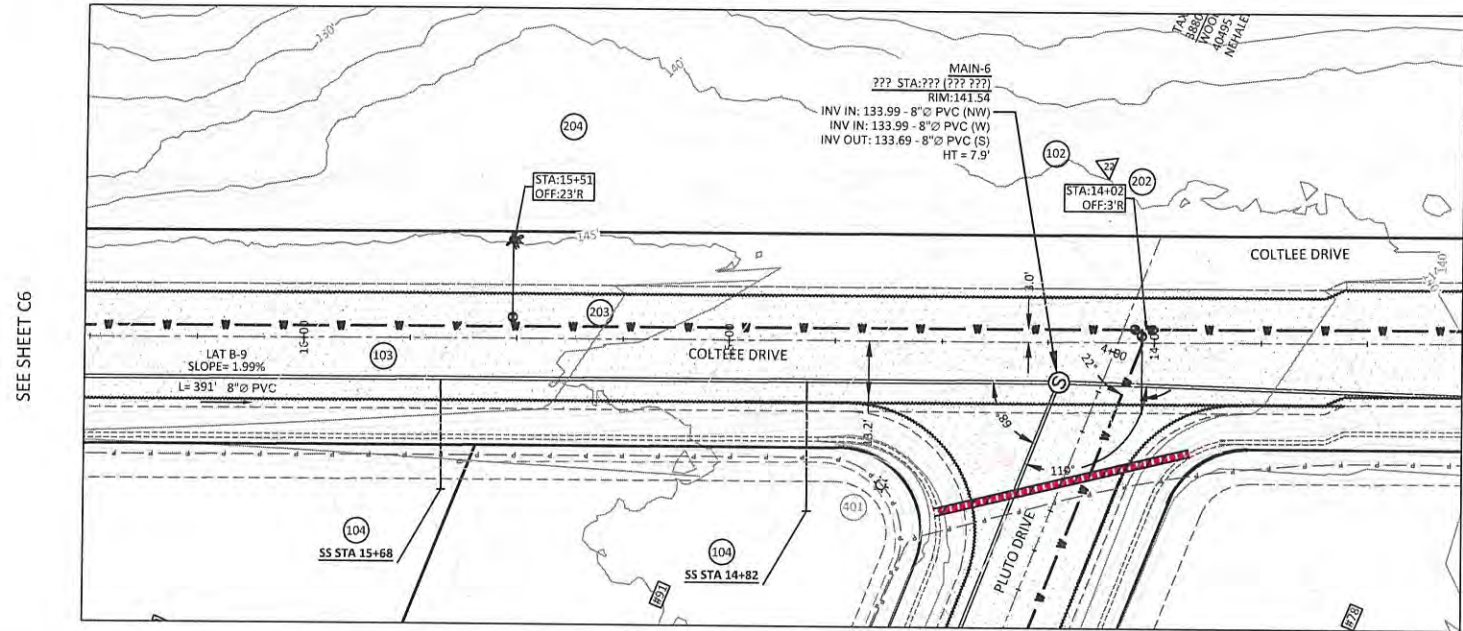
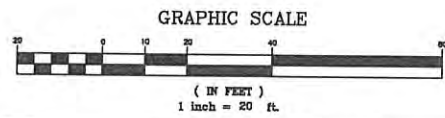


**RIVERVIEW MEADOWS DEVELOPMENT, LLC**  
RIVERVIEW MEADOWS IMPROVEMENTS  
COLTLEE DRIVE  
REHALEM, MAP 3N 10W 23B

SHEET  
**C5**

OF 8

**1 COLTLEE DRIVE**  
SCALE: 1"=20'



- STORM NOTES:**  
ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION.  
COORDINATE WORK WITH COUNTY PUBLIC WORKS.
- 300 24" Ø CULVERT
  - 301 18" Ø CULVERT
  - 302 ROADSIDE DITCH (STANDARD)
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- ROADWAY NOTES**  
PITCH ROADWAY TO WEST.

- LEGEND:**
- PRE-DESIGN**
- PROPERTY LINE
  - SEWER LINE
  - MANHOLE
  - WATER LINE
  - ROAD
  - CULVERT
  - OVERHEAD UTILITIES
  - UTILITY POLE
  - FIRE HYDRANT
  - GATE VALVE
- NEW**
- PROPERTY LINE
  - EASEMENT
  - SS SEWER MAIN
  - SEWER MANHOLE/CO
  - SEWER SERVICE
  - WATER MAIN
  - WATER FEEDER LINE
  - WATER VALVE
  - FIRE HYDRANT
  - WATER SERVICE
  - EDGE OF SHOULDER
  - EDGE OF ASPHALT
  - DITCH
  - HDPE DRAINAGE CULVERT
  - ROCK DAM
- PROFILE**
- EXISTING GRADE
  - FINISHED GRADE

- SEWER NOTES:**  
ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION. SEE DETAILS SHEET 23.  
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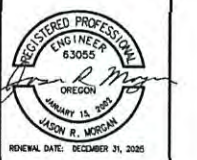
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**MORGAN CIVIL ENGINEERING, INC.**  
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 (503) 801-6015  
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JOB NO. 19-10-BV  
 DATE: 11-22-2025

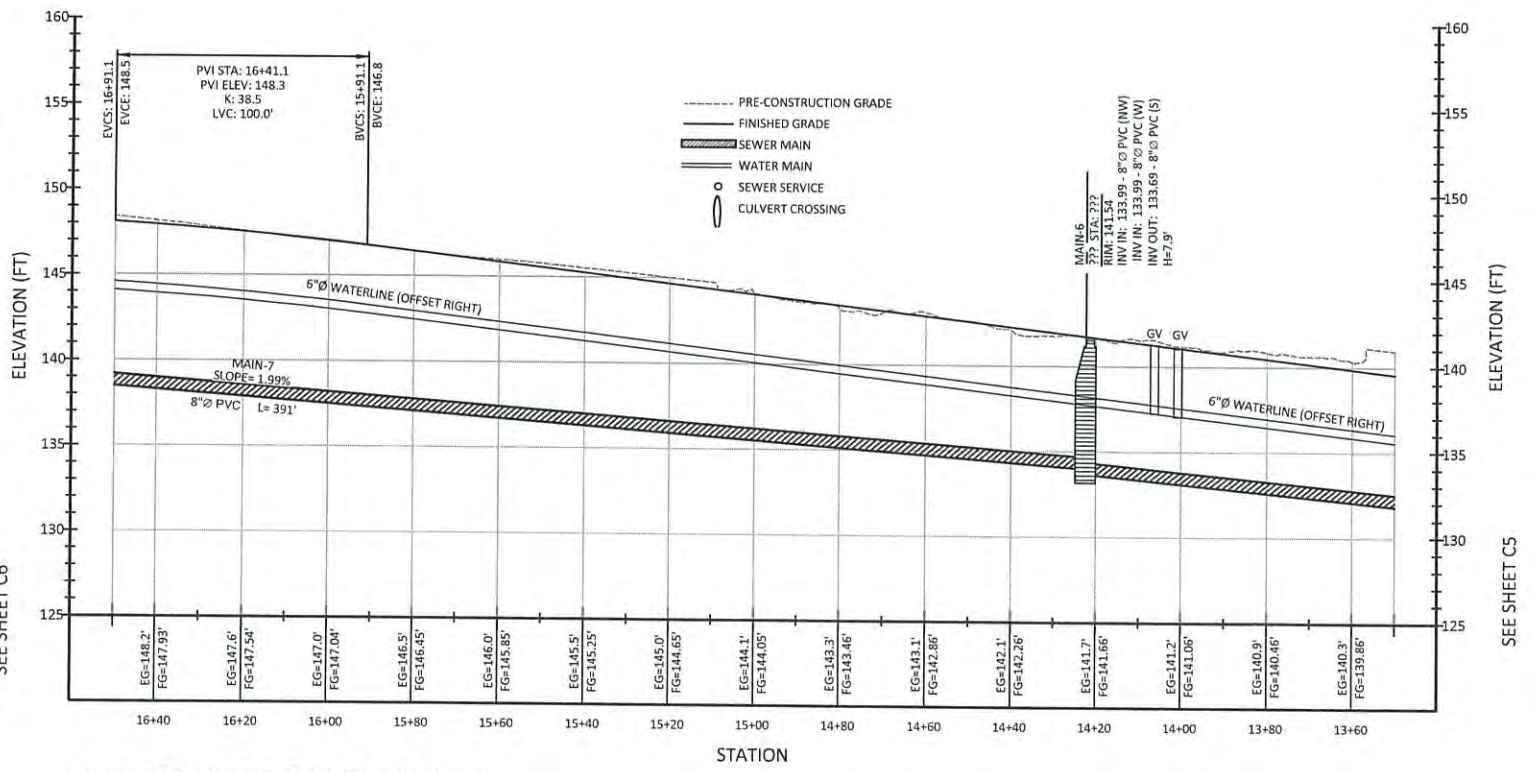


**RIVERVIEW MEADOWS DEVELOPMENT, LLC**  
 RIVERVIEW MEADOWS IMPROVEMENTS  
 COLTLEE DRIVE  
 NEHALEM, OREGON 97130

RECORD DRAWINGS - FEB. 2, 2026

SHEET  
**C6**

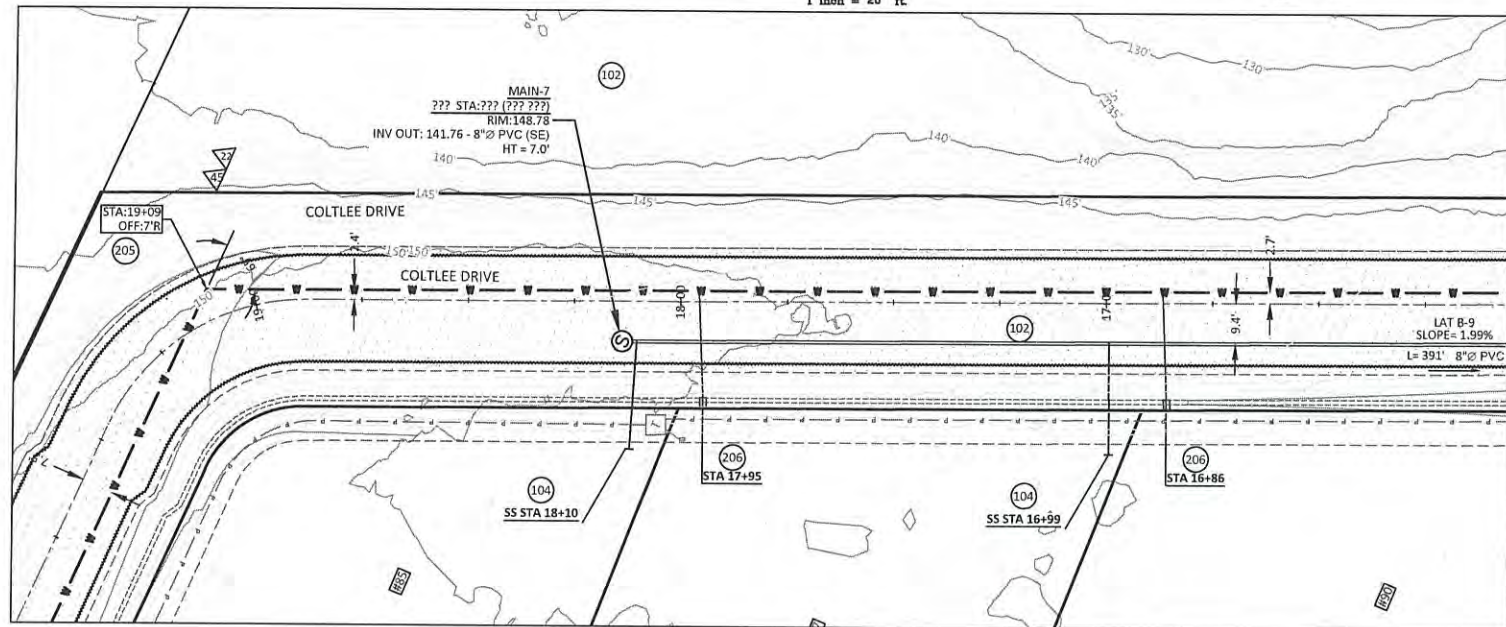
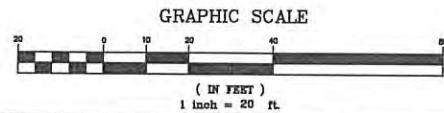
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**2 COLTLEE DRIVE PROFILE**  
SCALE: 1"=20' VERT: 1"=5'

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**1**  
**C7** COLTLEE DRIVE  
SCALE: 1"=20'



SEE SHEET C8

SEE SHEET C6

**STORM NOTES:**

- ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION.
- COORDINATE WORK WITH COUNTY PUBLIC WORKS.
- 300 24" Ø CULVERT
- 301 18" Ø CULVERT
- 302 ROADSIDE DITCH (STANDARD)
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- 306 12" Ø CULVERT

**ELECTRICAL NOTES:**

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- 401 LIGHT POLE
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- = E11 VAULT W/ CE11SE LID
- = PED (INSTALLED BY TPUD)
- = 2" CONDUIT
- = 3" CONDUIT

**ROADWAY NOTES**

- PITCH ROADWAY TO WEST.

**LEGEND:**

- PRE-DESIGN
- PROPERTY LINE
- SEWER LINE
- MANHOLE
- WATER LINE
- ROAD
- CULVERT
- OVERHEAD UTILITIES
- UTILITY POLE
- FIRE HYDRANT
- GATE VALVE
- NEW
- PROPERTY LINE
- EASEMENT
- SEWER MAIN
- SEWER MANHOLE/CO
- SEWER SERVICE
- WATER MAIN
- WATER FEEDER LINE
- WATER VALVE
- FIRE HYDRANT
- WATER SERVICE
- EDGE OF SHOULDER
- EDGE OF ASPHALT
- DITCH
- HDPE DRAINAGE CULVERT
- ROCK DAM
- PROFILE
- EXISTING GRADE
- FINISHED GRADE

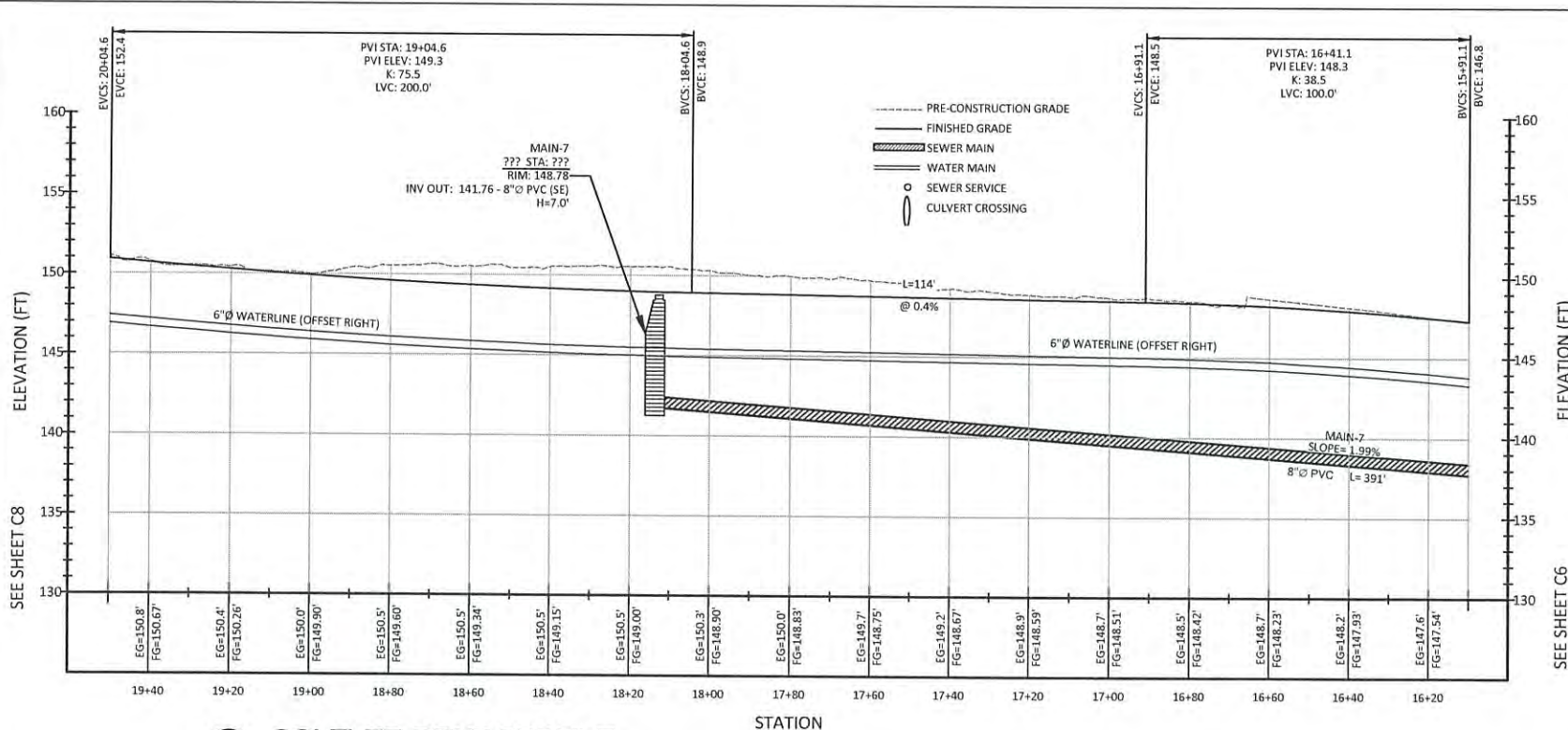
**SEWER NOTES:**

- ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION. SEE DETAILS SHEET 23.
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- PRESSURE TESTING, AND BACTERIOLOGICAL TESTING REQUIRED.

**2**  
**C7** COLTLEE DRIVE PROFILE  
SCALE: 1"=20' VERT: 1"=5'



SEE SHEET C8

SEE SHEET C6

**RECORD DRAWINGS - FEB. 2, 2026**

RIVERVIEW MEADOWS DEVELOPMENT, LLC  
RIVERVIEW MEADOWS IMPROVEMENTS  
COLTLEE DRIVE  
NEHALEM, MAP 3N 10W 23B

SHEET  
**C7**

OF -8-

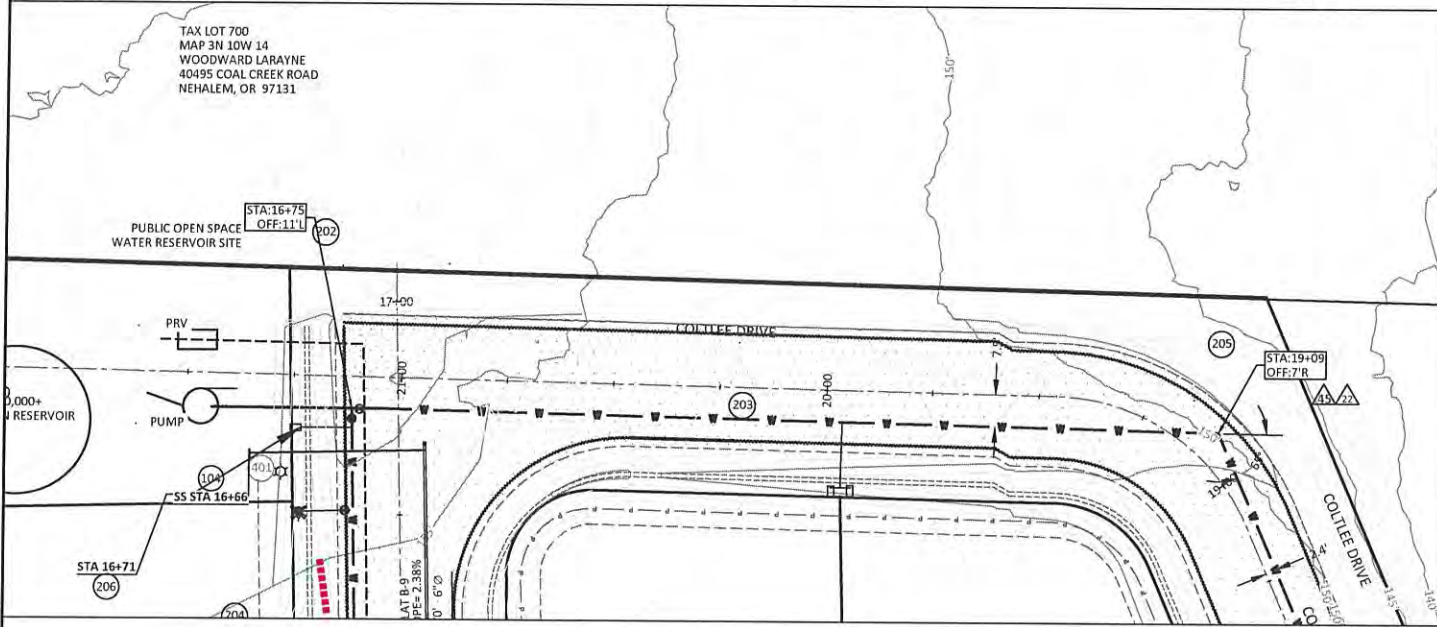
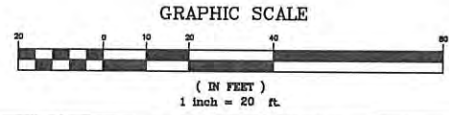
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**MORGAN CIVIL ENGINEERING, INC.**  
PO BOX 338  
MANZANITA, OR 97130  
(503) 851-6026  
www.morgancivil.com  
JOB NO. 1915-10-RV  
DATE: NOV. 22, 2025



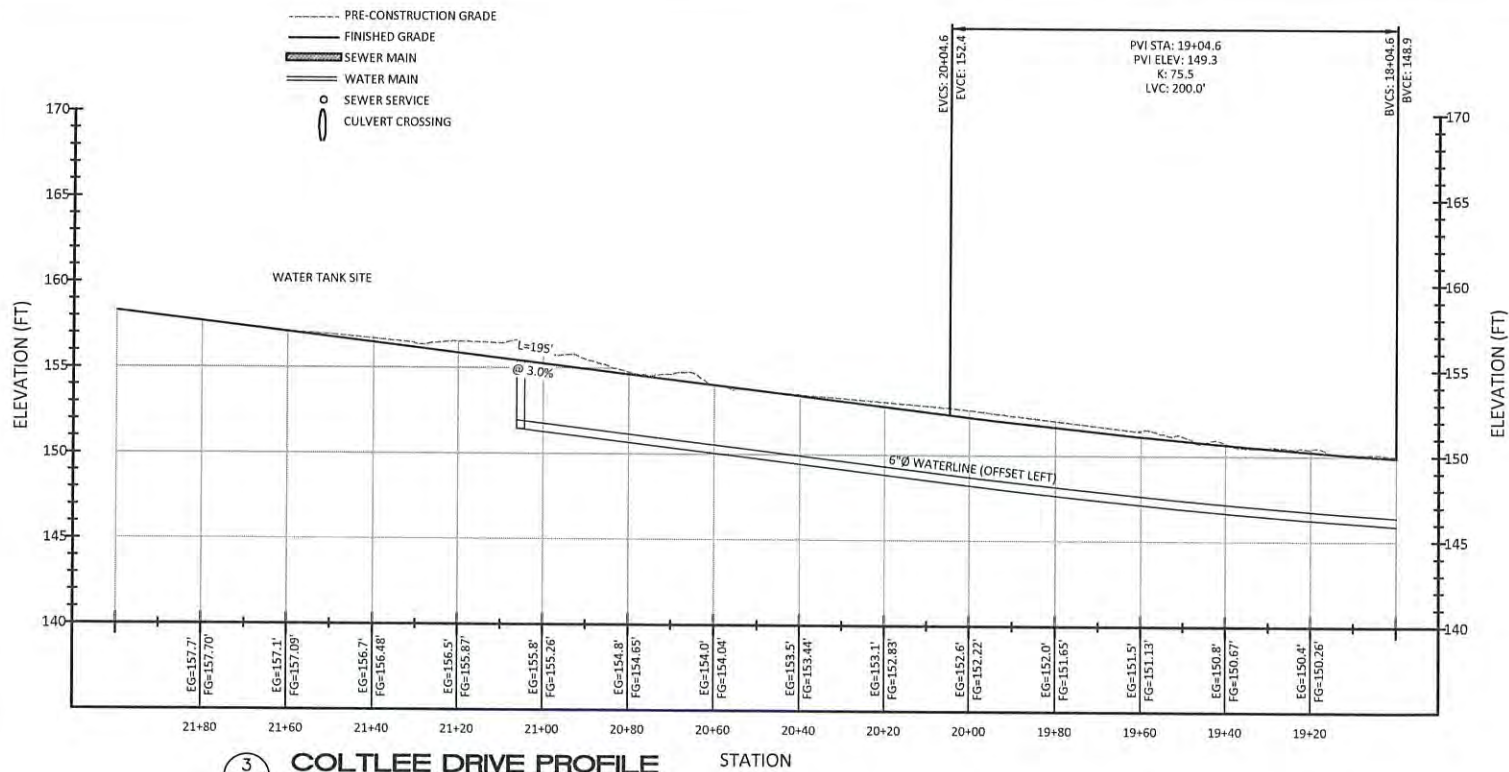
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**1 COLTLEE DRIVE**  
SCALE: 1"=20'



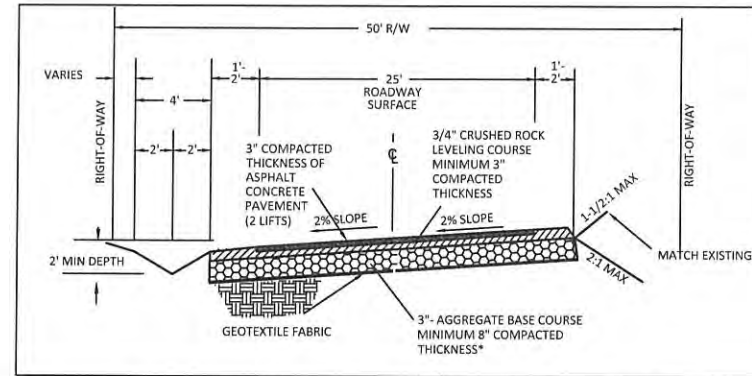
SEE SHEET K4

SEE SHEET C7



**3 COLTLEE DRIVE PROFILE**  
SCALE: 1"=20' VERT: 1"=5'

SEE SHEET C7



**2 COLTLEE ROAD SECTION**  
NO SCALE

**ROADWAY NOTES**

PITCH ROADWAY TO WEST.

**ELECTRICAL NOTES:**

ALL CRUSHED ROCK BEDDING AND BACKFILL, 95% COMPACTION IN RIGHT-OF-WAY.

COORDINATE WORK WITH TPUD.

401 LIGHT POLE

TPUD LEGEND:

- = E11 VAULT W/ CE11T LID
- = E11 VAULT W/ CE11SE LID
- = PED (INSTALLED BY TPUD)
- = 2" CONDUIT
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**WATER NOTES:**

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△△△ PIPE D.I. ANGLE BEND. NOMINAL ANGLE. MATCH PIPE SIZE

PRESSURE TESTING, AND BACTERIOLOGICAL TESTING REQUIRED.

**LEGEND:**

- PRE-DESIGN
- PROPERTY LINE
- SEWER LINE
- MANHOLE
- WATER LINE
- ROAD
- CULVERT
- OVERHEAD UTILITIES
- UTILITY POLE
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NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

**RECORD DRAWINGS - FEB. 2, 2026**



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DATE NOV. 22, 2025

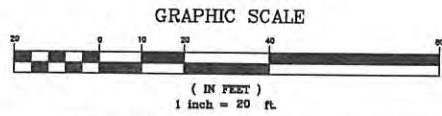


RIVERVIEW MEADOWS DEVELOPMENT, LLC  
RIVERVIEW MEADOWS IMPROVEMENTS  
COLTLEE DRIVE  
NEHALEM, MAP 3N 10W 23B

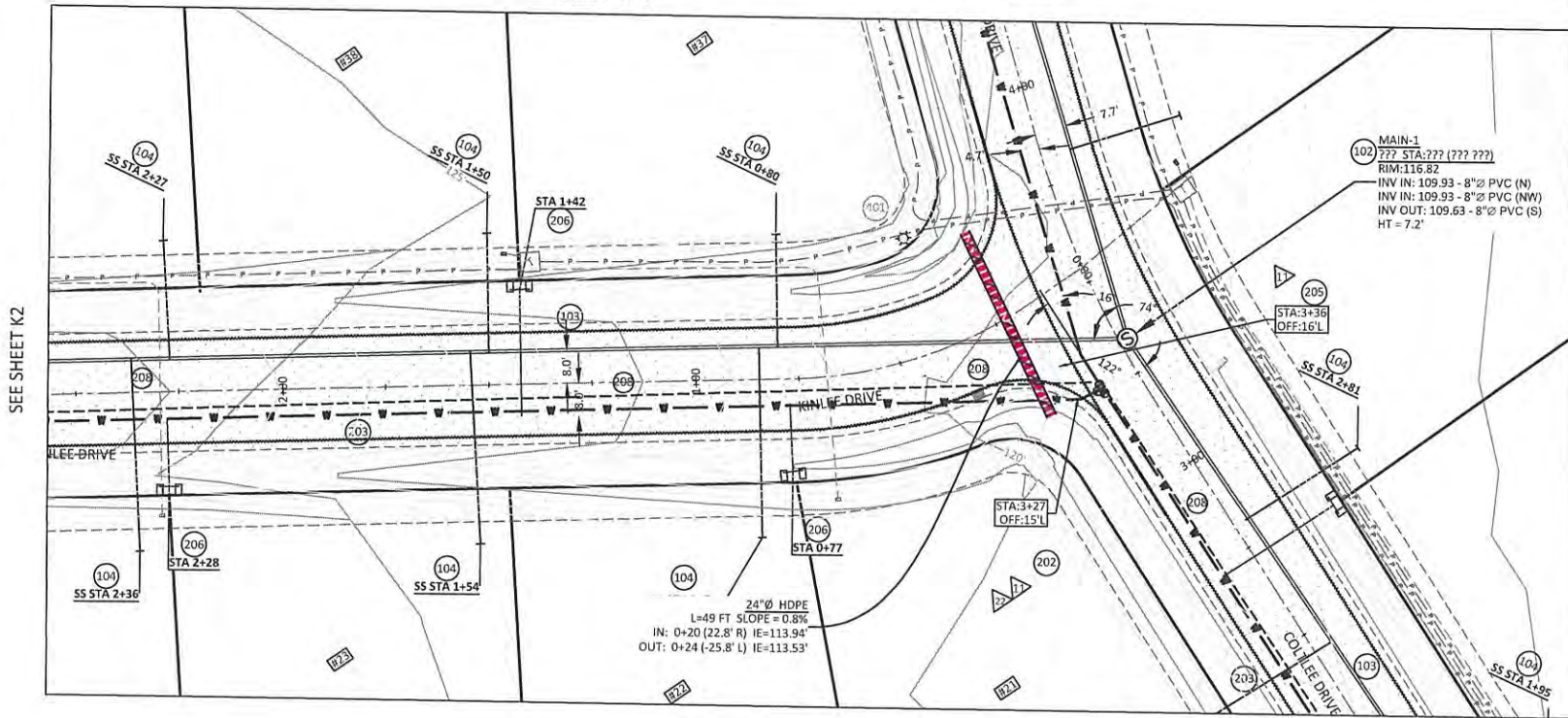
SHEET  
**C8**

OF 8

1  
K1  
KINLEE DRIVE  
SCALE: 1"=20'



SEE SHEET C3



SEE SHEET C2

**STORM NOTES:**

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- 301 18" Ø CULVERT
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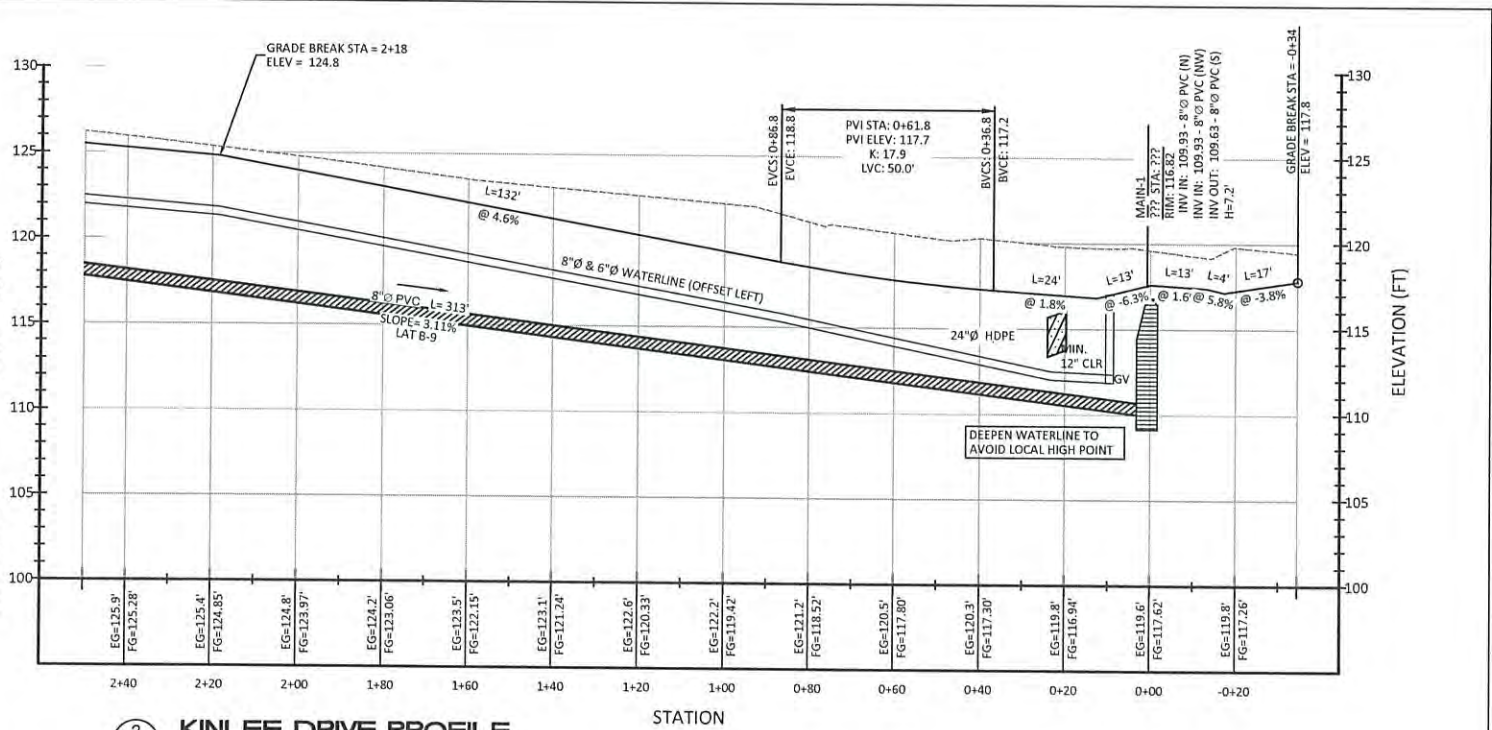
PRESSURE TESTING, AND BACTERIOLOGICAL TESTING REQUIRED.

**LEGEND:**

- PRE-DESIGN
- PROPERTY LINE
- SEWER LINE
- MANHOLE
- WATER LINE
- ROAD
- CULVERT
- OVERHEAD UTILITIES
- UTILITY POLE
- FIRE HYDRANT
- GATE VALVE
- NEW
- PROPERTY LINE
- EASEMENT
- SEWER MAIN
- SEWER MANHOLE/CO
- SEWER SERVICE
- WATER MAIN
- WATER FEEDER LINE
- WATER VALVE
- FIRE HYDRANT
- WATER SERVICE
- EDGE OF SHOULDER
- EDGE OF ASPHALT
- DITCH
- HDPE DRAINAGE CULVERT
- ROCK DAM
- PROFILE
- EXISTING GRADE
- FINISHED GRADE

**SEWER NOTES:**

- ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION. SEE DETAILS SHEET 23.
  - COORDINATE WORK WITH NBWA.
  - 101 CONNECT TO EXISTING STUB
  - 102 INSTALL NEW MANHOLE
  - 103 INSTALL NEW 8" SEWER PIPE
  - 104 INSTALL NEW SEWER SERVICE ASSEMBLY
- DEFLECTION TESTING, PRESSURE TESTING, AND VIDEO INSPECTION OF PIPE REQUIRED.
- VACUUM TEST OF MANHOLES REQUIRED.



- PRE-CONSTRUCTION GRAD
- FINISHED GRADE
- SEWER MAIN
- WATER MAIN
- SEWER SERVICE
- CULVERT CROSSING

2  
K1  
KINLEE DRIVE PROFILE  
SCALE: 1"=20' VERT: 1"=5'

RECORD DRAWINGS - FEB. 2, 2026

RIVERVIEW MEADOWS DEVELOPMENT, LLC  
RIVERVIEW MEADOWS IMPROVEMENTS  
KINLEE DRIVE  
NEHALEM, OR 97131



MORGAN CIVIL  
ENGINEERING, INC.  
PO BOX 358  
MANZANITA, OR 97130  
(503) 801-6016  
www.morgancivil.com

JOB NO. P19-10-RV  
DATE NOV. 22, 2025



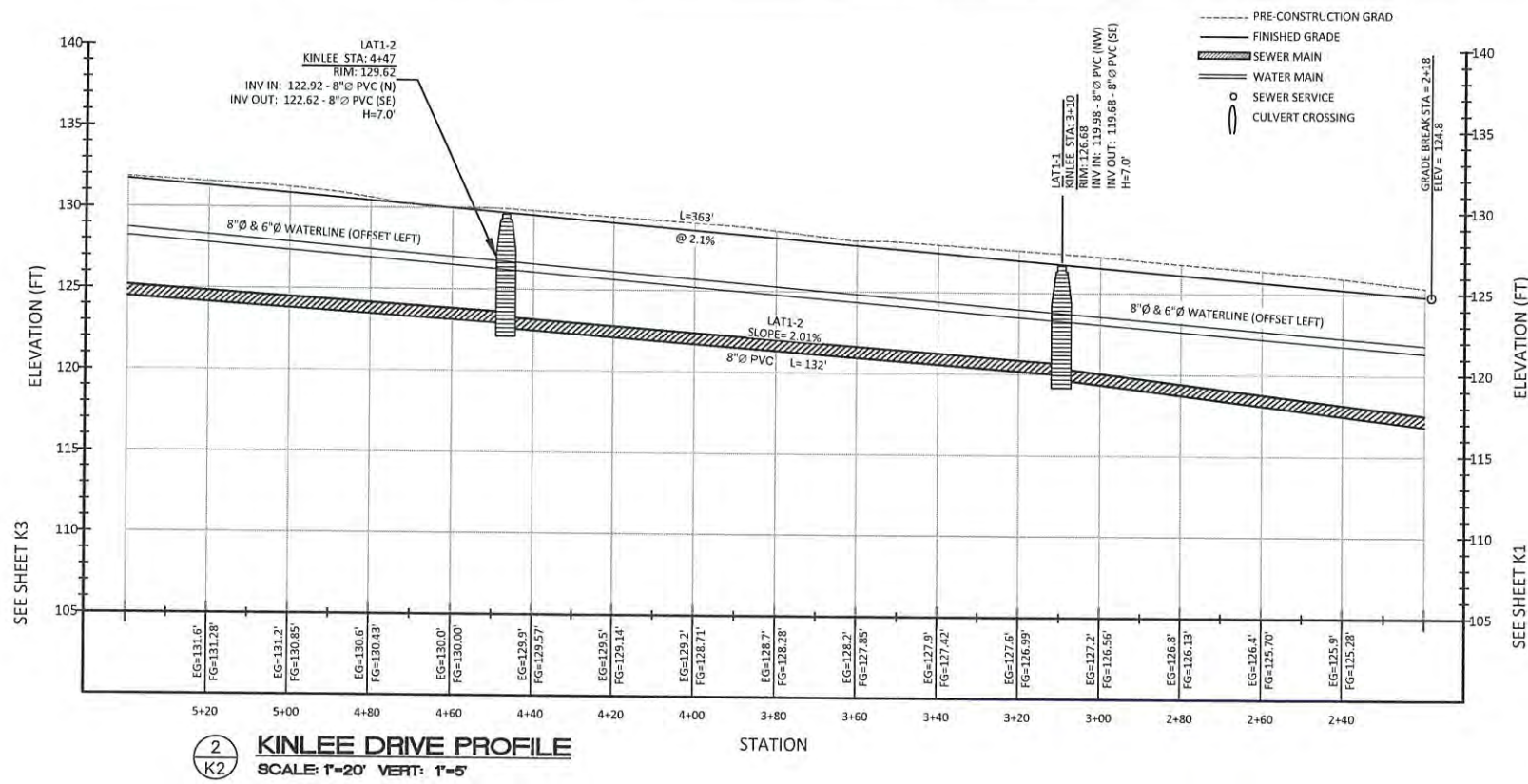
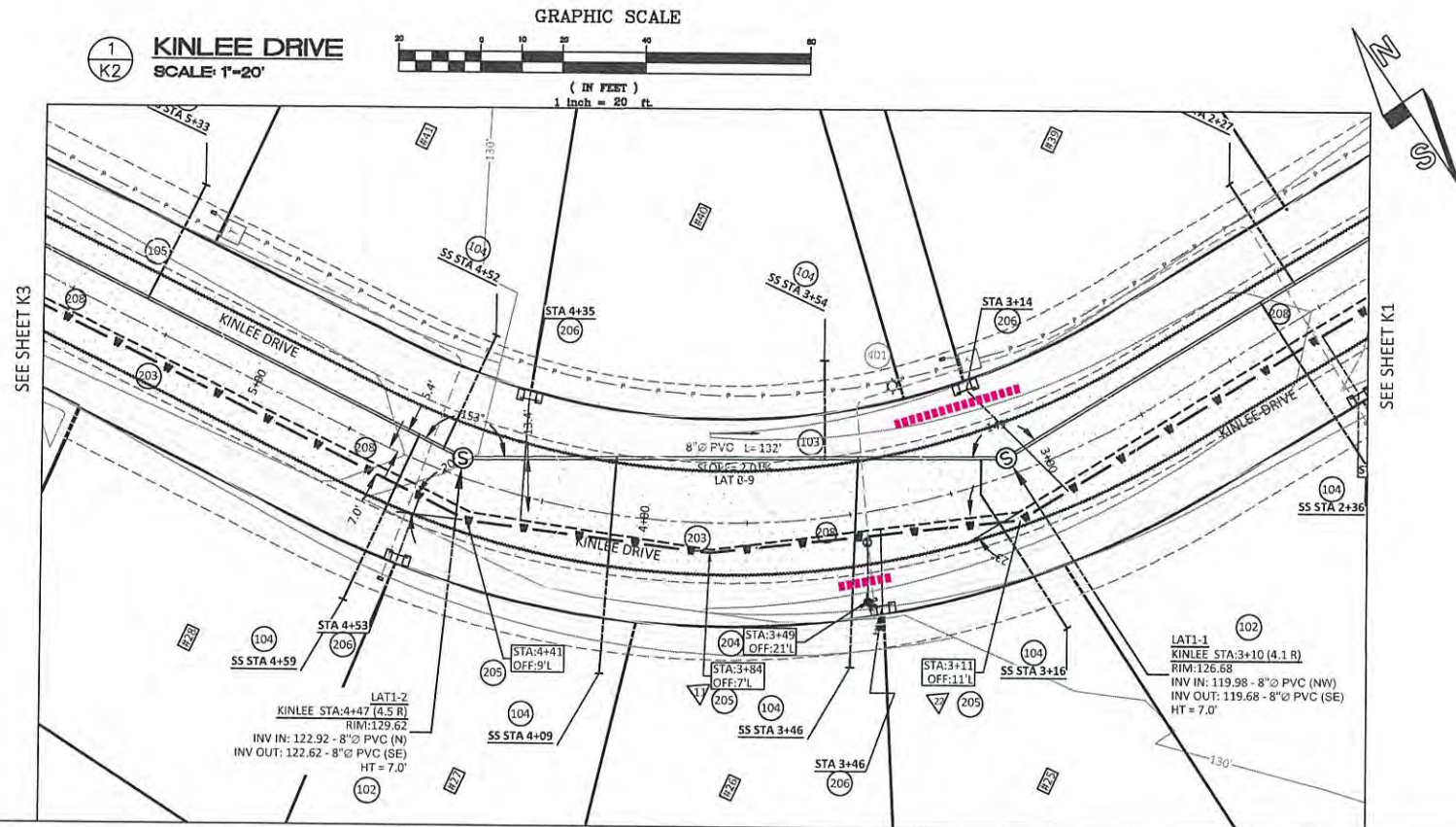
RENEWAL DATE: DECEMBER 31, 2026

NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

SHEET  
**K1**

OF 6

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**STORM NOTES:**  
ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION.  
COORDINATE WORK WITH COUNTY PUBLIC WORKS.

300 24" CULVERT  
301 18" CULVERT  
302 ROADSIDE DITCH (STANDARD)  
303 ROADSIDE DITCH (WIDE)  
304 CONCRETE MANHOLE  
305 CONCRETE CATCH BASIN

**ELECTRICAL NOTES:**  
ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION IN RIGHT-OF-WAY.  
COORDINATE WORK WITH TPUD.

401 LIGHT POLE

TPUD LEGEND:  
= E11 VAULT W/ CE11T LID  
= E11 VAULT W/ CE11SE LID  
= PED (INSTALLED BY TPUD)  
= 2" CONDUIT  
= 3" CONDUIT

**WATER NOTES:**  
ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION. SEE DETAILS SHEET D2.  
COORDINATE WORK WITH CITY OF NEHALEM. 30" COVER OVER PIPES. 18" MIN VERTICAL SEPARATION FROM SEWER LINE AT CROSSINGS.

201 LOCATE AND CONNECT TO EXISTING WATER  
202 INSTALL 6" TEE WITH GATE VALVES AND BEND, AS NEEDED.  
USE VC212 VALVE BOX SELF-CENTERING GUIDE ON ALL VALVES.  
203 INSTALL 6" PVC PIPE  
204 INSTALL FIRE HYDRANT ASSEMBLY  
205 INSTALL D.I. BENDS, AS NEEDED  
206 INSTALL WATER SERVICE ASSEMBLY  
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209 INSTALL 8" GATE VALVE  
210 INSTALL ARV - CONNECT TO WATER PIPE AT HIGH POINT, AS SHOWN

XX PIPE D.I. ANGLE BEND. NOMINAL ANGLE. MATCH PIPE SIZE.

PRESSURE TESTING, AND BACTERIOLOGICAL TESTING REQUIRED.

**LEGEND:**

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PROPERTY LINE  
SEWER LINE  
MANHOLE  
WATER LINE  
ROAD  
CULVERT  
OVERHEAD UTILITIES  
UTILITY POLE  
FIRE HYDRANT  
GATE VALVE

NEW  
PROPERTY LINE  
EASEMENT  
SEWER MAIN  
SEWER MANHOLE/CO  
SEWER SERVICE  
WATER MAIN  
WATER FEEDER LINE  
WATER VALVE  
FIRE HYDRANT  
WATER SERVICE  
EDGE OF SHOULDER  
EDGE OF ASPHALT  
DITCH  
HDPE DRAINAGE CULVERT  
ROCK DAM

PROFILE  
EXISTING GRADE  
FINISHED GRADE

**SEWER NOTES:**  
ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION. SEE DETAILS SHEET 23.  
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VACUUM TEST OF MANHOLES REQUIRED.

RECORD DRAWINGS - FEB. 2, 2026

**MORGAN CIVIL ENGINEERING, INC.**  
CIVIL ENGINEERING  
INSPECTION  
PLANNING  
PO BOX 358  
MANASCO, NJ 08048  
www.morgancivil.com

REGISTERED PROFESSIONAL ENGINEER  
63055  
JANUARY 15, 2025  
MASON R. MORGAN  
RENEWAL DATE: DECEMBER 31, 2025

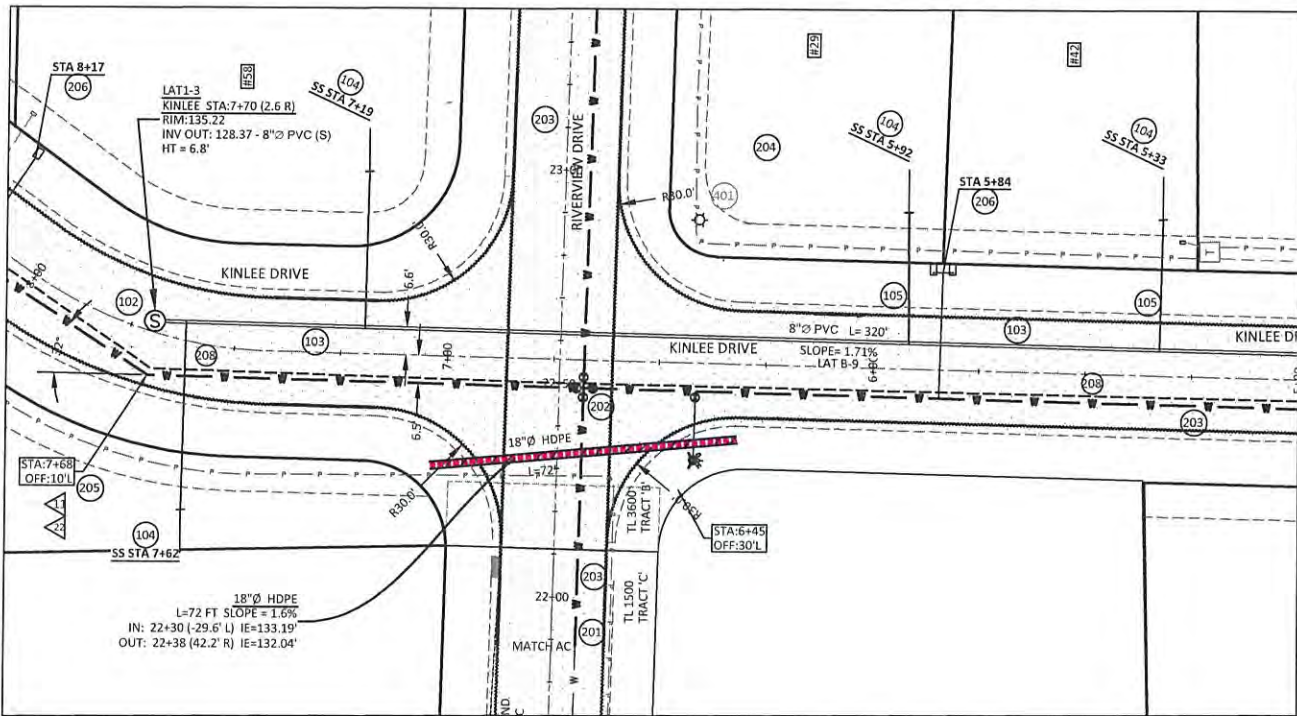
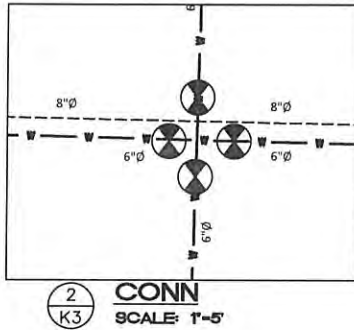
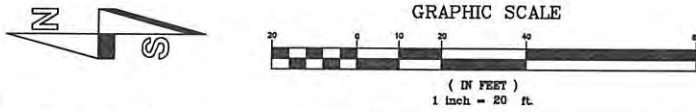
RIVERVIEW MEADOWS DEVELOPMENT, LLC  
RIVERVIEW MEADOWS IMPROVEMENTS  
KINLEE DRIVE  
NEHALEM, OREGON 97131

SHEET  
**K2**  
OF 6

NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

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**1**  
**K3**  
**KINLEE DRIVE**  
SCALE: 1"=20'



SEE SHEET K2

**STORM NOTES:**

- ALL CRUSHED ROCK BEDDING AND BACKFILL.  
95% COMPACTION.
- COORDINATE WORK WITH COUNTY PUBLIC WORKS.
- 300 24" Ø CULVERT
  - 301 18" Ø CULVERT
  - 302 ROADSIDE DITCH (STANDARD)
  - 303 ROADSIDE DITCH (WIDE)
  - 304 CONCRETE MANHOLE
  - 305 CONCRETE CATCH BASIN
  - 306 12" Ø CULVERT

**ELECTRICAL NOTES:**

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**WATER NOTES:**

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  - 203 INSTALL 6" Ø PVC PIPE
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- PRESSURE TESTING, AND BACTERIOLOGICAL TESTING REQUIRED.

**LEGEND:**

- PRE-DESIGN
  - PROPERTY LINE
  - SEWER LINE
  - MANHOLE
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  - CULVERT
  - OVERHEAD UTILITIES
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  - FIRE HYDRANT
  - GATE VALVE
- NEW**
- PROPERTY LINE
  - EASEMENT
  - SEWER MAIN
  - SEWER MANHOLE/CO
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  - WATER MAIN
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  - WATER VALVE
  - FIRE HYDRANT
  - WATER SERVICE
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  - ROCK DAM
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  - EXISTING GRADE
  - FINISHED GRADE

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- VACUUM TEST OF MANHOLES REQUIRED.



**MORGAN CIVIL ENGINEERING, INC.**

PO BOX 358  
MANZANITA, OREGON 97130  
WWW.MORGANCI.COM

JOB NO. R19-10-RV  
DATE NOV. 27, 2025

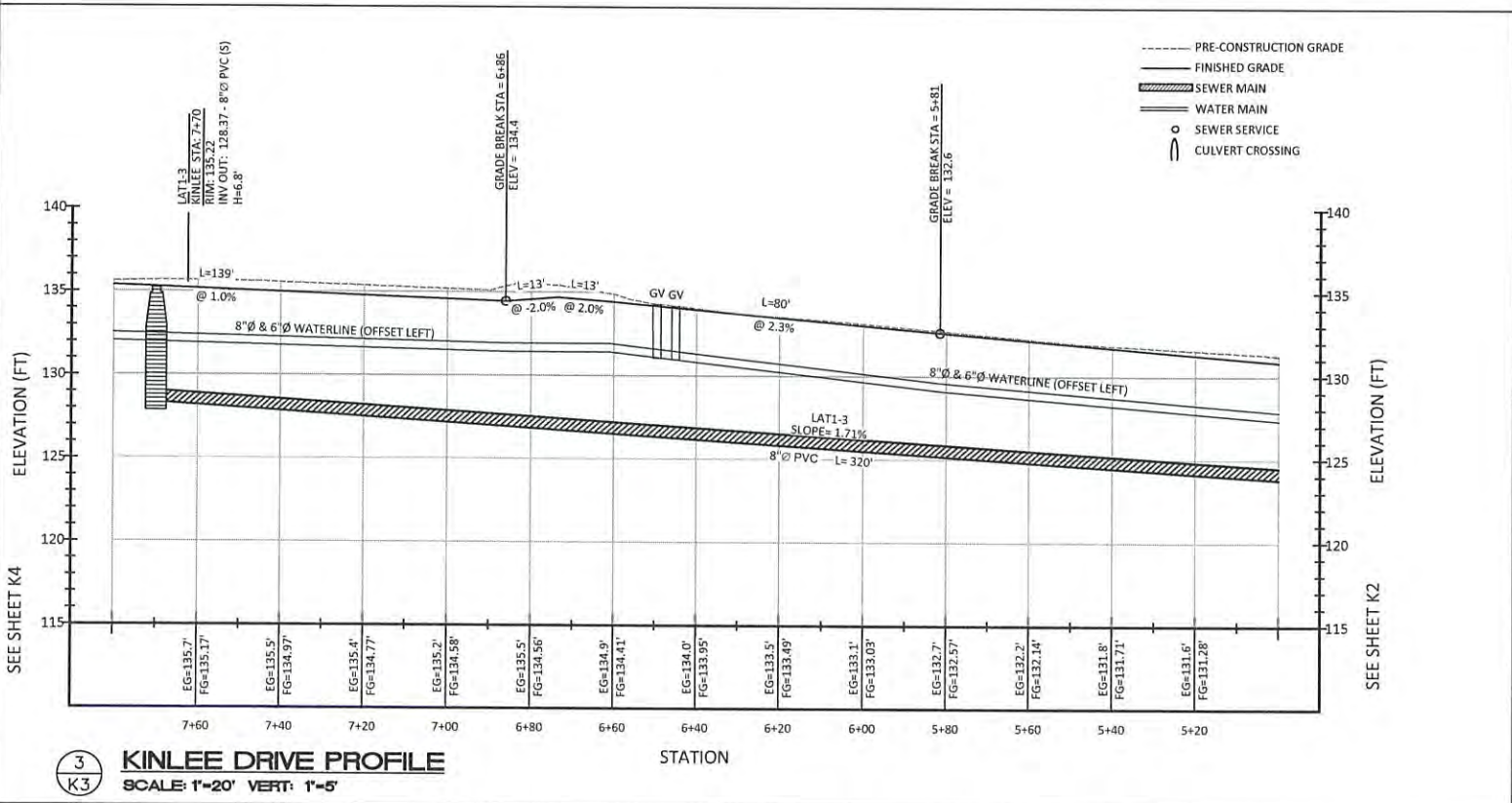


RENEWAL DATE: DECEMBER 31, 2025

RECORD DRAWINGS - FEB. 2, 2026

**RIVERVIEW MEADOWS DEVELOPMENT, LLC**  
**RIVERVIEW MEADOWS IMPROVEMENTS**  
**KINLEE DRIVE**

NEHALEM, MAP 311 CONV 238



**3**  
**K3**  
**KINLEE DRIVE PROFILE**  
SCALE: 1"=20' VERT: 1"=5'

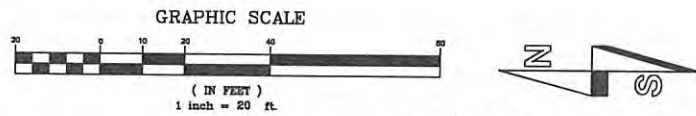
NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

SHEET  
**K3**

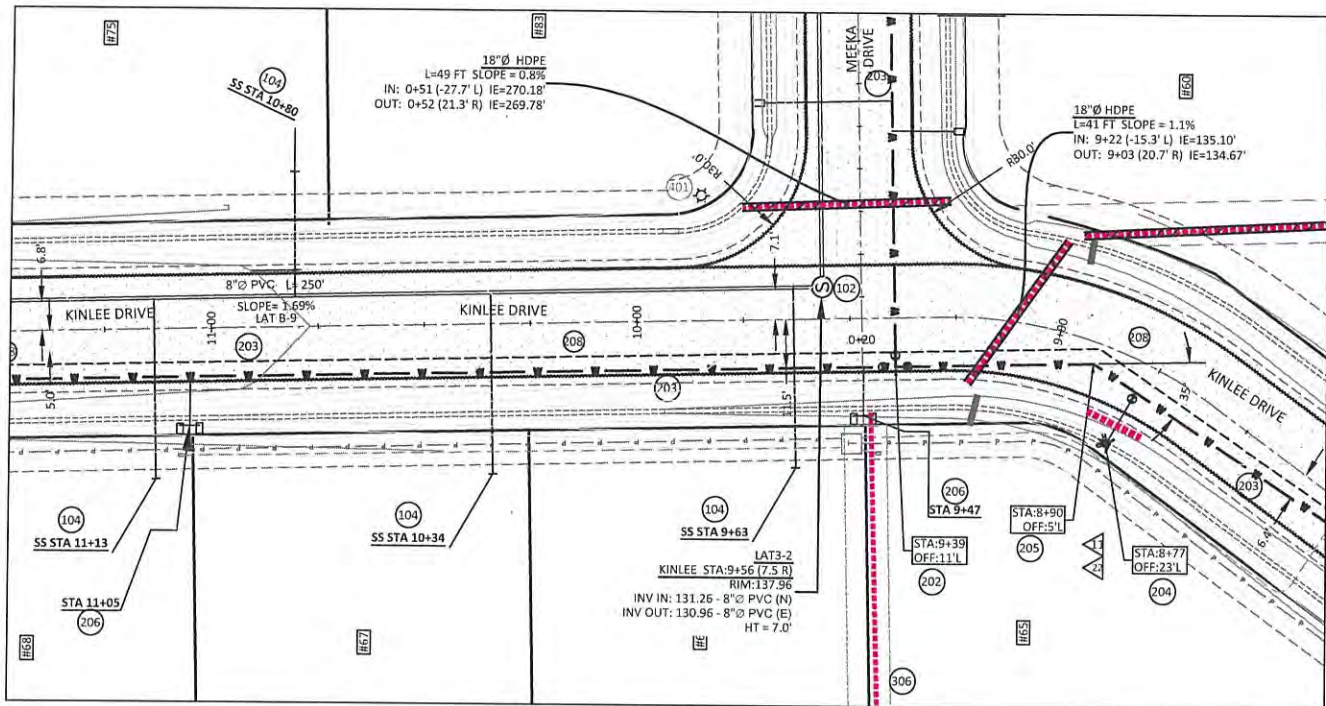
OF -6-

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**1**  
K4  
**KINLEE DRIVE**  
SCALE: 1"=20'



SEE SHEET M1



**STORM NOTES:**

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- COORDINATE WORK WITH COUNTY PUBLIC WORKS.
- 300 24" Ø CULVERT
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- WATER MAIN
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- WATER SERVICE
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- PROFILE
- EXISTING GRADE
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**SEWER NOTES:**

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**MORGAN CIVIL ENGINEERING, INC.**  
 CIVIL ENGINEERING  
 PLANNING  
 PO BOX 358  
 MANZANITA, OR 97130  
 (503) 338-1100  
 www.morgancivil.com

PROF. NO. 19-10-REV  
 DATE NOV-22-2025



RENEWAL DATE: DECEMBER 31, 2026

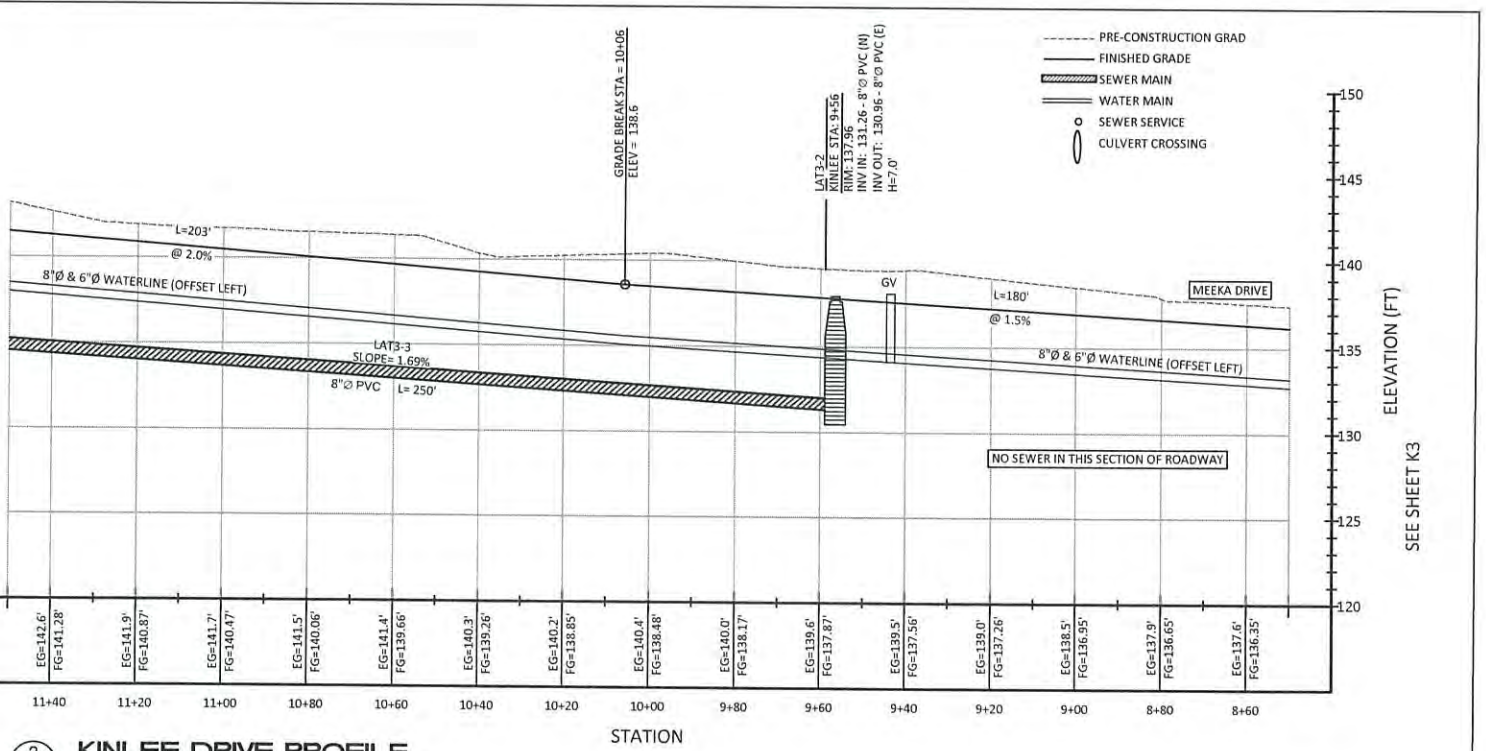
**RIVERVIEW MEADOWS DEVELOPMENT, LLC**  
 RIVERVIEW MEADOWS IMPROVEMENTS  
 KINLEE DRIVE  
 NEHALEM, OR 97130

RECORD DRAWINGS - FEB. 2, 2026

SHEET  
**K4**

NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

OF -6-



**2**  
K4  
**KINLEE DRIVE PROFILE**  
SCALE: 1"=20' VERT: 1"=5'

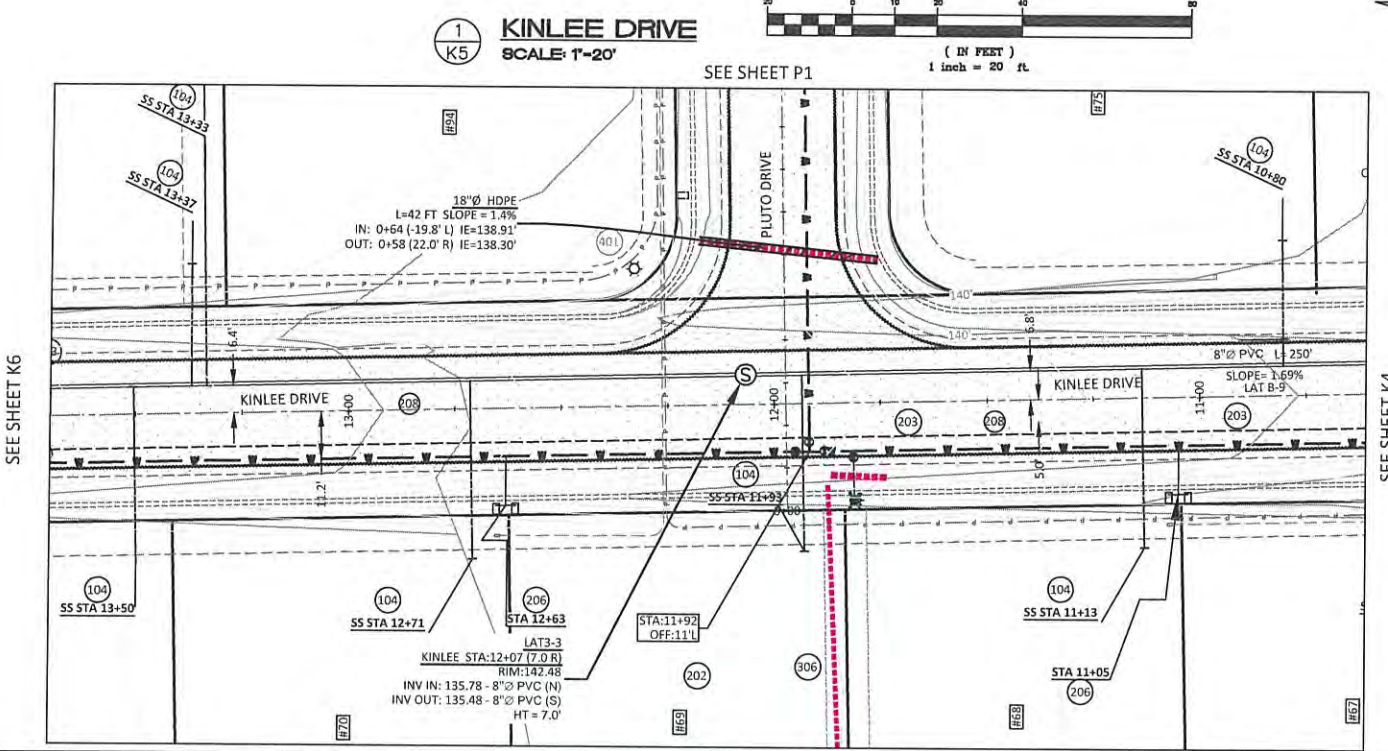
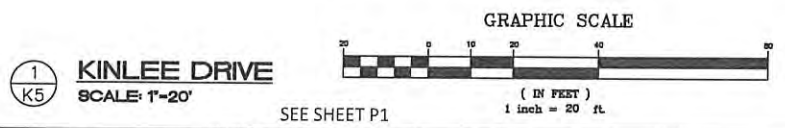
STATION

ELEVATION (FT)

ELEVATION (FT)

STATION	EG	FG
11+40	143.6'	141.28'
11+20	141.9'	140.87'
11+00	141.7'	140.47'
10+80	141.5'	140.06'
10+60	141.4'	139.66'
10+40	140.3'	139.26'
10+20	140.2'	138.85'
10+00	140.4'	138.48'
9+80	140.0'	138.17'
9+60	139.6'	137.87'
9+40	139.5'	137.56'
9+20	139.0'	137.26'
9+00	138.5'	136.95'
8+80	137.9'	136.65'
8+60	137.6'	136.35'

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**STORM NOTES:**

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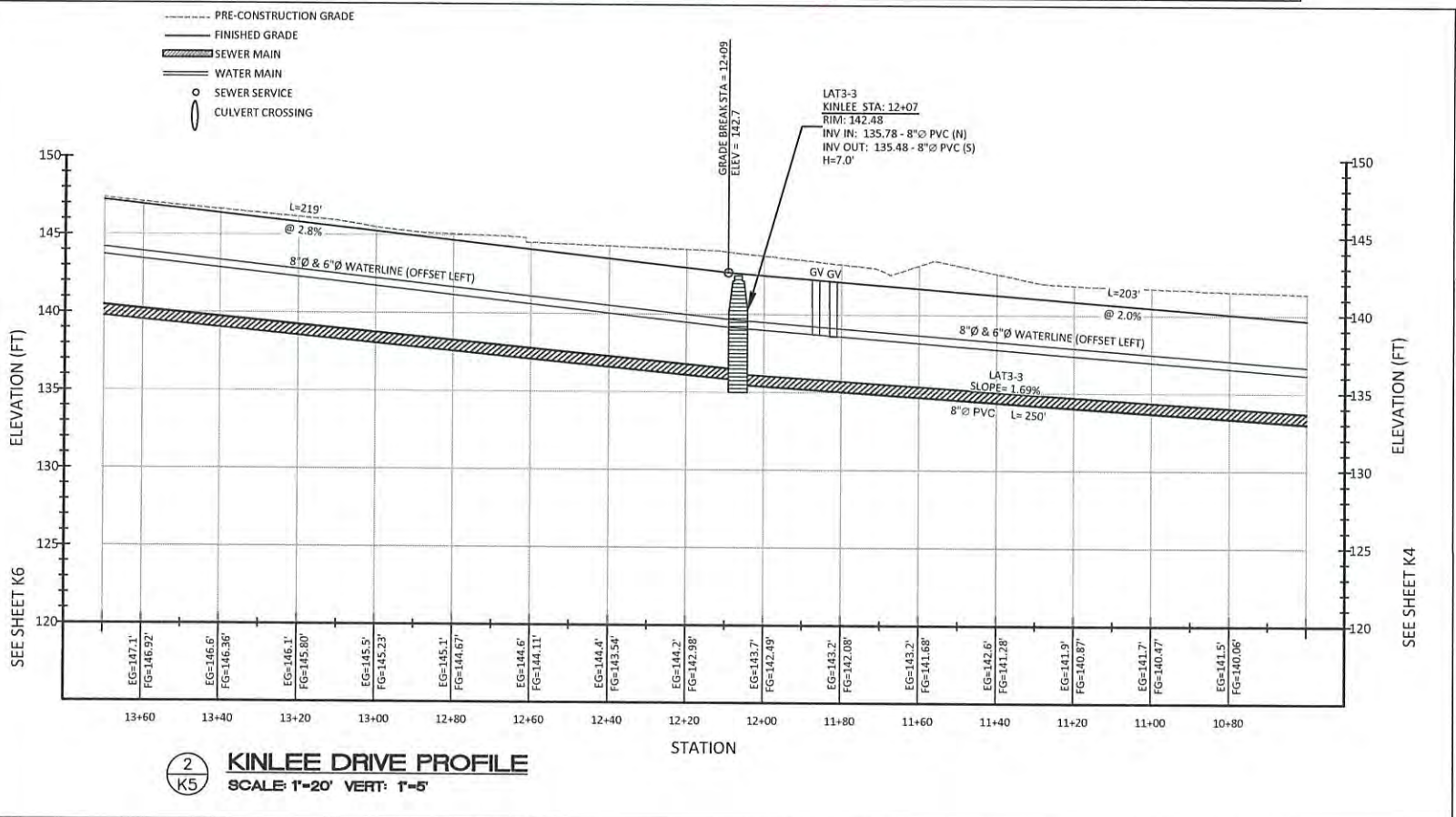
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**2 KINLEE DRIVE PROFILE**  
SCALE: 1"=20' VERT: 1"=5'

RECORD DRAWINGS - FEB. 2, 2026

RIVERVIEW MEADOWS DEVELOPMENT, LLC  
RIVERVIEW MEADOWS IMPROVEMENTS  
KINLEE DRIVE  
NEHALEM, MAP 3N 10W 23B



**MORGAN CIVIL ENGINEERING, INC.**  
PO BOX 358  
MANZIE, OR 97130  
(503) 801-6016  
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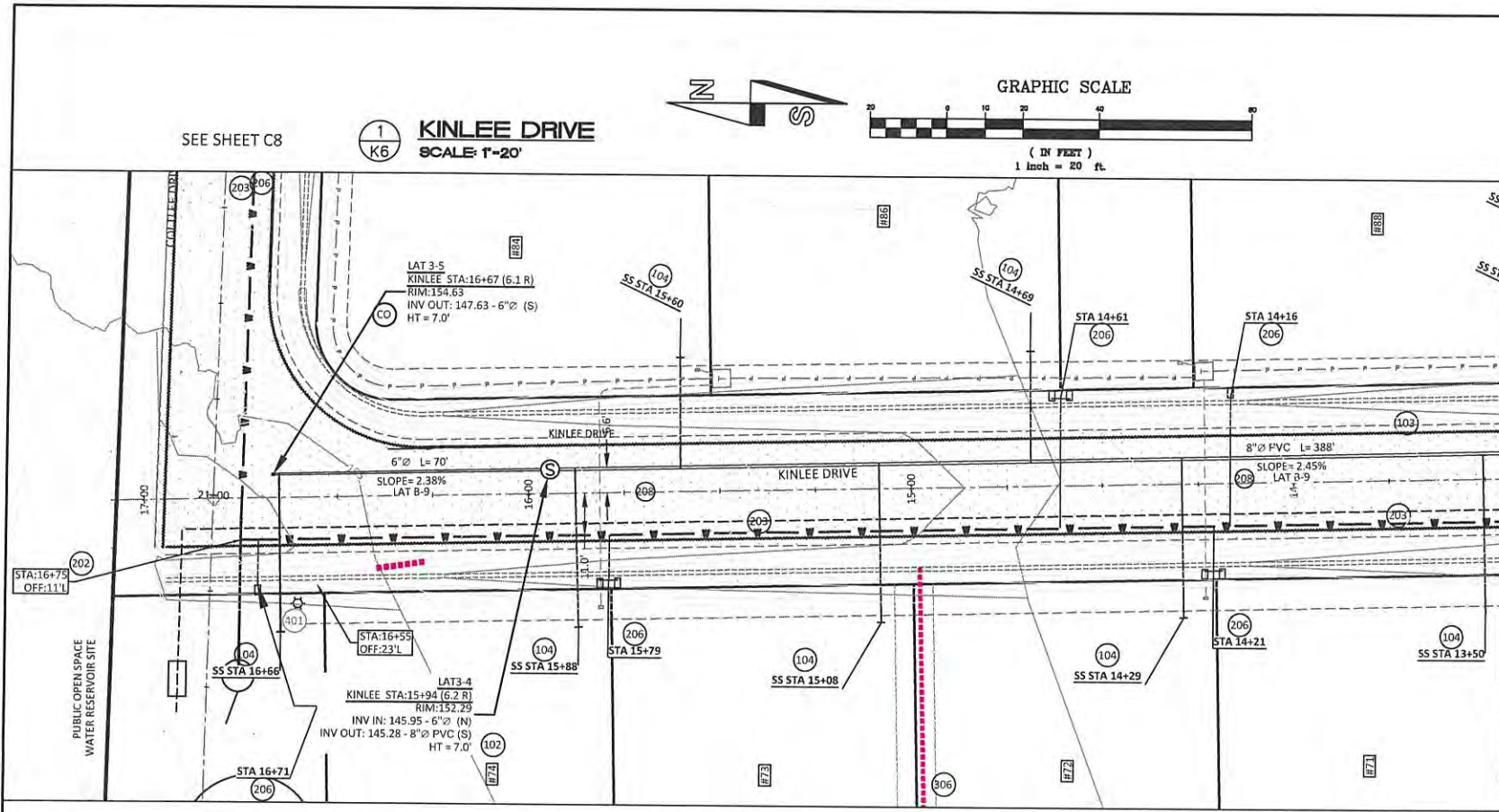
REGISTERED PROFESSIONAL ENGINEER  
63095  
OREGON  
JANUARY 15, 2005  
JASON R. MORGAN  
RENEWAL DATE: DECEMBER 31, 2025

NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

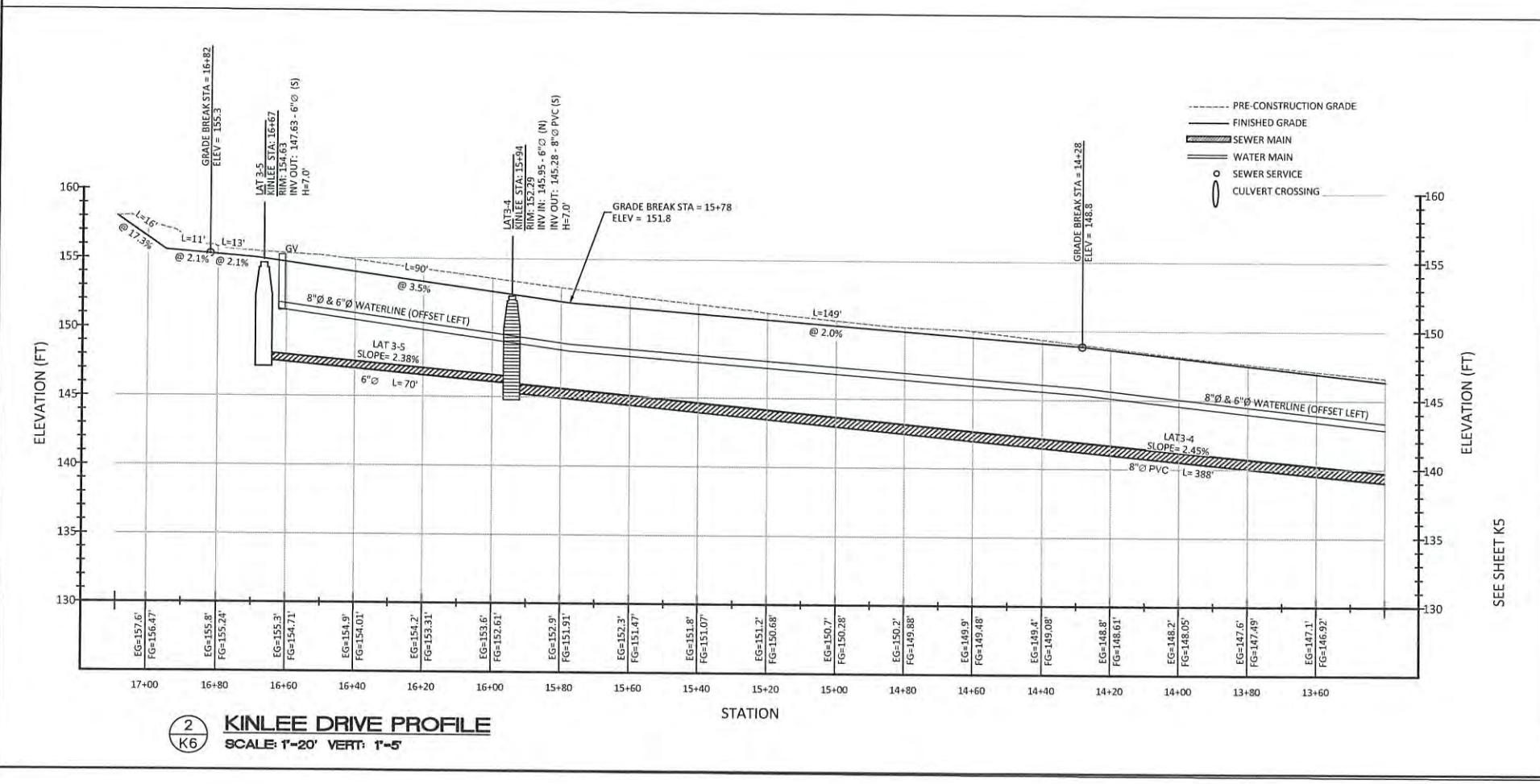
SHEET  
**K5**

OF -6-

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SEE SHEET K5



SEE SHEET K5

**SEWER NOTES:**

ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION. SEE DETAILS SHEET 23.

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 — DITCH  
 — HOPE DRAINAGE CULVERT  
 — ROCK DAM

PROFILE  
 — EXISTING GRADE  
 — FINISHED GRADE

**WATER NOTES:**

ALL CRUSHED ROCK BEDDING AND BACKFILL. 95% COMPACTION. SEE DETAILS SHEET D2.

COORDINATE WORK WITH CITY OF NEHALEM. 30" COVER OVER PIPES. 18" MIN VERTICAL SEPARATION FROM SEWER LINE AT CROSSINGS.

201 LOCATE AND CONNECT TO EXISTING WATER  
 202 INSTALL 6" Ø TEE WITH GATE VALVES AND BEND, AS NEEDED.  
 USE VC212 VALVE BOX SELF-CENTERING GUIDE ON ALL VALVES.  
 203 INSTALL 6" Ø PVC PIPE  
 204 INSTALL FIRE HYDRANT ASSEMBLY  
 205 INSTALL D.I. BENDS, AS NEEDED  
 206 INSTALL WATER SERVICE ASSEMBLY  
 207 INSTALL 6" Ø TEE WITH 6" GATE VALVE AND 6x8 REDUCER.  
 208 INSTALL 6" Ø PVC PIPE  
 209 INSTALL 8" Ø GATE VALVE  
 210 INSTALL ARV - CONNECT TO WATER PIPE AT HIGH POINT, AS SHOWN

△△ PIPE D.I. ANGLE BEND. NOMINAL ANGLE. MATCH PIPE SIZE

PRESSURE TESTING, AND BACTERIOLOGICAL TESTING REQUIRED.

**RECORD DRAWINGS - FEB. 2, 2026**

RIVERVIEW MEADOWS DEVELOPMENT, LLC  
 RIVERVIEW MEADOWS IMPROVEMENTS  
 KINLEE DRIVE

**MORGAN CIVIL ENGINEERING, INC.**

REGISTERED PROFESSIONAL ENGINEER  
 63055  
 OREGON  
 JANUARY 15, 2008  
 JASON R. MORGAN  
 RENEWAL DATE: DECEMBER 31, 2028

PO BOX 358  
 NEHALEM, OR 97130  
 TEL: 503-651-1111  
 WWW.MORGANCIVIL.COM

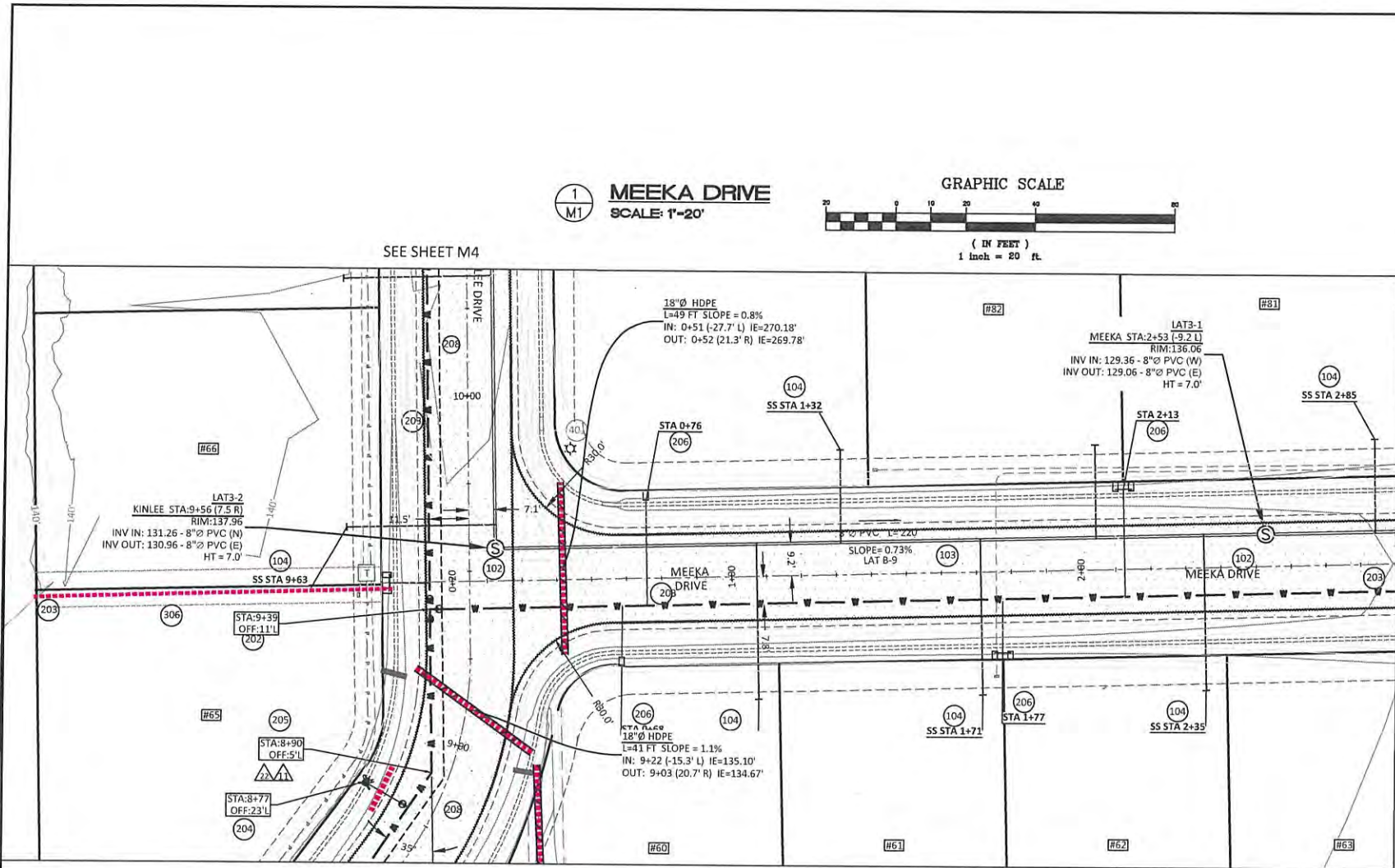
CIVIL ENGINEERING  
 INSURANCE  
 PLANNING

JOB NO. P19-10-RV  
 DATE NOV. 23, 2025

SHEET  
**K6**  
 OF 6

NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

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**STORM NOTES:**  
ALL CRUSHED ROCK BEDDING AND BACKFILL.  
95% COMPACTION.  
COORDINATE WORK WITH COUNTY PUBLIC WORKS.

300 24"Ø CULVERT  
301 18"Ø CULVERT  
302 ROADSIDE DITCH (STANDARD)  
303 ROADSIDE DITCH (WIDE)  
304 CONCRETE MANHOLE  
305 CONCRETE CATCH BASIN

**ELECTRICAL NOTES:**  
ALL CRUSHED ROCK BEDDING AND BACKFILL.  
95% COMPACTION IN RIGHT-OF-WAY.  
COORDINATE WORK WITH TPUD.

401 LIGHT POLE

TPUD LEGEND:  
□ = E11 VAULT W/ CE11T LID  
□ = E11 VAULT W/ CE11SE LID  
□ = PED (INSTALLED BY TPUD)  
— = 2" CONDUIT  
— = 3" CONDUIT

**LEGEND:**

---	PRE-DESIGN
---	PROPERTY LINE
---	SEWER LINE
○	MANHOLE
---	WATER LINE
---	ROAD
---	CULVERT
---	OVERHEAD UTILITIES
○	UTILITY POLE
○	FIRE HYDRANT
○	GATE VALVE
---	NEW
---	PROPERTY LINE
---	EASEMENT
---	SEWER MAIN
---	SEWER SERVICE
---	WATER MAIN
---	WATER FEEDER LINE
○	WATER VALVE
○	FIRE HYDRANT
○	WATER SERVICE
---	EDGE OF SHOULDER
---	EDGE OF ASPHALT
---	DITCH
---	HDPE DRAINAGE CULVERT
---	ROCK DAM
---	PROFILE
---	EXISTING GRADE
---	FINISHED GRADE

**SEWER NOTES:**  
ALL CRUSHED ROCK BEDDING AND BACKFILL.  
95% COMPACTION. SEE DETAILS SHEET 23.  
COORDINATE WORK WITH NBWA.

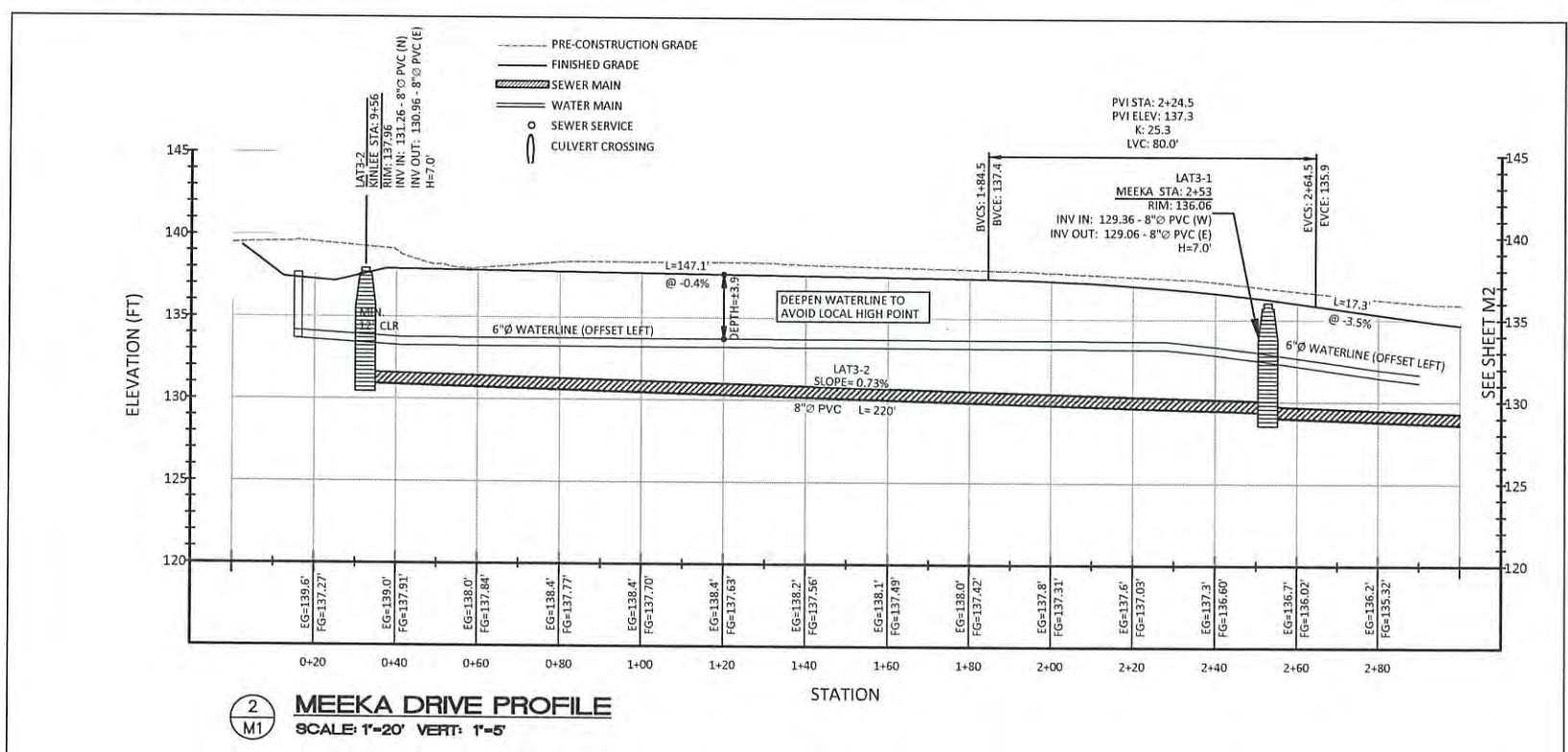
101 CONNECT TO EXISTING STUB  
102 INSTALL NEW MANHOLE  
103 INSTALL NEW 8" SEWER PIPE  
104 INSTALL NEW SEWER SERVICE ASSEMBLY

DEFLECTION TESTING, PRESSURE TESTING, AND VIDEO INSPECTION OF PIPE REQUIRED.  
VACUUM TEST OF MANHOLES REQUIRED.

**WATER NOTES:**  
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209 INSTALL 8"Ø GATE VALVE  
210 INSTALL ARV - CONNECT TO WATER PIPE AT HIGH POINT, AS SHOWN

XX PIPE D.J. ANGLE BEND. NOMINAL ANGLE. MATCH PIPE SIZE.  
PRESSURE TESTING, AND BACTERIOLOGICAL TESTING REQUIRED.



RECORD DRAWINGS - FEB. 2, 2026

RIVERVIEW MEADOWS DEVELOPMENT, LLC  
RIVERVIEW MEADOWS IMPROVEMENTS  
MEEKA DRIVE  
NEHALEM, OR 97130



**MORGAN CIVIL ENGINEERING, INC.**  
CIVIL ENGINEERING  
SURVEYING  
PLANNING  
PO BOX 358  
MANZANITA, OR 97130  
(503) 806-6026  
www.morgancivil.com

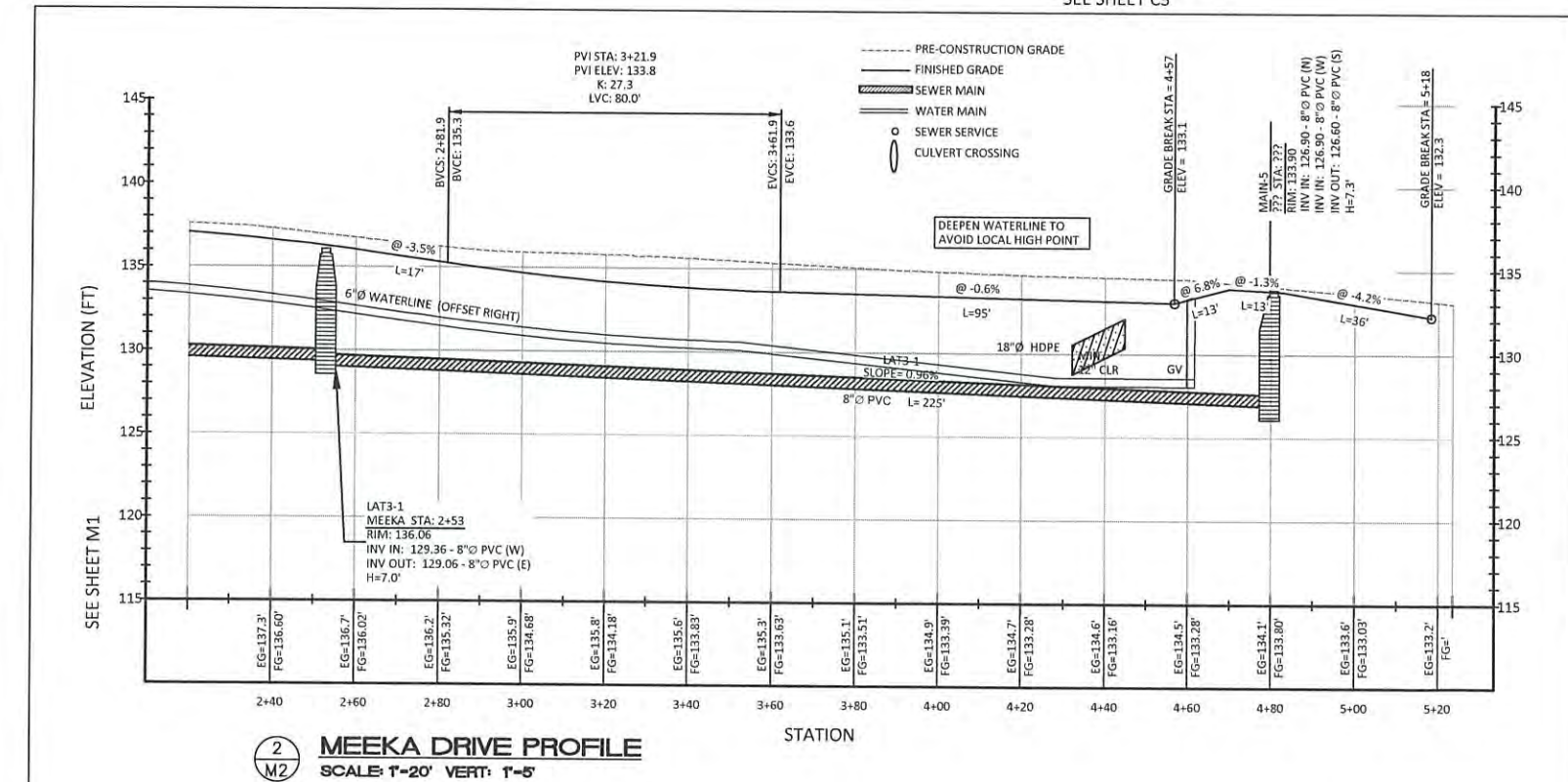
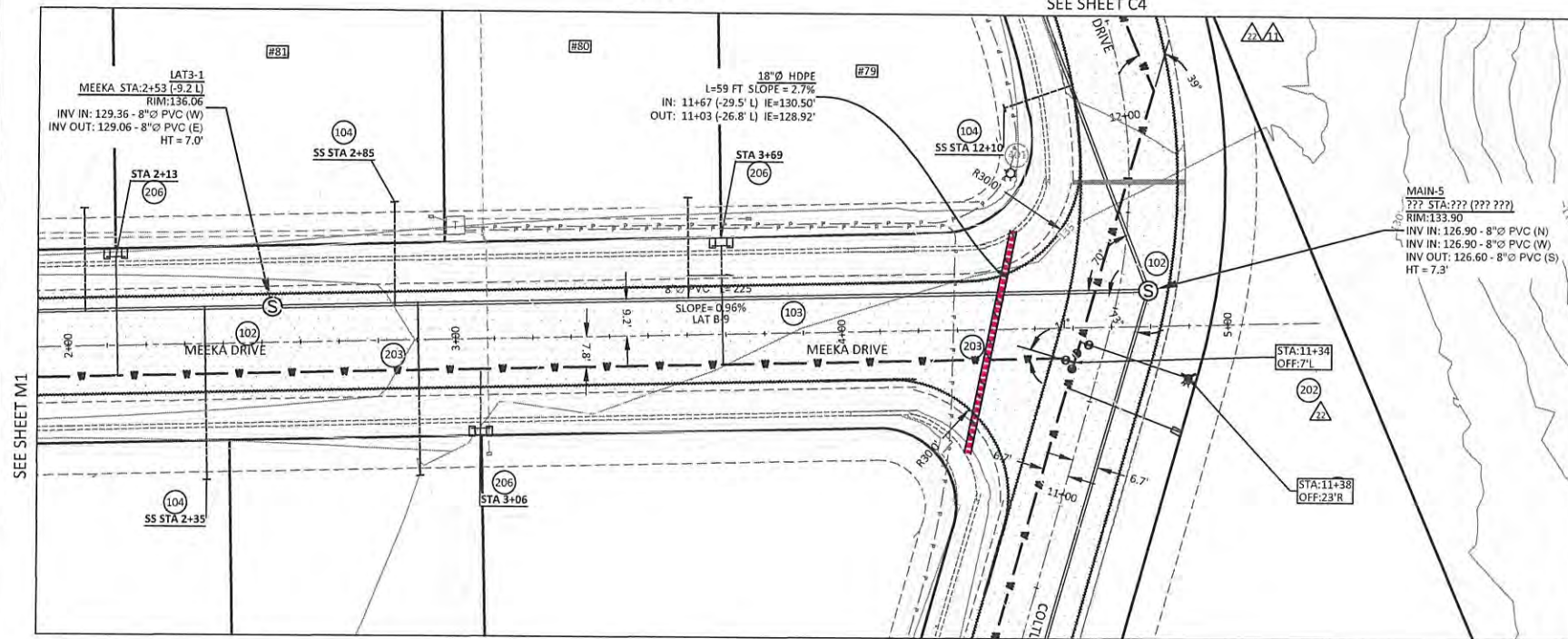
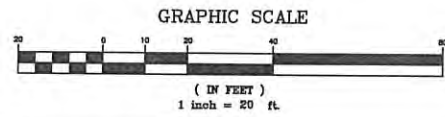
REGISTERED PROFESSIONAL ENGINEER  
63055  
OREGON  
JANUARY 15, 2005  
MASON R. MORGAN  
RENEWAL DATE: DECEMBER 31, 2025

NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

SHEET  
**M1**  
OF -2-

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**1**  
M2  
**MEEKA DRIVE**  
SCALE: 1"=20'



**2**  
M2  
**MEEKA DRIVE PROFILE**  
SCALE: 1"=20' VERT: 1"=5'



**STORM NOTES:**

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- COORDINATE WORK WITH COUNTY PUBLIC WORKS.
- 300 24" Ø CULVERT
- 301 18" Ø CULVERT
- 302 ROADSIDE DITCH (STANDARD)
- 303 ROADSIDE DITCH (WIDE)
- 304 CONCRETE MANHOLE
- 305 CONCRETE CATCH BASIN

**ELECTRICAL NOTES:**

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- COORDINATE WORK WITH TPUD.
- 401 LIGHT POLE
- TPUD LEGEND:
  - = E11 VAULT W/ CE11T LID
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△△ PIPE D.I. ANGLE BEND. NOMINAL ANGLE. MATCH PIPE SIZE.

PRESSURE TESTING, AND BACTERIOLOGICAL TESTING REQUIRED.

**LEGEND:**

- PRE-DESIGN
- PROPERTY LINE
- SEWER LINE
- MANHOLE
- WATER LINE
- ROAD
- CULVERT
- OVERHEAD UTILITIES
- UTILITY POLE
- FIRE HYDRANT
- GATE VALVE
- NEW
- PROPERTY LINE
- EASEMENT
- SEWER MAIN
- SEWER SERVICE
- WATER MAIN
- WATER FEEDER LINE
- WATER VALVE
- FIRE HYDRANT
- WATER SERVICE
- EDGE OF SHOULDER
- EDGE OF ASPHALT
- DITCH
- HDPE DRAINAGE CULVERT
- ROCK DAM
- PROFILE
- EXISTING GRADE
- FINISHED GRADE

**SEWER NOTES:**

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- VACUUM TEST OF MANHOLES REQUIRED.

RECORD DRAWINGS - FEB. 2, 2026

RIVERVIEW MEADOWS DEVELOPMENT, LLC  
RIVERVIEW MEADOWS IMPROVEMENTS  
MEEKA DRIVE  
NEHALEM, MAP 3N 10W 23B

SHEET  
**M2**

NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

OF -2-



**MORGAN CIVIL ENGINEERING, INC.**

- CIVIL ENGINEERING
- SURVEYING
- PLANNING

PO BOX 358  
MANASTOTA OR 97130  
TEL: 503-255-1111  
WWW.MORGANCIVIL.COM

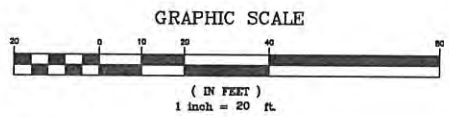
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DATE: FEB. 23, 2025



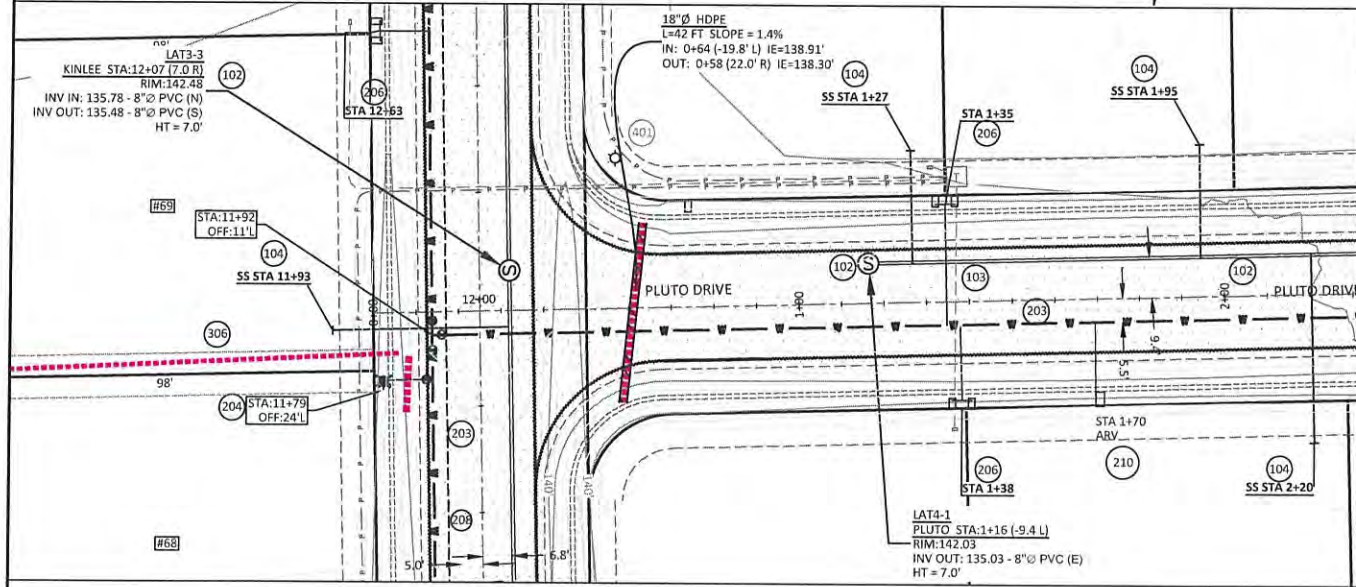
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**1**  
P1  
**PLUTO DRIVE**  
SCALE: 1"=20'

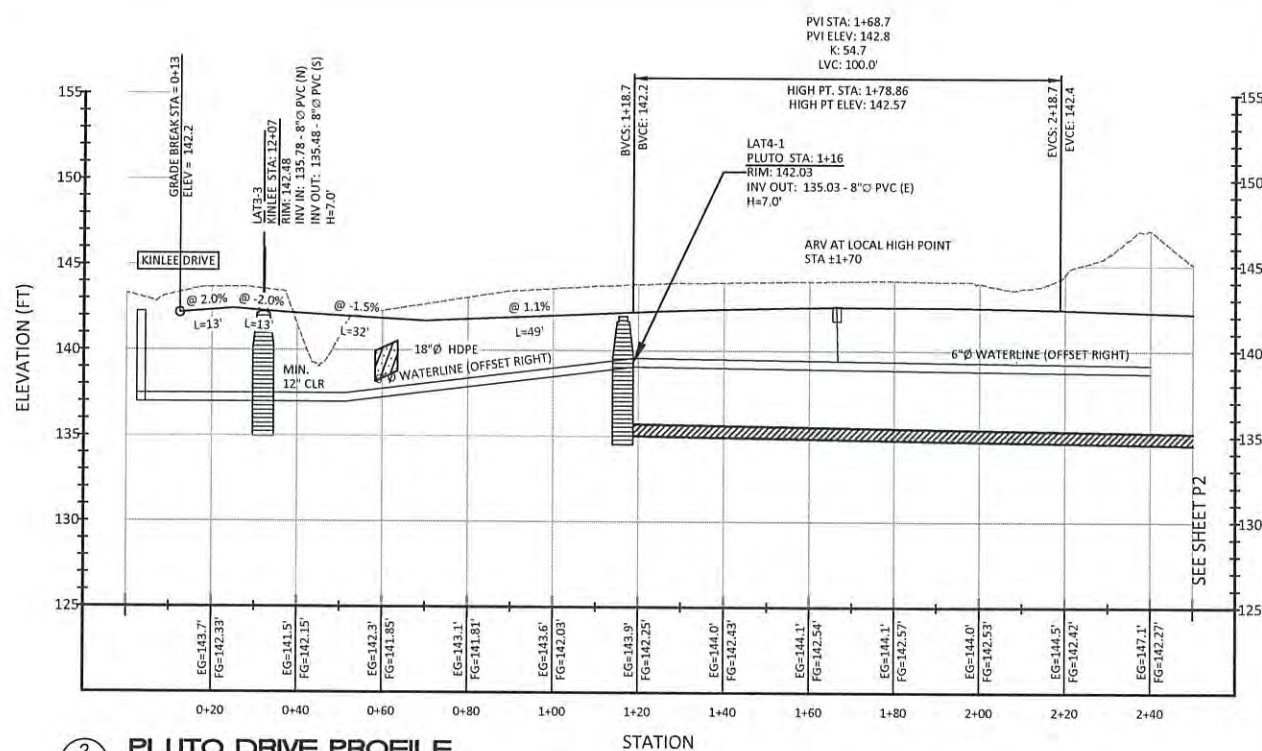


SEE SHEET K4



SEE SHEET P2

SEE SHEET K3



**2**  
P1  
**PLUTO DRIVE PROFILE**  
SCALE: 1"=20' VERT: 1"=5'

- PRE-CONSTRUCTION GRADE
- FINISHED GRADE
- ▨ SEWER MAIN
- WATER MAIN
- SEWER SERVICE
- ⊖ CULVERT CROSSING

**STORM NOTES:**

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- CULVERT
- OVERHEAD UTILITIES
- UTILITY POLE
- FIRE HYDRANT
- GATE VALVE
- NEW
- PROPERTY LINE
- EASEMENT
- SS SEWER MAIN
- SEWER MANHOLE/CO
- SEWER SERVICE
- WATER MAIN
- WATER FEEDER LINE
- WATER VALVE
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- WATER SERVICE
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- PRESSURE TESTING, AND BACTERIOLOGICAL TESTING REQUIRED.



**MORGAN CIVIL ENGINEERING, INC.**

- CIVIL ENGINEERING
- INSPECTION
- PLANNING

PO BOX 358  
NEHALEM, OR 97130  
PHONE: 503.861.0012  
WWW.MORGANCIVIL.COM



RENEWAL DATE: DECEMBER 31, 2025

**RECORD DRAWINGS - FEB. 2, 2026**

RIVERVIEW MEADOWS DEVELOPMENT, LLC  
RIVERVIEW MEADOWS IMPROVEMENTS  
PLUTO DRIVE

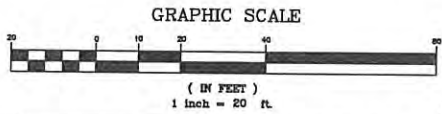
NEHALEM, MAP 31N 10W 23B

NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

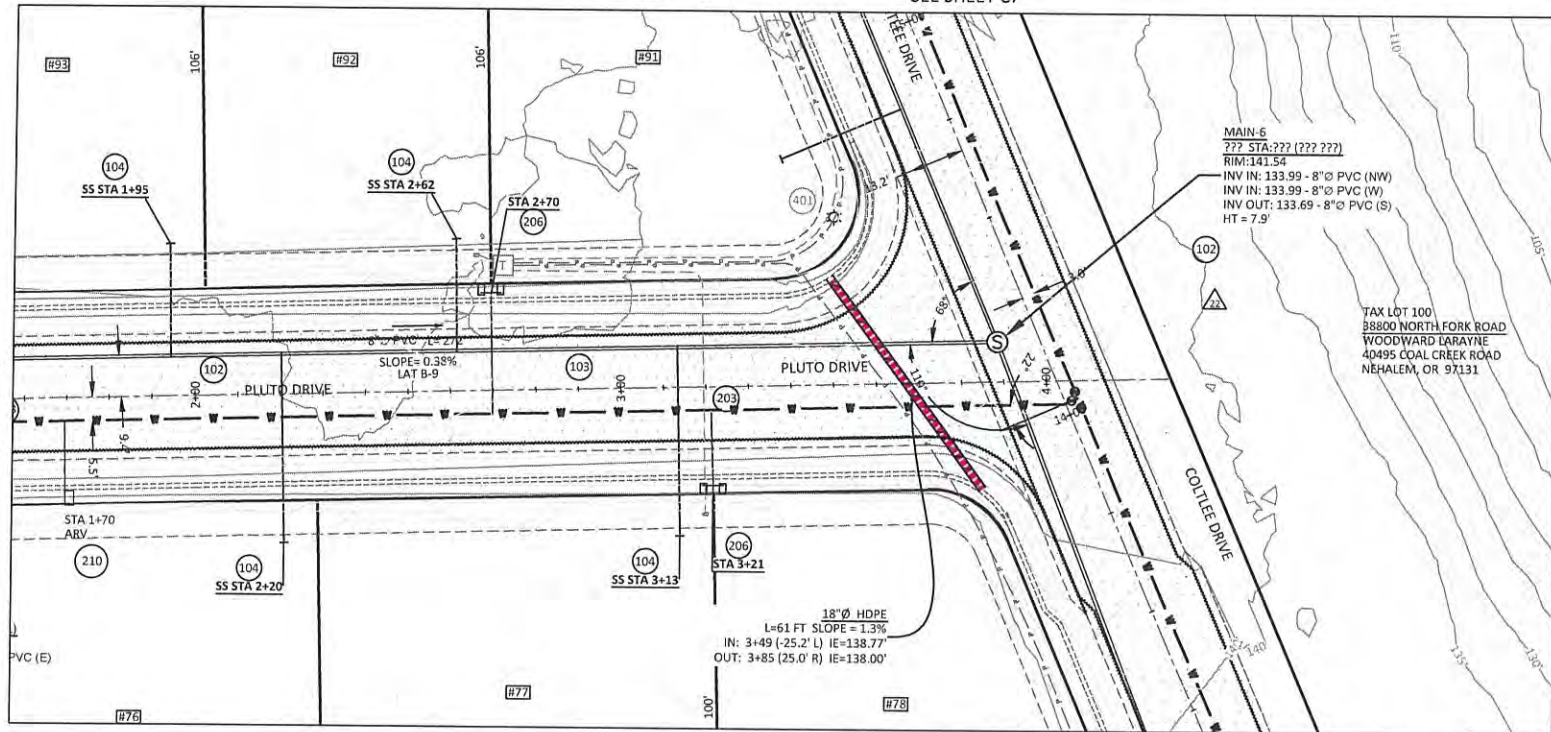
SHEET  
**P1**

OF -2-

**1**  
**P2** **PLUTO DRIVE**  
SCALE: 1"=20'



SEE SHEET C7



**STORM NOTES:**

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- VACUUM TEST OF MANHOLES REQUIRED.

**LEGEND:**

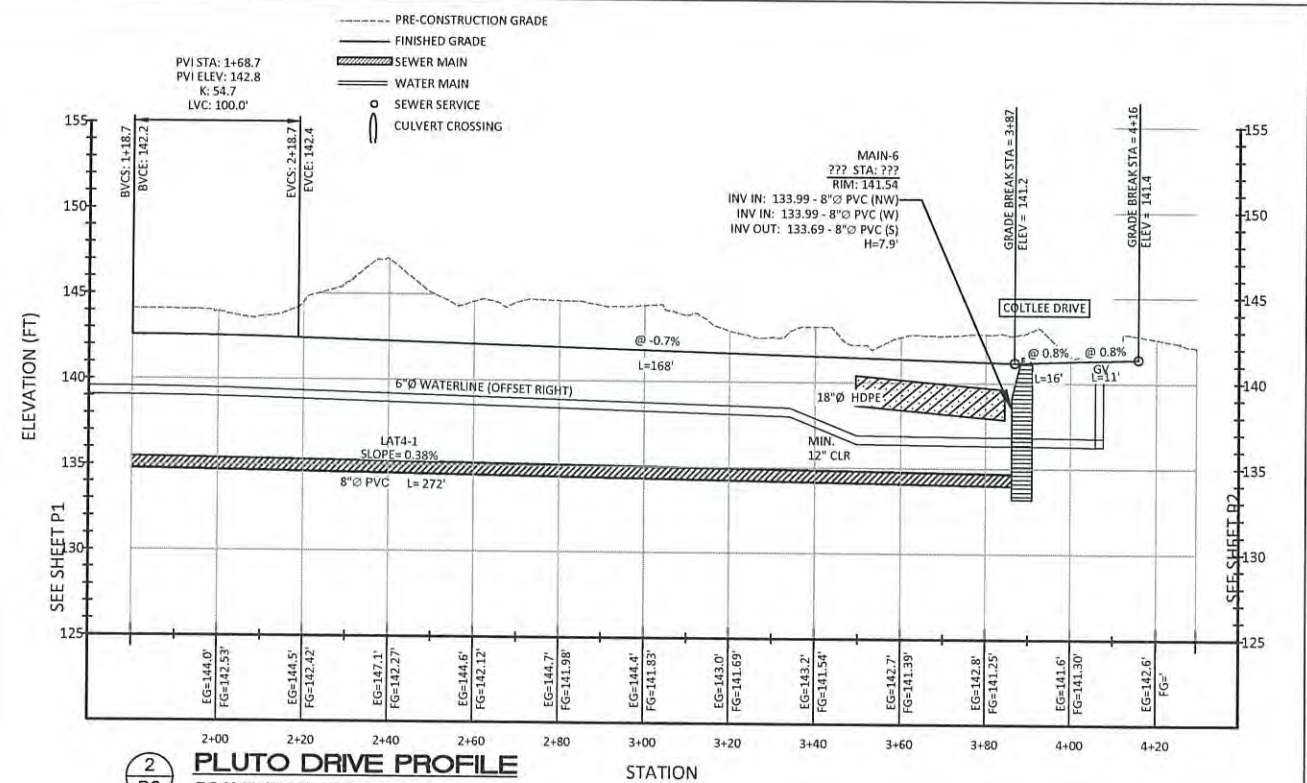
- PRE-DESIGN
- PROPERTY LINE
- SEWER LINE
- MANHOLE
- WATER LINE
- ROAD
- CULVERT
- OVERHEAD UTILITIES
- UTILITY POLE
- FIRE HYDRANT
- GATE VALVE
- NEW
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- EASEMENT
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- SEWER MANHOLE/CO
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- WATER MAIN
- WATER FEEDER LINE
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SEE SHEET C6

**2**  
**P2** **PLUTO DRIVE PROFILE**  
SCALE: 1"=20' VERT: 1"=5'



NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

**RECORD DRAWINGS - FEB. 2, 2026**



**MORGAN CIVIL ENGINEERING, INC.**

- PO BOX 358
- NEHALEM, OR 97130
- PHONE: 503.751.1500
- WWW.MORGANCIVIL.COM

JOB NO. 1919-10-RV  
DATE: FEB. 22, 2025



**RIVERVIEW MEADOWS DEVELOPMENT, LLC**  
RIVERVIEW MEADOWS IMPROVEMENTS  
PLUTO DRIVE

SHEET  
**P2**

OF -2-

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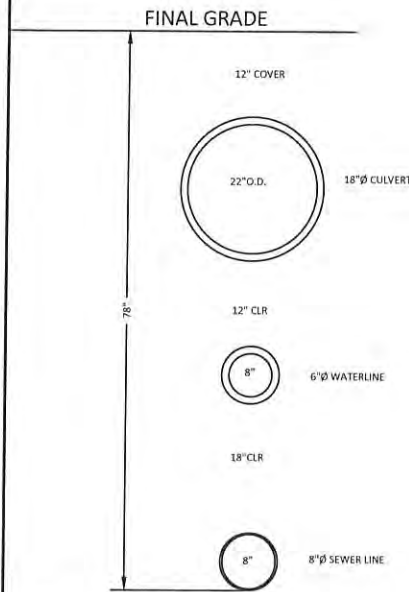
**MORGAN CIVIL ENGINEERING, INC.**  
 CIVIL ENGINEERING  
 CONSULTING  
 PLANNING  
 PO BOX 358  
 MANZANITA, OR 97130  
 (503) 803-6016  
 www.morgancivil.com

JOB NO. #19-10-RV  
 DATE NOV. 25, 2025  
 REVISION DATE: DECEMBER 21, 2025

**RIVERVIEW MEADOWS DEVELOPMENT, LLC**  
**RIVERVIEW MEADOWS IMPROVEMENTS**  
**SEWER SYSTEM DETAILS**

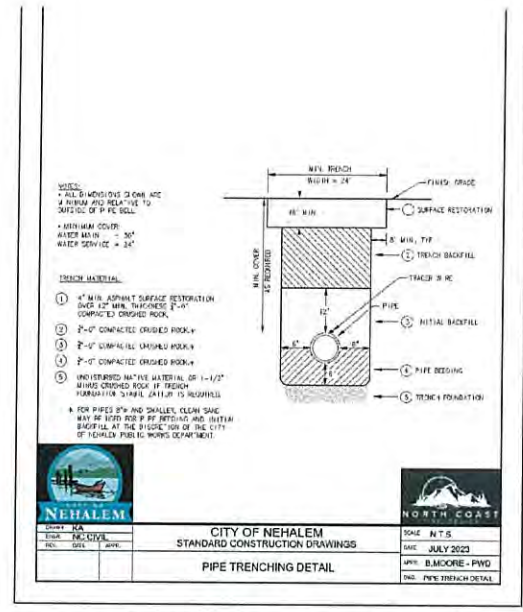
**RECORD DRAWINGS - FEB. 2, 2026**

SHEET  
**D1**  
 OF -2-

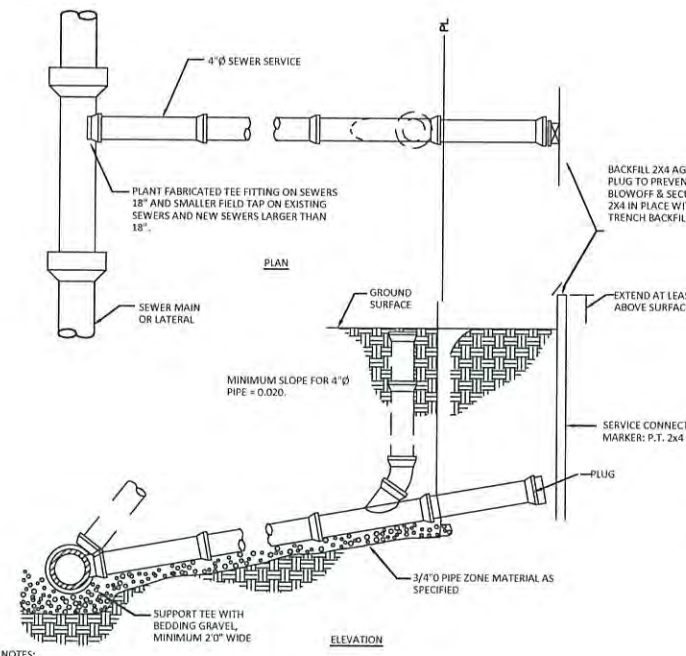


**1**  
 D1 **PIPE CLEARANCES**  
 NO SCALE

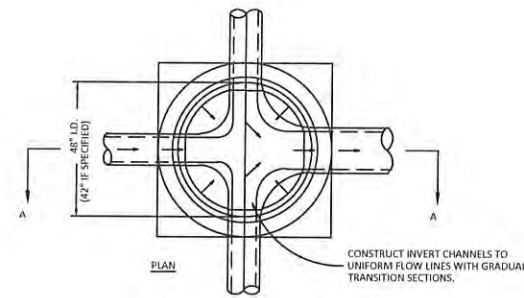
SPECIFICATIONS	
PIPE AND FITTINGS - USE ALL PVC	
PIPE	PVC, ASTM D-3034
STRUCTURES	
MANHOLES	CONCRETE PRE-CAST, 48"Ø MANHOLE, OR APPROVED EQUAL STEEL COVER.
SURFACE	3/4" CRUSHED ROCK.
SURFACE	ASPHALT-CLASS B, 3" THICK.



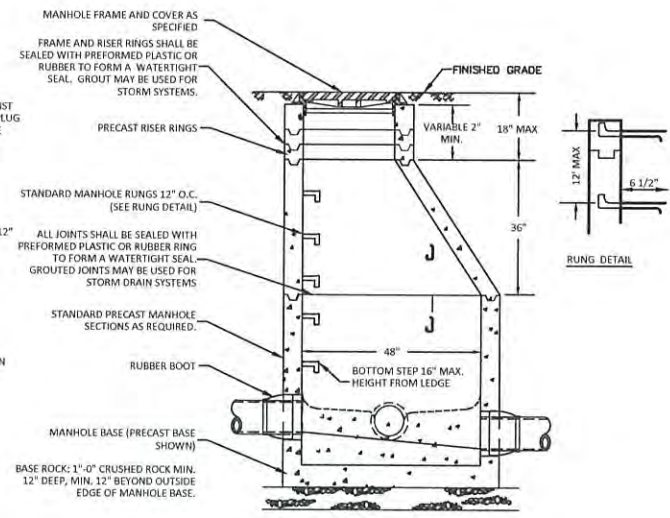
**2**  
 D1 **SEWER MAIN TRENCH DETAIL**  
 NO SCALE



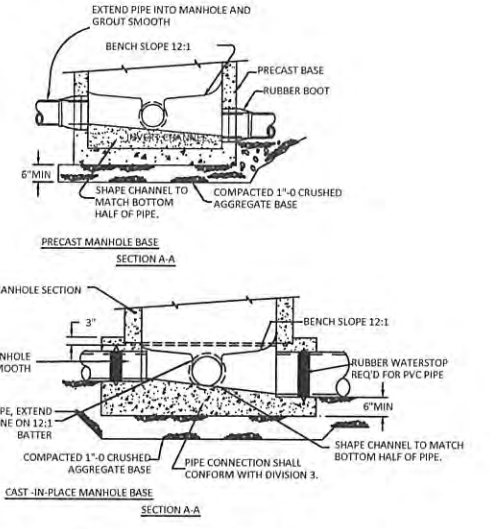
**5**  
 D1 **SANITARY SEWER SERVICE CONNECTION**  
 NO SCALE



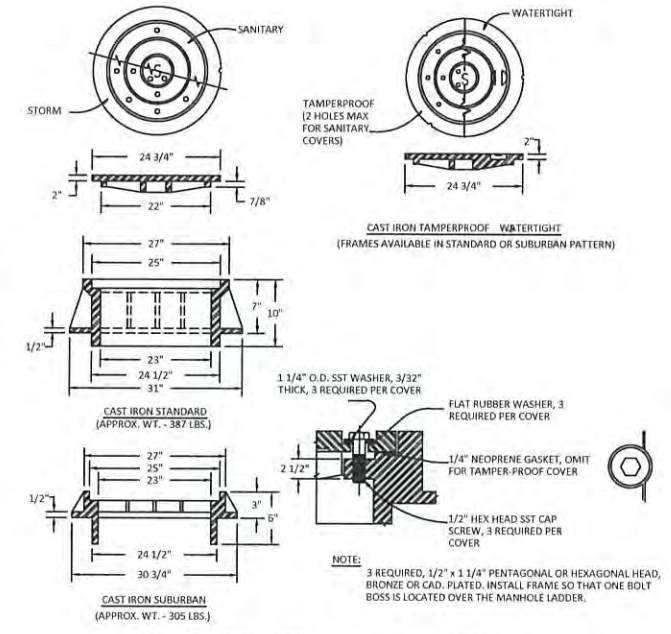
**3**  
 D1 **MANHOLE BASE PLAN**  
 NO SCALE



**6**  
 D1 **STANDARD SANITARY SEWER MANHOLE**  
 NO SCALE



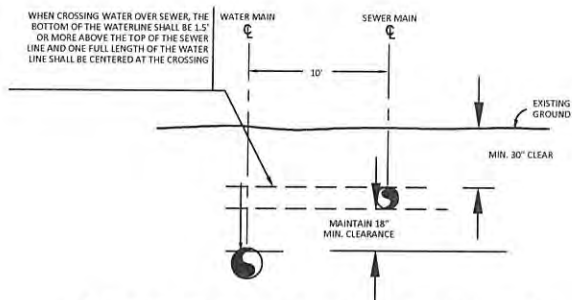
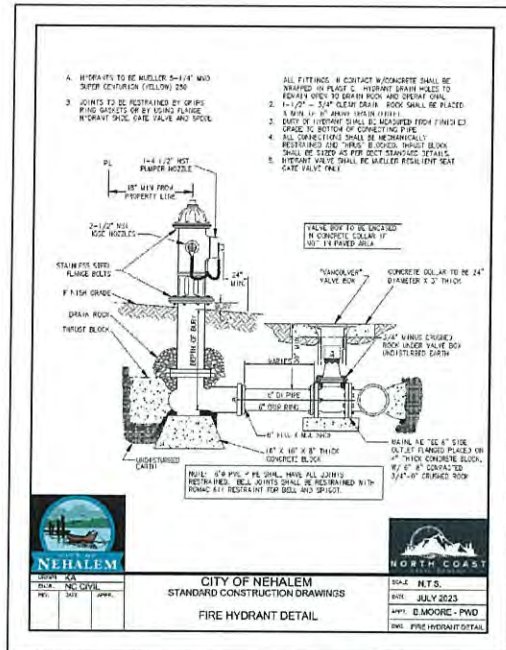
**4**  
 D1 **MANHOLE BASE SECTION**  
 NO SCALE



**7**  
 D1 **MANHOLE COVER AND FRAME DETAIL**  
 NO SCALE

NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

V:\19-10-Riv\Drawings\Riverview Meadows Plans.dwg, s:\dml-water, 2/2/2026 11:07:04 AM



(HORIZONTAL) BEARING AREA OF THRUST BLOCKS IN SQUARE FEET

FITTING SIZE	TEE, WYE, DEAD END AND HYDRANT	STRADDLE BLOCK	90° BEND PLUGGED CROSS	TEE PLUGGED ON BELL	45° BEND	22-1/2° BEND	11-1/4° BEND
4	2.0	3.2	2.8	A-1	A-2	2.0	2.0
6	4.2	7.4	6.0	B-1	B-2	4.0	4.0

**NOTES:**  
1. ABOVE BEARING AREAS BASED ON TEST PRESSURE OF 150 PSI AND AN ALLOWABLE SOIL BEARING STRESS OF 1000 POUNDS PER SQUARE FOOT. TO COMPUTE BEARING AREAS FOR DIFFERENT TEST PRESSURES AND SOIL BEARING STRESSES, USE THE FOLLOWING EQUATION:  
BEARING AREA = (TEST PRESSURE / 150) x (3000 / SOIL BEARING STRESS) x (TABLE VALUE)  
2. ABOVE VOLUMES BASED ON TEST PRESSURE OF 150 PSI AND THE WEIGHT OF CONCRETE = 145 POUNDS PER CUBIC YARD. TO COMPUTE FOR DIFFERENT TEST PRESSURES, USE THE FOLLOWING EQUATION:  
VOLUME = (TEST PRESSURE / 150) x (TABLE VALUE)

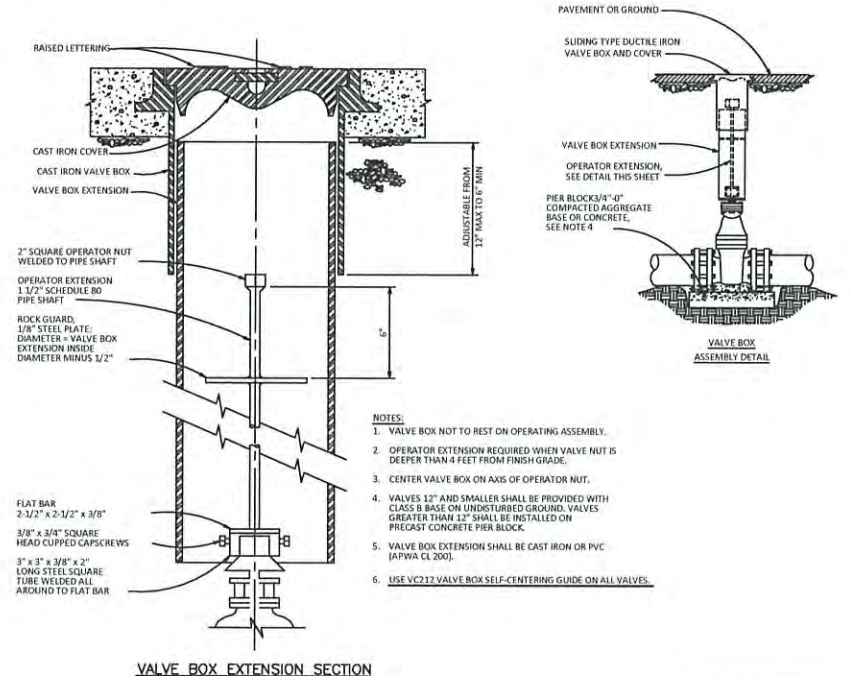
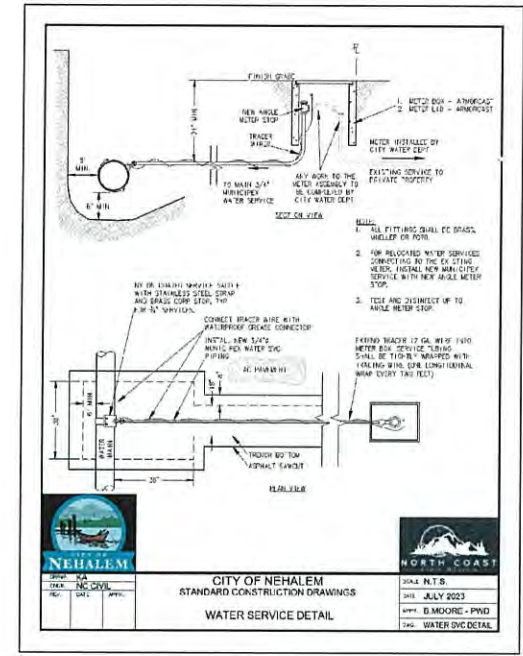


**6**  
**D2**  
**THRUST BLOCKING**  
NO SCALE

**261.4.02 Pressure Test:**

**261.4.02A Pre test** After each valved section of pipe has been laid and partially backfilled, the Contractor shall perform a hydrostatic pressure test as outlined below. The maximum length for testing shall be confined to each block of the project (the project is divided into four blocks). The results shall be given to the Engineer prior to complete backfill of the pipe. If the test indicates materials or workmanship that does not meet design requirements, defective material and/or workmanship shall be corrected and the test re run until specifications are fulfilled.

**261.4.02B Pressure Test of Completed Waterline** All mains, hydrants and fittings shall be subjected to a pressure test in the presence of the inspector after all pre testing has been completed. All water services shall be installed with service saddle, corporation stop, water serviced tubing and angle meter prior to all testing and disinfection. A separate test shall be made on each section of the project whenever any section of the work is installed in such a manner as to permit its segregation as a unit. The maximum length for testing shall be confined to each block of the project (the project is divided into four blocks). Each section of pipe shall be completely filled with water and care shall be taken to insure that all air is expelled from the pipe line. The specified test pressure shall be applied by means of a pump connected to the main through a corporation stop and service tubing. The test pressure, measured at the point of lowest elevation, shall be 150% of the working pressure at that point. The test pressure shall be held for two hours during which time, all exposed pipe, fittings, valves and couplings will be carefully examined for leaks. The portion of main being tested shall be considered "acceptable" for the purposes of this test if the pressure does not decrease more than 5 p.s.i. in 1 hour. All leaks shall be repaired. The test shall be repeated until satisfactory.



**7**  
**D2**  
**TYPICAL VALVE**  
NO SCALE

NO.	DATE	DESCRIPTION	BY
1	02/02/2026	RECORD DRAWINGS	JRM

RECORD DRAWINGS - FEB. 2, 2026

RIVERVIEW MEADOWS DEVELOPMENT, LLC  
RIVERVIEW MEADOWS IMPROVEMENTS  
WATER SYSTEM DETAILS

SHEET  
**D2**  
OF -2-

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PROFESSIONAL ENGINEER  
63085  
JASON R. MORGAN  
JANUARY 11, 2005  
RENEWAL DATE: DECEMBER 31, 2025

OR REG. NO. #15-10-BV  
DATE NOV. 22, 2025

NEHALEM, MAP 3N, LOW 23B

R. Warren Krager, R.G., C.E.G.  
Consulting Engineering Geologist  
Oregon CEG #E957

March 12, 2026

Tracy Brown, Cary Sheldon, Riverview Meadows Development LLC  
in care of:  
Jason R. Morgan, PE,  
Morgan Civil Engineering, Inc.

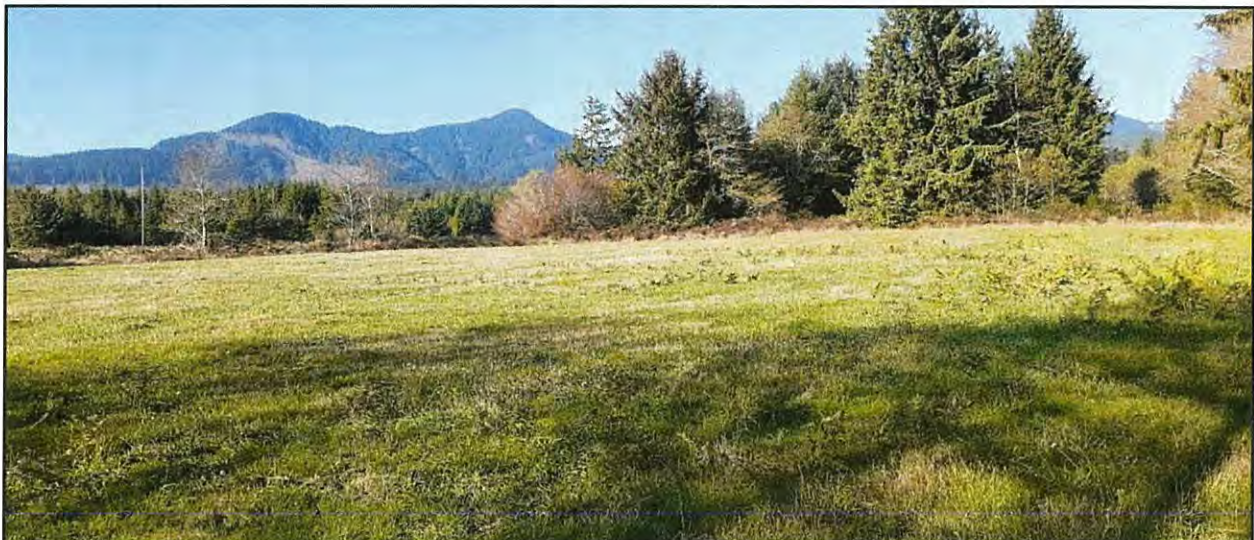


**Subject:       Engineering Geologic Hazard Report Update and Supplement Letter  
                  Tax Lot 3600 Map 3N 10W 23B  
                  Riverview Meadows Subdivision, Phase 2, 3 Combined  
                  Tillamook County, Oregon**

Dear Mr. Brown, Mr. Sheldon and Mr. Morgan,

As requested, I am pleased to submit this engineering geologic hazard report update and supplement letter for the combined Phase 2 and Phase 3 of the Riverview Meadows Subdivision, of Tax Lot 3600 on map 3N 10W 23B of Tillamook County. I conducted my initial geologic hazards reconnaissance site visit for Phase 2 of the subject residential subdivision on February 14, 2020, with Jason Morgan, P.E. of Morgan Civil Engineering, Inc. My engineering geologic hazards report for Phase 2 of this land division is dated February 25, 2020. I visited the Phase 3 portion of the subject property on November 17, 2022, again with Mr. Morgan, PE, the project Civil Engineer. We walked over and observed proposed roadway and building lot areas of the Phase 3 subdivision site. My engineering geologic hazards report for Phase 3 of the Riverview Meadows subdivision is dated November 21, 2022.

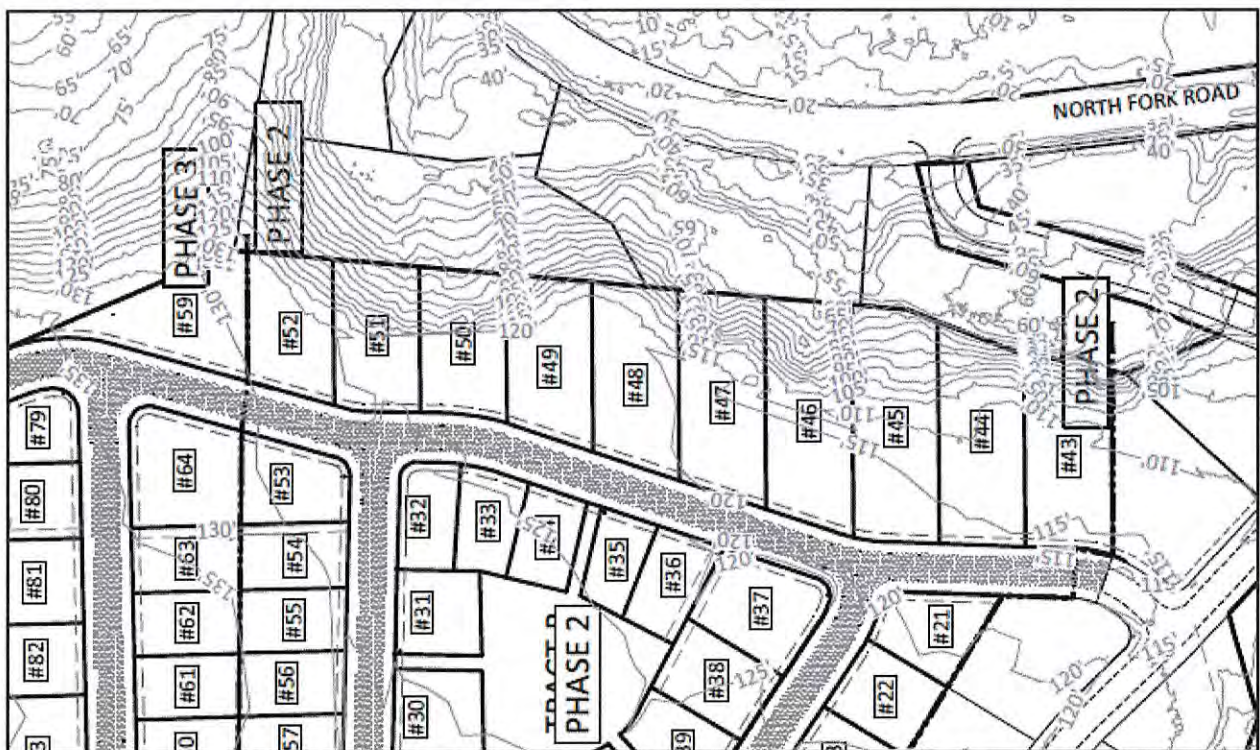
During our site reconnaissance visits, the Phase 2 portion of the property was a nearly level grassy upland meadow with an existing shallow drainage ditch presumably dug by a former property owner for drainage purposes for agricultural or grazing land use. The Phase 3 portion of the subject property had similar nearly level natural topography that was vegetated by grass covered meadow, and a grove of young to moderate age spruce trees, shown below in Photo 1.



**Photo 1-** November 17, 2022 north northwest facing photograph showing combined area of Phase 2, in foreground, and partially tree covered Phase 3 of Riverview Meadows Subdivision.

Mr. Morgan, PE and I visited the nearly completed combined Phase 2 and Phase 3 Riverview Meadows residential subdivision site again on Friday, December 12, 2025. During this site visit I noted that the grove of trees and their stumps and roots had been removed from the Phase 3 portion of the site. I observed that the project interior roadways and been graded and paved, road side ditches had been excavated, check dams had been installed in ditches, and underpass culverts had been installed below roadways and a drainage easement between building lots. Final site drainage connections and outlet discharge to Bob's Creek had been completed and were observed to be functioning satisfactorily following a week of heavy rain. No site erosion was observed.

In my engineering geologic hazards report for Riverview Meadows subdivision Phase 2 dated, February 25, 2020, I recommended that residential foundation excavations on individual building lots 39 through 47 that lie east of the 110 foot above mean sea level elevation contour be reviewed by an Engineering Geologist, Civil Engineer, or Geotechnical Engineer for slope stability concerns. In addition, I recommend that any portions of foundations on Lots 43 through 47 that extend east of the existing 120-foot above mean sea level elevation contour be similarly reviewed for slope stability concerns. Based on revised lot numbering for the combined Phase 2 and Phase 3 of the Riverview Meadows residential subdivision, the current lots that contain steep slopes and potential slope stability concerns for residential foundations are lots 43, 44, 45, 46, 47, 49, 50, 51 and 52, as shown in Figure 1, below.



**Figure 1-** Topographic Site Plan, Riverview Meadows combined Phase 2, Phase 3.

The revised lot numbers vary slightly from my 2020 report for Phase 2. However, I consider the proposed building site plan shown in Figure 1, above, to be in conformance with my understanding

of the proposed building areas adjacent to steep slopes at the time of preparation of my 2020 engineering geologic hazards report for Phase 2.

I recommend that any portions of residential foundations on Lots 43, 44, 45, 46, and 47 that lie east of the 110 foot above mean sea level elevation contour be reviewed by an Engineering Geologist, Civil Engineer, or Geotechnical Engineer for slope stability concerns. I further recommend that any portions of foundations on Lots 49, 50, 51 and 52 that lie east of the 120-foot above mean sea level elevation contour be reviewed for slope stability concerns by the Engineering Geologist, Civil Engineer, or Geotechnical Engineer.

Once the individual building lot site and foundation plans noted above are reviewed and approved by the Engineering Geologist, Civil Engineer, or Geotechnical Engineer, I recommend that individual home owners or builders contact the Engineering Geologist, Civil Engineer, or Geotechnical Engineer at the time of foundation excavation to request observation and approval of the completed foundation bearing surface preparation, or installation of piers or piles, if used, before foundation construction commences.

In my opinion, other than the lot numbers noted above with steep slopes, the remaining lots on the combined Phase 2 and Phase 3 Riverview Meadows residential subdivision do not contain steep slopes, have relatively shallow undisturbed native soil and shallow weathered sedimentary bedrock, and are suitable for conventional shallow residential foundation design and construction in accordance with the adopted edition of the Oregon Structural Specialty Code. Under these conditions, any structure foundation should completely penetrate fill, topsoil or disturbed native soil to bear on firm inorganic soil or weathered sedimentary bedrock.

With the exception of the lots noted above recommended for individual slope stability review by qualified geologic or engineering design professionals, it is my opinion that minor site grading for drainage away from structures, foundation and home construction on the individual lots as allowed, will not influence or increase geologic hazard to the subject lots, adjacent lots or street or drainage infrastructure within public right of way.

I'd like to add that, while my engineering geologic hazard report for Phase 2, dated February 25, 2020, and for Phase 3, dated November 21, 2022, were both prepared in accordance with the Development Requirements for Geologic Hazard Areas in the Tillamook County Land Use Ordinance (TCLUO), it has been brought to my attention that the Riverview Meadows subdivision has now been annexed or included within the City of Nehalem urban growth boundary. As such, it is my understanding that the City of Nehalem Land Use Ordinance Section 157.440- Geological Hazards, adopted by Ord. 2023-05, passed on October 9, 2023 applies to my previously submitted engineering geologic hazards reports prepared for Phase 2 and Phase 3 of the Riverview Meadows subdivision. I have reviewed the City of Nehalem Land Use Ordinance Section 157.440 - Geological Hazards, for the purpose of establishing that my scope of engineering geologic evaluation and reporting has been conducted in conformance with the City of Nehalem Land Use Ordinance Section 157.440. I find that the City of Nehalem's Geological Hazards land use ordinance Section 157.440 is very similar to the previous version of the Tillamook County Land Use Ordinance, Section 4.070, Development Requirements for Geologic

Hazard Areas, that was adopted December 18, 2002. It is my professional opinion that the engineering geologic reports I have prepared for Phase 2 and Phase 3 of the Riverview Meadows residential subdivision are in general conformance with the City of Nehalem Land Use Ordinance Section 157.440.

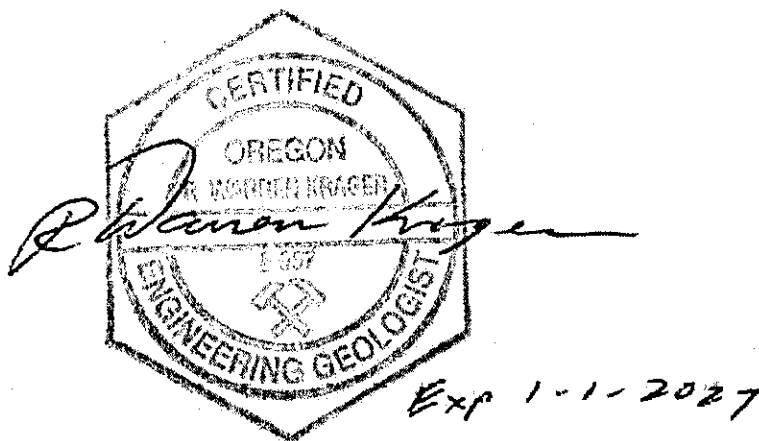
This Engineering Geologic Hazards Update and Supplement Letter should be submitted with, and used in conjunction with, my complete engineering geologic hazards report for Phase 2 of this land division dated February 25, 2020, and for Phase 3 dated November 21, 2022.

If unexpected subsurface conditions are encountered during any residential foundation construction, I or the project Civil or Geotechnical Engineer should be contacted to observe and advise if additional design or construction recommendations are warranted. If there is any question concerning differentiation of fill or disturbed ground from firm undisturbed native soil or weathered bedrock suitable for foundation support, I recommend that Mr. Morgan, P.E., or I be contacted and requested to observe and approve final excavated foundation bearing surfaces prior to foundation construction.

#### Limitations

The engineering geologic reconnaissance and geologic hazard review services performed for this project have been conducted with that level of care and skill ordinarily exercised by members of the profession currently practicing in this discipline and area under similar budget, time, and work scope constraints. This update and supplement letter (and my referenced engineering geologic hazard reports for Phase 2 of this land division dated February 25, 2020, and for Phase 3 dated November 21, 2022) may be used only by the client and their authorized agents for an additional three years from this letter date. If the project is further delayed, I would be happy to review site and design conditions and revise or update the reports as appropriate. If you have any questions regarding the information presented in this report, please do not hesitate to contact me at 360-903-4861 or warrenkrager@gmail.com.

Sincerely,



The image shows a professional seal for R. Warren Krager, a Certified Engineering Geologist in Oregon. The seal is circular with a hexagonal border. Inside the seal, the text reads "CERTIFIED OREGON ENGINEERING GEOLOGIST" around the perimeter. In the center, there is a smaller circle containing the name "R. WARREN KRAGER" and the year "1997". A hammer and pickaxe symbol is also present in the center. A handwritten signature "R. Warren Krager" is written across the seal. To the right of the seal, the text "Exp 1-1-2027" is handwritten.

R. Warren Krager, R.G., C.E.G.  
Oregon Licensed Engineering Geologist E-957



# MORGAN CIVIL ENGINEERING, INC.

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March 14, 2026

Riverview Meadows, LLC

Carey Sheldon

PO Box 883

Fairview, OR 97024



[careysheldon17@yahoo.com](mailto:careysheldon17@yahoo.com)

**Re: Update and Site Preparation Observation for Tax Lot 3600, Map 3N 10W 23BB,  
Tract 'B' of RIVERVIEW MEADOWS PHASE 1, Nehalem, Tillamook County, Oregon  
(Riverview Meadows Phase 2)  
#851-26-000056-PLNG  
Project #19-10-Riv**

Dear Mr. Sheldon:

At your request, I have observed the recent site preparation work at the subject property, referenced above. A Geologic Hazard Report (GHR) for southern portion of the property was completed by Morgan Civil Engineering, Inc. (MCE), and Warren Krager, CEG, dated February 4, 2021. A GHR for the northern portion of the property was completed by MCE and Mr. Krager on December 15, 2022.

Construction of the roadways and utilities, including grading and drainage improvements, was completed during 2024 and 2025. Mr. Krager has conducted a recent inspection of the site and prepared a supplemental letter addressing the current conditions, dated March 12, 2026.

I visited the site frequently while the construction work was being conducted. I observed the grading of the site, the installation of the utilities, the installation of the storm drainage improvements, and the construction of the roadways.

I inspected the native soil that the road was constructed on. As required by the Geologic Hazard Reports, the soil on the site consists of firm silty clay soil. This soil was observed in the excavation for the roadways as well as the utility trenches. There was no native fill placed on the site as part of the road construction. All excavated soil was removed from the property. The roadways were constructed on firm native soil that was determined to be adequate for support.

Site Preparation at

Tax Lot 3600, Map 3N 10W 23B

Nehalem, Tillamook County, Oregon

(Riverview Meadows Phase 2)

All trenches in the roadways were backfilled with imported crushed rock and compacted in lifts, as required by the GHR. All excavated soil from the trenches in the roadway was removed from the property. Native soil was only used as backfill for the trenches that were located outside of the planned rights-of-way.

Areas that were disturbed by grading and construction activities were revegetated using hydroseeding.

Stormwater run-off that was flowing onto the slope to the east has been collected in roadside ditches and directed to the existing drainage pipes and channels in Phase 1 of the subdivision at Riverview Meadows Lane (Tract 'C'). This area drains to Bob's Creek to the west.

It is my professional opinion that the site has been prepared per the recommendations of the Geologic Hazard Report. The improvements were constructed in a manner consistent with the requirements of the recommendations outlined in the Geologic Hazard Reports.

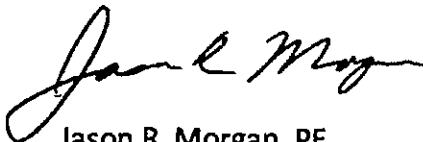
Future construction on the proposed individual lots should follow the recommendations in the 2021 and 2022 reports.

As noted in the March 2026 report by Mr. Krager, additional review should be conducted for homes constructed on the slopes on Lots 43-52. However, construction on the slope is not expected.

Should you have any questions regarding my inspection or recommendations, please contact me at [jason@morgancivil.com](mailto:jason@morgancivil.com) or 503-801-6016.

Sincerely,

**MORGAN CIVIL ENGINEERING, INC.**



Jason R. Morgan, PE

Professional Engineer

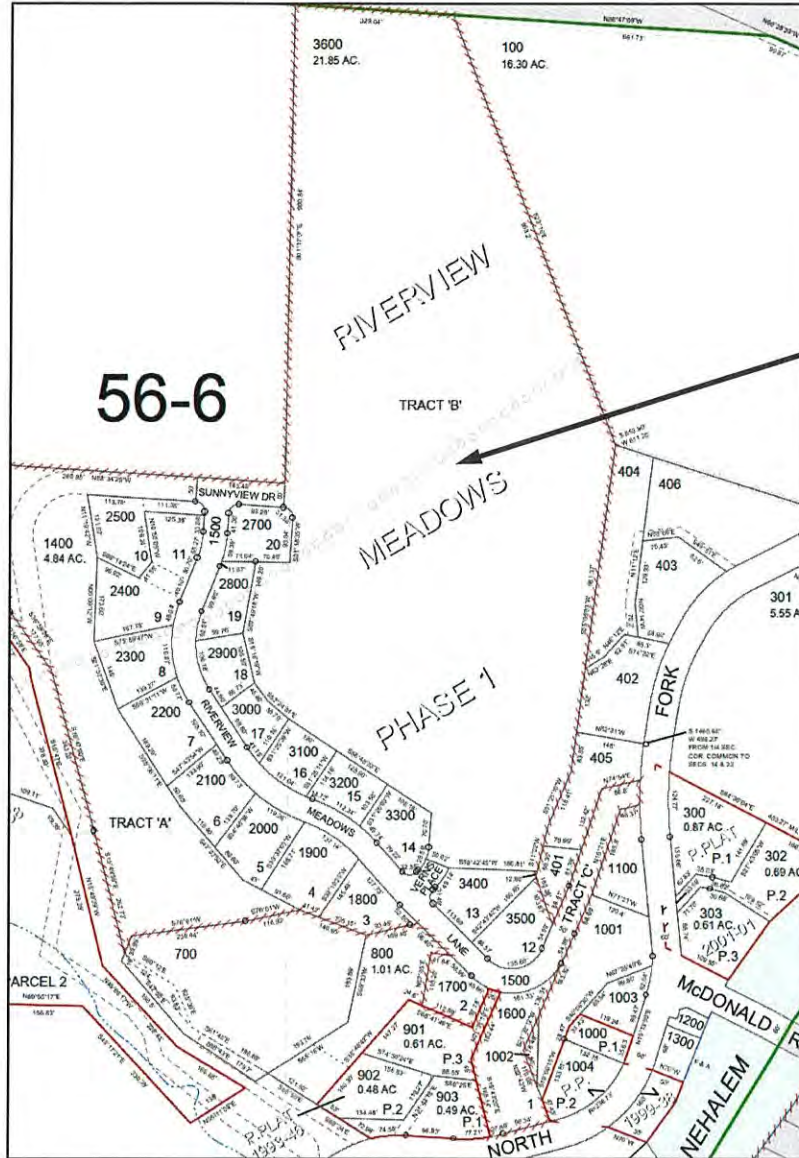
cc: [tbrownplan@gmail.com](mailto:tbrownplan@gmail.com)  
Project File #19-10-Riv

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RENEWAL DATE: DECEMBER 31, 2026

Site Preparation at  
Tax Lot 3600, Map 3N 10W 23B  
Nehalem, Tillamook County, Oregon  
(Riverview Meadows Phase 2)



**Tax Lot 3600, Map 3N 10W 23BB**  
**Tract 'B' of RIVERVIEW MEADOWS PHASE 1**  
**Nehalem, Tillamook County, Oregon**  
**(Riverview Meadows Phase 2)**



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Drainage Calculations for

Riverview Meadows Phase 2

Tax Lot 3600, Map 3N 10W 23B

Nehalem, Tillamook County, Oregon

Project #19-10-Riv

January 14, 2026



RENEWAL DATE: DECEMBER 31, 2026

## Table of Contents

Sheet No.	Description
1.	Cover Sheet, Table of Contents and Design Criteria
2.	Narrative of Engineering Analysis
6.	On-Site Drainage Pattern
7.	Off-Site Drainage Pattern
8.	Stormwater Run-off Calculations
10.	Kirpich Chart
11.	Seely Chart
12.	ODOT Hydraulics Manual – Table 1
13.	Zone 2 Rainfall Curves

## Design Criteria

### Drainage Run-off – Rational Method

#### Intensity

Rainfall Intensity-Duration-Recurrence Interval Curves  
ODOT Hydraulics Manual, Zone 2

#### Rational Method - Run-off Coefficients

Meadow	0.25
Residential (Normal – 4.8 units/acre)	0.50

#### Manning's Equation - Coefficients

n – (HDPE pipe)	0.012
n – (rock lined ditch, jagged)	0.035

## **Narrative of Engineering Analysis**

These calculations have been prepared to address the stormwater run-off from the proposed development on the subject property. This property slopes gently to the southeast and has been developed for home construction. Phase 1 of the development has been developed and most of the twenty lots are developed with homes. The roadway improvements for Phase 2 have been constructed, including paving and drainage culverts.

These calculations determine the rate of stormwater run-off from the site. The collected water will combine with water from Phase 1. Water run-off from Phase 1 currently flows through culverts and a settlement pond, and then into Bob's Creek, at the base of the slope to the southwest. Bob's Creek flows into the Nehalem River to the southeast.

The proposed development will consist of 74 new single-family homes. The utilities and roadways to serve the lots have been constructed. The property slopes down to the southeast at roughly 2 percent. The calculations show that the planned drainage system can safely convey the run-off from a 100-year storm event.

The property consists of a layer of organic topsoil over dense silty clay. Prior to construction, there were currently vegetated ditches on the property that direct water to the south and east, off the property. The attached drawings show the previous drainage routes.

### **Phase 1 Drainage**

Phase 1 of Riverview Meadows as constructed in 2010. The collected stormwater from Phase 1 flows into a roadside ditch and southward to a culvert system which runs behind Lot 3. Water from the homes on the east side of the roadway is discharged into the roadside. Most use a drywell system with an overflow to the ditch in order to slow water run-off.

The water runs in the culverts to the base of the hill to the southwest. At that point, records show that there is an energy dissipater and a sediment pond. The water then flows through culverts under the gravel roadway and Tax Lot 502, and into Bob's Creek.

### **Phase 2 Drainage Area**

The roads and culverts in Phase 2 were constructed in 2025. Prior to construction, most of the water on the property flowed eastward in ditches and through private property down to the North Fork Road. There is also water entering the property from the northeast through Tax Lot 600. There were two defined channels that went down the slope to the east. They were located at what is proposed as Lot 51 and Lot 46.

Phase 2 incorporates about 22 acres of meadows and roadways. There were trees in the northern portion of the property. The eastern edge of the site continues to drain to the east, down the slope. This area is to the east of the new roadway referred to as Coltlee Drive, and is an extension of Vern's Place. This area is shown as Lots 43-52 and Lot 59.

The drainage area to the northeast that directs water through Tax Lot 600 into the property consists of roughly 42 acres of forested land. This water is collected in a ditch located at the western edge of the property which is north of Phase 1.

The stormwater from the property is now directed with ditches and culverts to Vern's Place (Coltlee Drive) in order to combine with the run-off from Phase 1 and be piped to Bob's Creek. The ditches and culverts have been installed.

The roadside ditches are typically V-shaped ditches that are 4 feet wide and 2 feet deep.

### **Entrance (Riverview Drive) – Off-site**

The high point of Riverview Drive is located near the center of the existing asphalt hammerhead known as Sunnyview Drive (Riverview Drive). The water to the east of the high point flows eastward into the property through the ditches down to Vern's Place (Coltlee Drive) and to Bob's Creek with run-off from the property.

The area to the west of the high point flows down the entrance roadway to the west. The roadway is pitched to drain to the east to a vegetated roadside ditch. An old culvert directs water across the roadway just north of Tax Lot 502, below Lot 7.

Water run-off from the lower portion of the roadway is collected in catch basins on the east side of the road and the piped under the roadway near Tax Lot 800 to the wetlands adjacent to Bob's Creek.

Before the recent construction, the roadway was gravel and about 16 feet wide. The only water on the newly paved road will be from the roadway. The ditch will also collect any water run-off from the slope in Tract A of Riverview Meadows.

### Calculations

The attached calculations show the run-off from the planned development and Phase 1, and the capacities of the pipes down to Bob's Creek. The Manning Equation was used to verify that the existing pipes are adequate for the total proposed flow.

The attached calculations show the expected rate of flow and the capacity of the ditch. As shown, a ditch with a 2 percent slope is generally adequate for the run-off. Larger ditches have been constructed for conveying the water which enters the property at the northwest edge. The existing gravel roadway in the easement west of Lot 3 has a slope of about 15 percent, so the culvert is adequate to handle the increased run-off.

A feeder ditch system with water from sections of the developed area feeding into a main drainage route which includes off-site drainage. The smaller areas include the northern portion of the property and the western portion of the southern half of the property.

Due to varying area and cover, each section has a different time of concentration for run-off. The sections are Phase 1, Phase 2 and off-site run-off. The storm event for each of these times were each checked to determine the maximum flows.

- Run-off from Phase 1 and a Portion of Phase 2.  
5-minute time of concentration.
- Runoff from Phase 1, all of Phase 2, and a portion of the off-site drainage area.  
10-minute time of concentration.
- Runoff from Phase 1, all of Phase 2, and all of the off-site drainage area.  
over 30-minute time of concentration.

The 10-minute storm was determined to produce the highest flows leaving Phase 2, and flowing to that detention pond that drains to Bob's Creek. The 5-minute storm produced the highest flows on-the site.

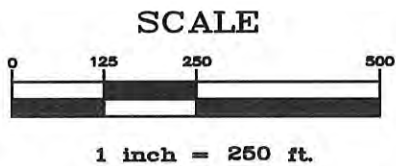
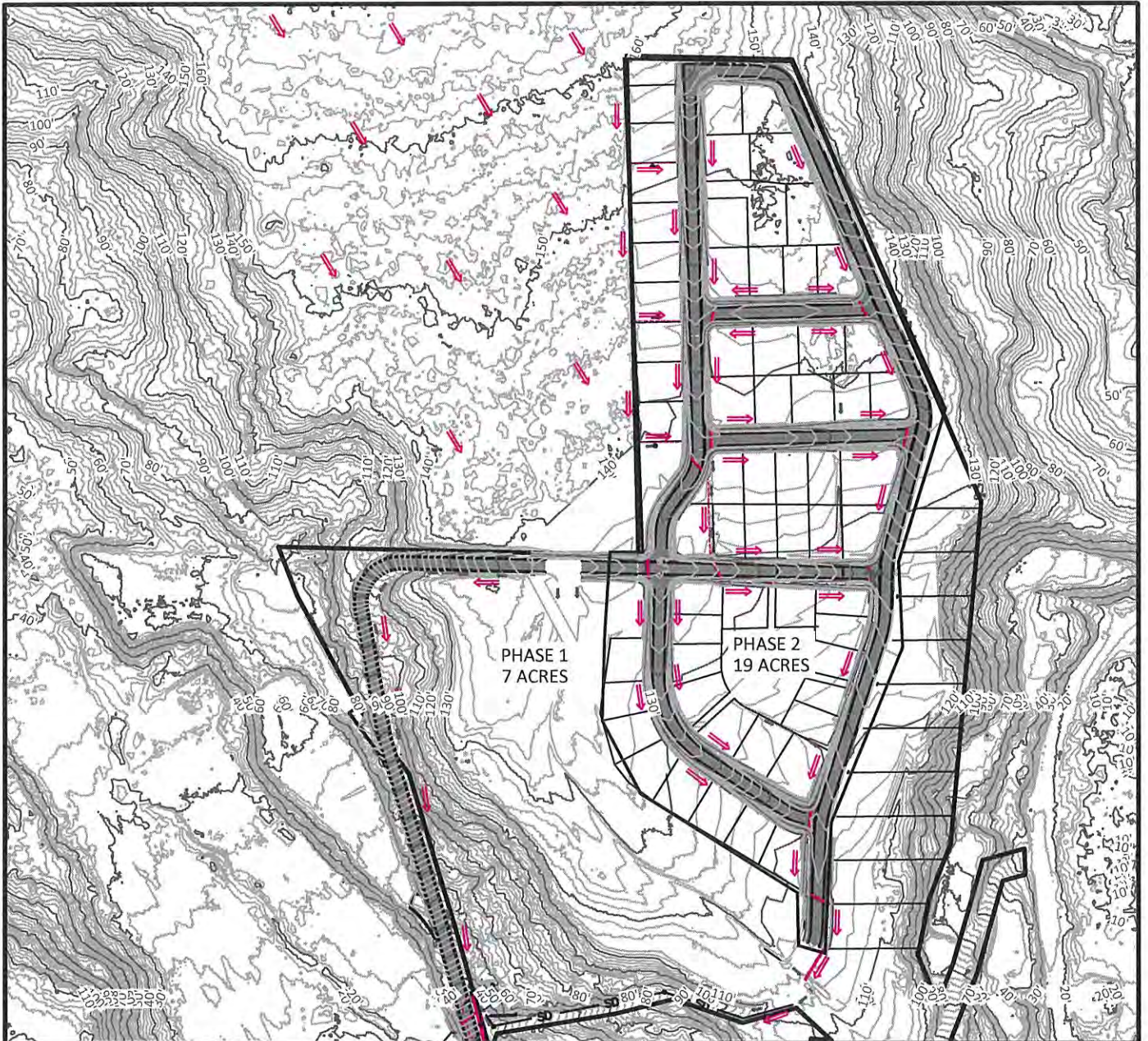
Onsite- there are 18-inch culverts that collect water locally. Rough, each quarter of the property drains to the main channel. The main drainage channel that conveys the water run-off from the off-site forested area to the northwest includes 24-inch culverts. The pipes down the hill behind Lot 3 are two 18-inch culverts.

### **Stormwater Treatment**

The water that flows through the culvert at Lot 3 flows through an existing energy dissipater and sedimentation pond before entering Bob's Creek.

Water that flows down the entrance road will continue to follow the roadway. To direct the flow, the roadway will be pitched to a vegetated ditch on the east side. The upper portion will continue to discharge through a culvert near the north end of Tax Lot 502.

<V:\19-10-Riv\Reports\Riverview Stormwater - 2026.docx>



- DRAINAGE FLOW
- CULVERTS

JAN. 2026

**RIVERVIEW MEADOWS**  
 PHASE 2  
 SITE LAYOUT  
 DRAINAGE ROUTES

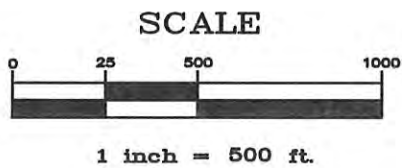
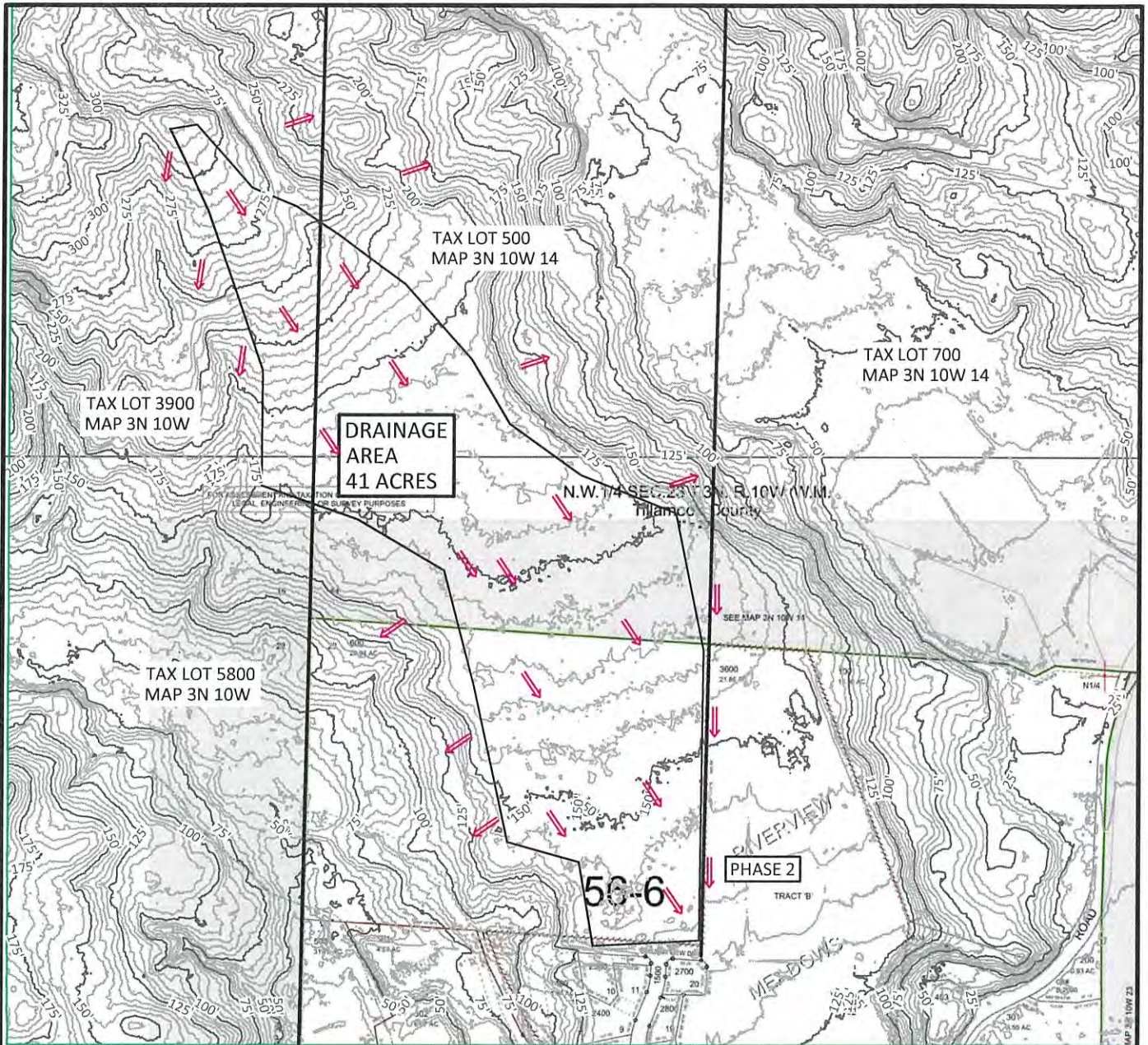
NEHALEM/MAP 3N 10W 23



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DRAINAGE FLOW

JAN. 2026

**RIVERVIEW MEADOWS**

PHASE 2  
OFF-SITE AREA  
DRAINAGE AREA

NEHALEM/MAP 3N 10W 23



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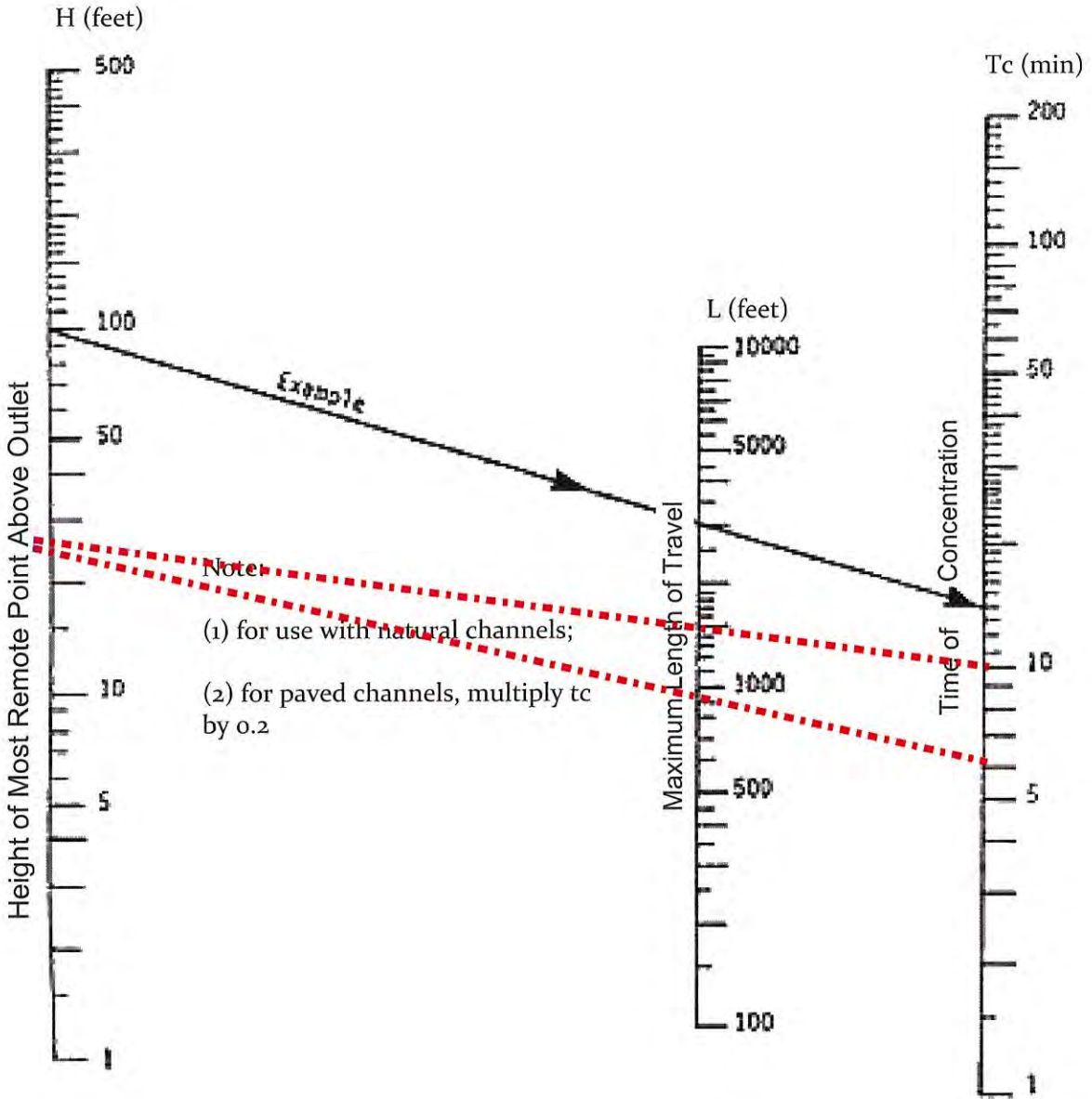
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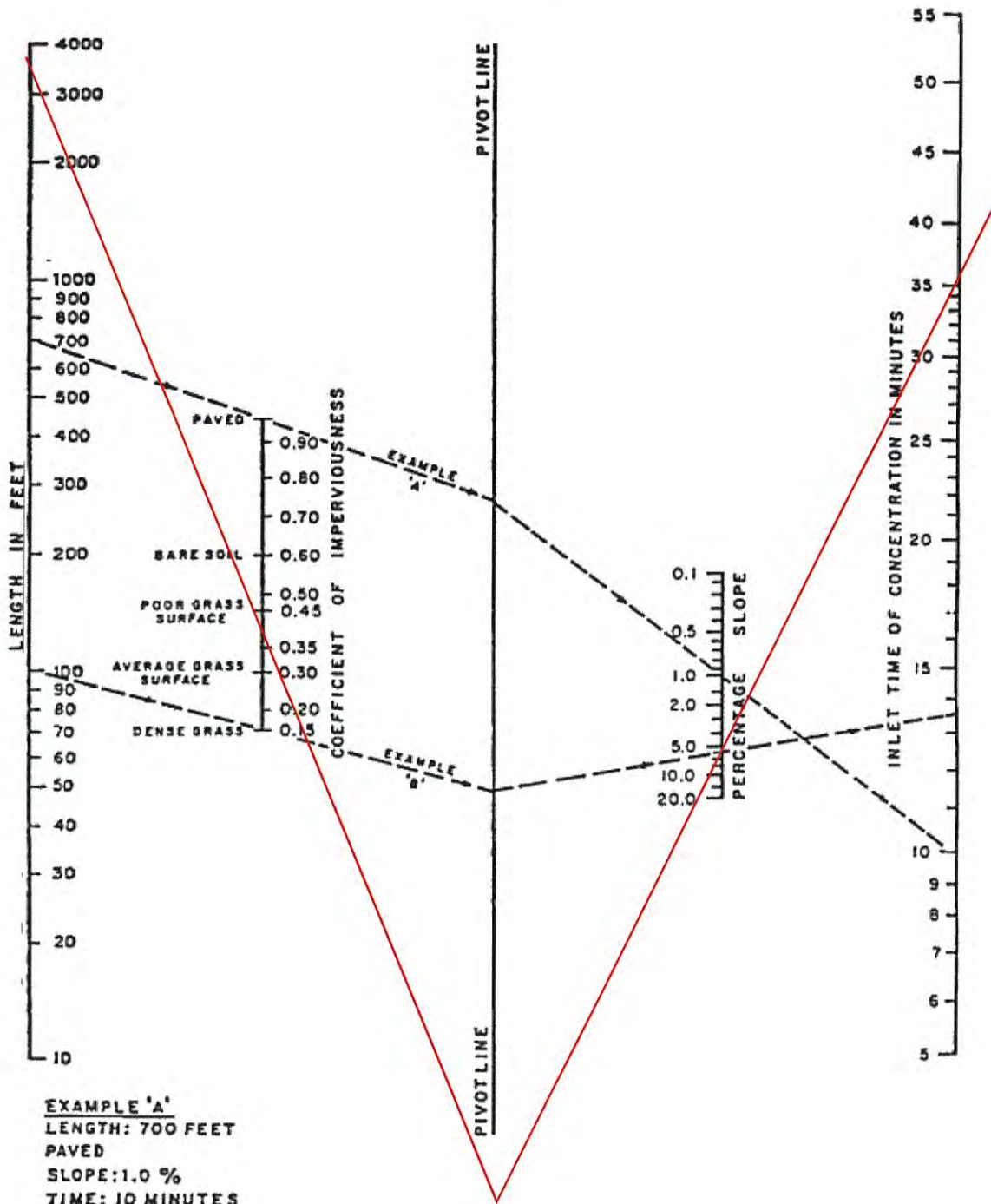
Run-off from Phase 1, Phase 2, and a portion of Off-site Area				
Time of Concentration	10 minutes			
Rainfall Intensity (100 year)	3.00 in/hr			
	Phase 1	Phase 2	Off-site	
Area	300,000	830,000	600,000	
A=	6.89	19.05	13.77	
C=	0.50	0.50	0.14	
<b>Q=CiA</b>	<b>10.3</b>	<b>28.6</b>	<b>5.8</b>	
				<b>Flow</b>
			Water from Phase 2 and Portion of off-site.	34.4 CFS
			Water from Phase 1, Phase 2, and portion of off-site	44.7 CFS
Run-off from Phase 1, Phase 2, and Off-site Area				
Time of Concentration	30 minutes			
Rainfall Intensity (100 year)	1.86 in/hr			
	Phase 1	Phase 2	Off-site	
Total area	300,000	830,000	1,800,000	
A=	6.89	19.05	41.32	
C=	0.50	0.50	0.15	
<b>Q=CiA</b>	<b>6.4</b>	<b>17.7</b>	<b>11.5</b>	
				<b>Flow</b>
			Water from Phase 2 and off-site.	29.2 CFS
			Water from Phase 1, Phase 2, and off-site	35.7 CFS
Peak Flows				
	Time of concentration	On-site	Main Channel	Off-site
	5	18.3		31.6 cfs
	9		34.4	44.7 cfs
	30		29.2	35.7 cfs
	<b>MAX</b>	<b>18.3</b>	<b>34.4</b>	<b>44.7 cfs</b>
Pipe Capacity				
Pipe Size		18	24	18 IN
Pipe Diameter		1.5	2	1.5 FT
Slope		15.0%	2.0%	15.0%
Number of pipes		1	1	2 EACH
n, HDPE		0.012	0.012	0.012
hydraulic radius, Rh		0.375	0.5	0.375 FT
V		<b>25.17</b>	<b>11.11</b>	<b>25.17 FPS</b>
Pipe Area		<b>1.77</b>	<b>3.14</b>	<b>3.53 SF</b>
Capacity - Q		<b>44.5</b>	<b>34.9</b>	<b>89.0 CFS</b>
Calculated Run-off (Max)		18.3	34.4	44.7 CFS

## TRAVEL TIME FOR CHANNEL FLOW (Kirpich Chart)



Time of Concentration of Small Drainage Basins

# Seelye Chart



**EXAMPLE 'A'**  
 LENGTH: 700 FEET  
 PAVED  
 SLOPE: 1.0 %  
 TIME: 10 MINUTES

**EXAMPLE 'B'**  
 LENGTH: 100 FEET  
 DENSE GRASS  
 SLOPE: 6.0 %  
 TIME: 13 1/2 MINUTES

SEELYE CHART  
 TIME OF CONCENTRATION

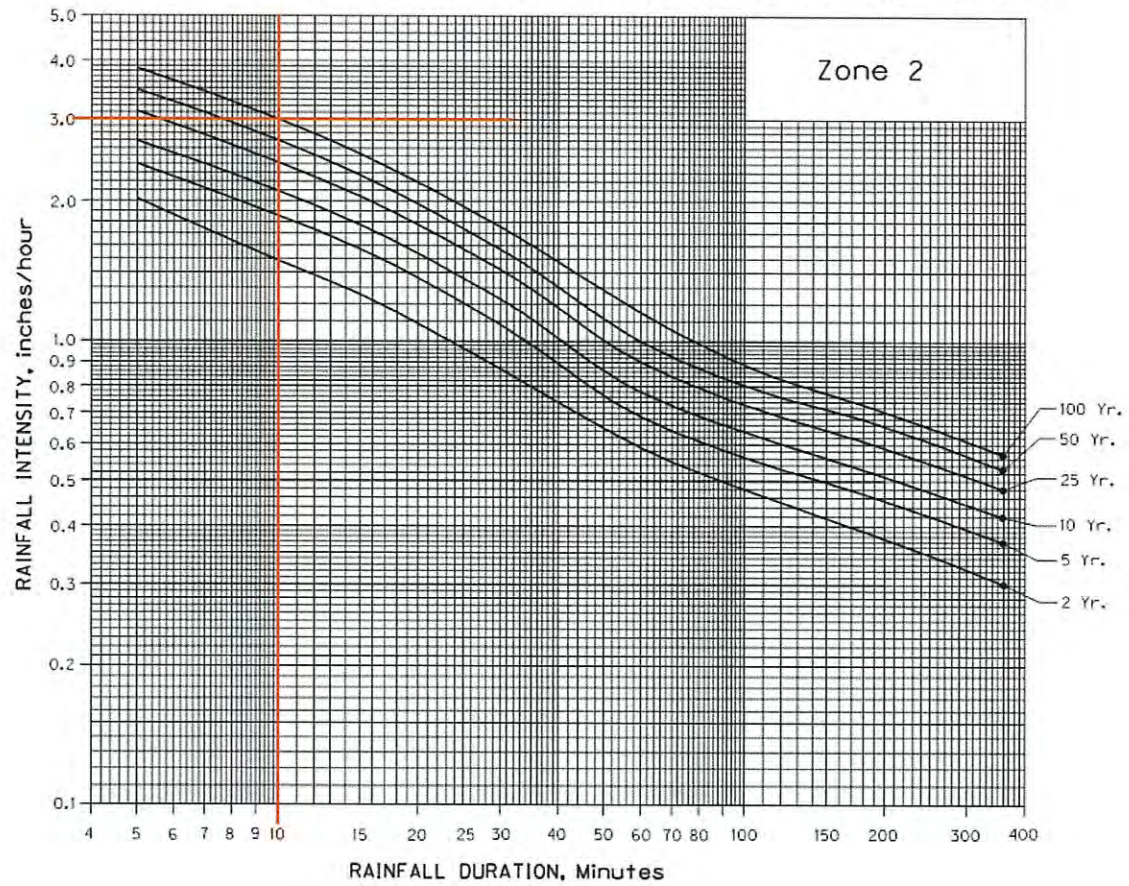
**Table 1 Runoff Coefficients for the Rational Method**

	FLAT	ROLLING	HILLY
Pavement & Roofs	<b>0.90</b>	<b>0.90</b>	<b>0.90</b>
Earth Shoulders	0.50	0.50	0.50
Drives & Walks	0.75	0.80	<b>0.85</b>
Gravel Pavement	<b>0.85</b>	<b>0.85</b>	<b>0.85</b>
City Business Areas	0.80	<b>0.85</b>	<b>0.85</b>
Apartment Dwelling Areas	0.50	0.60	0.70
Light Residential: 1 to 3 units/acre	0.35	0.40	0.45
Normal Residential: 3 to 6 units/acre	<b>0.50</b>	0.55	0.60
Dense Residential: 6 to 15 units/acre	0.70	0.75	0.80
Lawns	0.17	0.22	0.35
Grass Shoulders	0.25	0.25	0.25
Side Slopes, Earth	0.60	0.60	0.60
Side Slopes, Turf	0.30	0.30	0.30
Median Areas, Turf	0.25	0.30	0.30
Cultivated Land, Clay & Loam	0.50	0.55	0.60
Cultivated Land, Sand & Gravel	0.25	0.30	0.35
Industrial Areas, Light	0.50	0.70	0.80
Industrial Areas, Heavy	0.60	0.80	<b>0.90</b>
Parks & Cemeteries	0.10	0.15	0.25
Playgrounds	0.20	0.25	0.30
Woodland & Forests	0.10	<b>0.15</b>	0.20
Meadows & Pasture Land	0.25	0.30	0.35
Unimproved Areas	0.10	0.20	0.30

*Note:*

- **Impervious surfaces in bold**
- *Rolling = ground slope between 2 percent to 10 percent*
- *Hilly = ground slope greater than 10 percent*

# RAINFALL INTENSITY - DURATION - RECURRENCE INTERVAL CURVES



December 19, 2025

Cary Sheldon, Riverview Meadows Development LLC

in care of:

Jason R. Morgan, PE,

Morgan Civil Engineering, Inc.

**Subject:       Engineering Geologic Hazard Report Update and Supplement Letter  
Tax Lot 3600 Map 3N 10W 23B  
Riverview Meadows Subdivision, Phase 2, 3 Combined  
Tillamook County, Oregon**

Dear Mr. Sheldon and Mr. Morgan,

As requested, I am pleased to submit this engineering geologic hazard report update and supplement letter for the combined Phase 2 and Phase 3 of the Riverview Meadows Subdivision, of Tax Lot 3600 on map 3N 10W 23B of Tillamook County. I conducted my initial geologic hazards reconnaissance site visit for Phase 2 of the subject residential subdivision on February 14, 2020, with Jason Morgan, P.E. of Morgan Civil Engineering, Inc. My engineering geologic hazards report for Phase 2 of this land division is dated February 25, 2020. I visited the Phase 3 portion of the subject property on November 17, 2022, again with Mr. Morgan, PE, the project Civil Engineer. We walked over and observed proposed roadway and building lot areas of the Phase 3 subdivision site. My engineering geologic hazards report for Phase 3 of the Riverview Meadows subdivision is dated November 21, 2022.

During our site reconnaissance visits, the Phase 2 portion of the property was a nearly level upland grassy meadow with an existing shallow drainage ditch presumably dug by a former property owner for drainage purposes for agricultural or grazing land use. The Phase 3 portion of the subject property had similar nearly level natural topography that was vegetated by grass covered meadow, and a grove of young to moderate age spruce trees, shown below in Photo 1.



**Photo 1-** November 17, 2022 north northwest facing photograph showing combined area of Phase 2, in foreground, and partially tree covered Phase 3 of Riverview Meadows Subdivision.

Mr. Morgan, PE and I visited the nearly completed combined Phase 2 and Phase 3 Riverview Meadows residential subdivision site again on Friday, December 12, 2025. During this site visit I noted that the grove of trees and their stumps and roots had been removed from the Phase 3 portion of the site. I observed that the project interior roadways and been graded and paved, road side ditches had been excavated, check dams had been installed in ditches, and underpass culverts had been installed below roadways and a drainage easement between building lots. Final site drainage connections and outlet discharge to Bob's Creek had been completed and were observed to be functioning satisfactorily following a week of heavy rain. No site erosion was observed.

In my engineering geologic hazards report for Riverview Meadows subdivision Phase 2 dated, February 25, 2020, I recommended that residential foundation excavations on individual building lots 39 through 47 that lie east of the 110 foot above mean sea level elevation contour be reviewed by an Engineering Geologist, Civil Engineer, or Geotechnical Engineer for slope stability concerns. In addition, I recommend that any portions of foundations on Lots 43 through 47 that extend east of the existing 120-foot above mean sea level elevation contour be similarly reviewed for slope stability concerns. Based on revised lot numbering for the combined Phase 2 and Phase 3 of the Riverview Meadows residential subdivision, the current lots that contain steep slopes and potential slope stability concerns for residential foundations are lots 43, 44, 45, 46, 47, 49, 50, 51 and 52, as shown in Figure 1, below.



Figure 1- Topographic Site Plan, Riverview Meadows combined Phase 2, Phase 3.

The revised lot numbers vary slightly from my 2020 report for Phase 2. However, I consider the proposed building site plan shown in Figure 1, above, to be in conformance with my understanding

of the proposed building areas adjacent to steep slopes at the time of preparation of my 2020 engineering geologic hazards report for Phase 2.

I recommend that any portions of residential foundations on Lots 43, 44, 45, 46, and 47 that lie east of the 110 foot above mean sea level elevation contour be reviewed by an Engineering Geologist, Civil Engineer, or Geotechnical Engineer for slope stability concerns. I further recommend that any portions of foundations on Lots 49, 50, 51 and 52 that lie east of the 120-foot above mean sea level elevation contour be reviewed for slope stability concerns by the Engineering Geologist, Civil Engineer, or Geotechnical Engineer.

Once the individual building lot site and foundation plans noted above are reviewed and approved by the Engineering Geologist, Civil Engineer, or Geotechnical Engineer, I recommend that individual home owners or builders contact the Engineering Geologist, Civil Engineer, or Geotechnical Engineer at the time of foundation excavation to request observation and approval of the completed foundation bearing surface preparation, or installation of piers or piles, if used, before foundation construction commences.

In my opinion, other than the lot numbers noted above with steep slopes, the remaining lots on the combined Phase 2 and Phase 3 Riverview Meadows residential subdivision do not contain steep slopes, have relatively shallow undisturbed native soil and shallow weathered sedimentary bedrock, and are suitable for conventional shallow residential foundation design and construction in accordance with the adopted edition of the Oregon Structural Specialty Code. Under these conditions, any structure foundation should completely penetrate fill, topsoil or disturbed native soil to bear on firm inorganic soil or weathered sedimentary bedrock.

With the exception of the lots noted above recommended for individual slope stability review by qualified geologic or engineering design professionals, it is my opinion that minor site grading for drainage away from structures, foundation and home construction on the individual lots as allowed, will not influence or increase geologic hazard to the subject lots, adjacent lots or street or drainage infrastructure within public right of way.

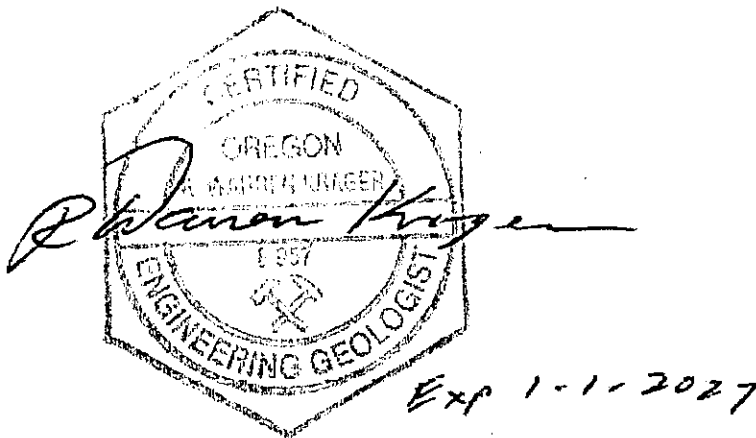
This Engineering Geologic Hazards Update and Supplement Letter should be submitted with, and used in conjunction with, my complete engineering geologic hazards report for Phase 2 of this land division dated February 25, 2020, and for Phase 3 dated November 21, 2022.

If unexpected subsurface conditions are encountered during any residential foundation construction, I or the project Civil or Geotechnical Engineer should be contacted to observe and advise if additional design or construction recommendations are warranted. If there is any question concerning differentiation of fill or disturbed ground from firm undisturbed native soil or weathered bedrock suitable for foundation support, I recommend that Mr. Morgan, P.E., or I be contacted and requested to observe and approve final excavated foundation bearing surfaces prior to foundation construction.

**Limitations**

The engineering geologic reconnaissance and geologic hazard review services performed for this project have been conducted with that level of care and skill ordinarily exercised by members of the profession currently practicing in this discipline and area under similar budget, time, and work scope constraints. This update and supplement letter (and my referenced engineering geologic hazard reports for Phase 2 of this land division dated February 25, 2020, and for Phase 3 dated November 21, 2022) may be used only by the client and their authorized agents for an additional three years from this letter date. If the project is further delayed, I would be happy to review site and design conditions and revise or update the reports as appropriate. If you have any questions regarding the information presented in this report, please do not hesitate to contact me at 360-903-4861 or warrenkrager@gmail.com.

Sincerely,



R. Warren Krager, R.G., C.E.G.  
Oregon Licensed Engineering Geologist E-957



21370 SW Langer Farms Pkwy  
Suite 142, Sherwood, OR 97140



# Technical Memorandum

**To:** Carey Sheldon,  
Riverview Meadows, LLC  
**From:** Michael Ard, PE  
**Date:** December 29, 2025  
**Re:** Riverview Meadows – Analysis Update Memorandum

The prior approval of the Riverview Meadows residential development has expired, and a new application is being prepared. This analysis update memorandum is written to provide a summary of the elements included in the original Traffic Impact Study dated October 7, 2022, describing which conclusions remain valid and providing updates for any portions which may require updates.

The prior traffic study examined the combined impact of constructing 74 additional single-family homes on the subject property. The unit counts and associated trip generation projections remain valid for the current application.

## Operational Analysis

Traffic count data was collected for the project in August 2022. Although more than three years have passed since the data was collected, examination of the prior operational analysis reveals that all study intersections were projected to operate far from capacity. Rather than collecting new count data, a sensitivity analysis was conducted assuming that the delay in development could have allowed traffic volumes on the surrounding street system to increase over time. The expected margin of increase for a three-year delay would be about 6 percent, but to demonstrate that even an extremely high assumed growth rate would not meaningfully impact the analysis results, the background traffic volumes were assumed to have doubled in the three intervening years. The table below shows the results of this extremely conservative analysis.

### Operational Analysis Update Summary: Future Conditions

Intersection	AM Peak Hour			PM Peak Hour		
	Delay	LOS	v/c	Delay	LOS	v/c
Northfork Rd at South Site Access						
2025 Background plus Site (prior analysis)	9.2	A	0.02	8.9	A	0.02
2028 Background plus Site (doubled)	10.0	B	0.03	9.5	A	0.02
Northfork Rd at McDonald Dike Rd						
2025 Background plus Site (prior analysis)	9.4	A	0.04	9.5	A	0.05
2028 Background plus Site (doubled)	10.7	B	0.09	11.1	B	0.12
Northfork Rd at Riverview Meadows Ln						
2025 Background plus Site (prior analysis)	8.9	A	0.03	8.8	A	0.04
2028 Background plus Site (doubled)	9.2	A	0.05	9.2	A	0.06



The updated analysis shows that even if traffic volumes had doubled in the three years that have passed, the study intersections would still be projected to operate well within capacity (12 percent of capacity or less) and at level of service B or better. Since actual traffic volumes in the site vicinity have not doubled in the last three years, we can confidently conclude that the study intersections will operate acceptably upon completion of the proposed residential development in 2028. The original conclusion that the study intersections will operate acceptably through 2025 remains valid through (and beyond) year 2028.

### Warrant Analysis

Traffic signal warrants require a minimum volume of traffic on the side-street approaches which was not met in the prior analysis. Since the side-street approach volumes are not projected to increase based on the passage of time absent additional development that takes access via Riverview Meadows Lane and the South Site Access roadway, traffic signal warrants are also not projected to be met under the current proposal.

Similarly, turn lane warrants were not projected to be met for the study intersections due to the low traffic volumes at the study intersections. These conclusions also remain valid now.

Based on the review of the warrant analysis, the conclusions of the October 2022 traffic impact study also remain valid.

### Crash History

Analysis of crash history is typically undertaken using the most recent five years of data available for the study intersections. Since more than three years have passed since the prior crash analysis, it is appropriate to examine the more recent crash history for the study intersection rather than relying on outdated crash data. Accordingly, an update to the prior crash analysis was undertaken in preparation of this memorandum.

The prior analysis included crash history over the most recent five years for which data was available, from January 2016 through December 2020. Complete crash data is now available for the period from January 2019 through December 2023. During this period, there were six reported crashes along the length of Northfork Road, including three that were also part of the prior data set and three new crashes. Although none of the reported crashes were related to operation of study area intersections, one of the crashes occurred mid-way between the north site access at River View Meadows Lane and McDonald Dike Road. This crash was a fixed object, run-off-road collision in which a driver traveling along Northfork Road swerved to miss a deer or elk and struck a tree. The crash resulted in property damage only (i.e., no injuries).

Based on the updated crash data, no significant existing safety hazards were identified in the site vicinity.



### Intersection Sight Distance

The data and conclusions used in the intersection sight distance analysis prepared for the October 2022 traffic impact study remain valid. The available sight distances are adequate for safe operation, and no sight distance improvements are recommended in conjunction with the proposed development.

### Site Access Geometry

The prior analysis of roadway geometry provided in the October 2022 analysis also remains valid. Projected future traffic volumes on the site access roadways are within their respective capacities; however, large trucks may have difficulty navigating the turn from Northfork Road onto River Meadows Lane. The south site access roadway has been improved, and it is still recommended that large trucks be directed to use the south site access roadway.

### Conclusions

Based on the detailed examination of the data, analysis and conclusions provided in the October 2022 traffic impact study, most of the analysis remains valid for the current residential development proposal. However, some additional analysis was undertaken to verify that study area intersections will operate acceptably through year 2028 and that recent crash history is not indicative of safety problems that were not evident in the prior analysis.

The updated operational analysis demonstrated that the study area intersections will continue to operate acceptably beyond year 2028, and the updated crash analysis showed no new safety hazards requiring mitigation. The roadways and intersections in the study area are still projected to be capable of safely supporting the proposed development.

Based on the analysis, the conclusions of the original 2022 River Meadows Traffic Impact Study remain valid, and no additional mitigations are recommended in conjunction with the anticipated completion of the current development proposal in year 2028.

If you have any further questions regarding this update memorandum or the prior October 2022 traffic impact study which this memorandum refreshes, please contact Michael Ard, PE at (503)537-8511.

## Appendix

Intersection						
Int Delay, s/veh	0.8					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	Y			4	4	
Traffic Vol, veh/h	3	15	5	46	85	1
Future Vol, veh/h	3	15	5	46	85	1
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	87	87	87	87	87	87
Heavy Vehicles, %	33	33	13	13	9	9
Mvmt Flow	3	17	6	106	195	1

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	314	196	196	0	-	0
Stage 1	196	-	-	-	-	-
Stage 2	118	-	-	-	-	-
Critical Hdwy	6.73	6.53	4.23	-	-	-
Critical Hdwy Stg 1	5.73	-	-	-	-	-
Critical Hdwy Stg 2	5.73	-	-	-	-	-
Follow-up Hdwy	3.797	3.597	2.317	-	-	-
Pot Cap-1 Maneuver	619	772	1314	-	-	-
Stage 1	768	-	-	-	-	-
Stage 2	836	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	616	772	1314	-	-	-
Mov Cap-2 Maneuver	616	-	-	-	-	-
Stage 1	764	-	-	-	-	-
Stage 2	836	-	-	-	-	-

Approach	EB	NB	SB
HCM Ctrl Dly, s/v	10	0.4	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1314	-	741	-	-
HCM Lane V/C Ratio	0.004	-	0.028	-	-
HCM Ctrl Dly (s/v)	7.8	0	10	-	-
HCM Lane LOS	A	A	B	-	-
HCM 95th %tile Q (veh)	0	-	0.1	-	-

Intersection						
Int Delay, s/veh	2.5					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W	T	T	T	T	T
Traffic Vol, veh/h	23	4	38	13	11	60
Future Vol, veh/h	23	4	38	13	11	60
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	87	87	87	87	87	87
Heavy Vehicles, %	14	14	8	8	7	7
Mvmt Flow	53	9	87	30	25	138

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	290	102	0	0	117
Stage 1	102	-	-	-	-
Stage 2	188	-	-	-	-
Critical Hdwy	6.54	6.34	-	-	4.17
Critical Hdwy Stg 1	5.54	-	-	-	-
Critical Hdwy Stg 2	5.54	-	-	-	-
Follow-up Hdwy	3.626	3.426	-	-	2.263
Pot Cap-1 Maneuver	676	921	-	-	1441
Stage 1	893	-	-	-	-
Stage 2	816	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	663	921	-	-	1441
Mov Cap-2 Maneuver	663	-	-	-	-
Stage 1	893	-	-	-	-
Stage 2	800	-	-	-	-

Approach	WB	NB	SB
HCM Ctrl Dly, s/v	10.7	0	1.2
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	692	1441
HCM Lane V/C Ratio	-	-	0.09	0.018
HCM Ctrl Dly (s/v)	-	-	10.7	7.5
HCM Lane LOS	-	-	B	A
HCM 95th %tile Q (veh)	-	-	0.3	0.1

Intersection						
Int Delay, s/veh	2.8					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	T		T		T	
Traffic Vol, veh/h	3	35	17	28	29	1
Future Vol, veh/h	3	35	17	28	29	1
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	82	82	82	82	82	82
Heavy Vehicles, %	25	25	13	13	7	7
Mvmt Flow	4	43	21	68	71	1

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	182	72	72	0	-	0
Stage 1	72	-	-	-	-	-
Stage 2	110	-	-	-	-	-
Critical Hdwy	6.65	6.45	4.23	-	-	-
Critical Hdwy Stg 1	5.65	-	-	-	-	-
Critical Hdwy Stg 2	5.65	-	-	-	-	-
Follow-up Hdwy	3.725	3.525	2.317	-	-	-
Pot Cap-1 Maneuver	758	930	1461	-	-	-
Stage 1	896	-	-	-	-	-
Stage 2	860	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	747	930	1461	-	-	-
Mov Cap-2 Maneuver	747	-	-	-	-	-
Stage 1	883	-	-	-	-	-
Stage 2	860	-	-	-	-	-

Approach	EB	NB	SB
HCM Ctrl Dly, s/v	9.2	1.7	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1461	-	912	-	-
HCM Lane V/C Ratio	0.014	-	0.051	-	-
HCM Ctrl Dly (s/v)	7.5	0	9.2	-	-
HCM Lane LOS	A	A	A	-	-
HCM 95th %tile Q (veh)	0	-	0.2	-	-

Intersection						
Int Delay, s/veh	0.6					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	T		T		T	
Traffic Vol, veh/h	2	11	14	111	67	3
Future Vol, veh/h	2	11	14	111	67	3
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	89	89	89	89	89	89
Heavy Vehicles, %	2	2	4	4	3	3
Mvmt Flow	2	12	16	249	151	3

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	433	152	154	0	-	0
Stage 1	152	-	-	-	-	-
Stage 2	281	-	-	-	-	-
Critical Hdwy	6.42	6.22	4.14	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	2.236	-	-	-
Pot Cap-1 Maneuver	580	894	1414	-	-	-
Stage 1	876	-	-	-	-	-
Stage 2	767	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	572	894	1414	-	-	-
Mov Cap-2 Maneuver	572	-	-	-	-	-
Stage 1	864	-	-	-	-	-
Stage 2	767	-	-	-	-	-

Approach	EB	NB	SB
HCM Ctrl Dly, s/v	9.45	0.45	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	107	-	823	-	-
HCM Lane V/C Ratio	0.011	-	0.018	-	-
HCM Ctrl Dly (s/v)	7.6	0	9.5	-	-
HCM Lane LOS	A	A	A	-	-
HCM 95th %tile Q(veh)	0	-	0.1	-	-

Intersection						
Int Delay, s/veh	2.5					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	Y		T			U
Traffic Vol, veh/h	25	12	86	19	13	46
Future Vol, veh/h	25	12	86	19	13	46
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	4	4	3	3	6	6
Mvmt Flow	54	26	187	41	28	100

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	364	208	0	0	228	0
Stage 1	208	-	-	-	-	-
Stage 2	157	-	-	-	-	-
Critical Hdwy	6.44	6.24	-	-	4.16	-
Critical Hdwy Stg 1	5.44	-	-	-	-	-
Critical Hdwy Stg 2	5.44	-	-	-	-	-
Follow-up Hdwy	3.536	3.336	-	-	2.254	-
Pot Cap-1 Maneuver	631	828	-	-	1317	-
Stage 1	822	-	-	-	-	-
Stage 2	867	-	-	-	-	-
Platoon blocked, %			-	-		-
Mov Cap-1 Maneuver	617	828	-	-	1317	-
Mov Cap-2 Maneuver	617	-	-	-	-	-
Stage 1	822	-	-	-	-	-
Stage 2	847	-	-	-	-	-

Approach	WB	NB	SB
HCM Ctrl Dly, s/v	11.08	0	1.72
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	673	397
HCM Lane V/C Ratio	-	-	0.12	0.021
HCM Ctrl Dly (s/v)	-	-	11.1	7.8
HCM Lane LOS	-	-	B	A
HCM 95th %tile Q(veh)	-	-	0.4	0.1

Intersection						
Int Delay, s/veh	2.8					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	T		↑		↑	
Traffic Vol, veh/h	5	35	52	51	37	4
Future Vol, veh/h	5	35	52	51	37	4
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	81	81	81	81	81	81
Heavy Vehicles, %	2	2	3	3	7	7
Mvmt Flow	6	43	64	126	91	5

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	348	94	96	0	-	0
Stage 1	94	-	-	-	-	-
Stage 2	254	-	-	-	-	-
Critical Hdwy	6.42	6.22	4.13	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	2.227	-	-	-
Pot Cap-1 Maneuver	649	963	1491	-	-	-
Stage 1	930	-	-	-	-	-
Stage 2	788	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	619	963	1491	-	-	-
Mov Cap-2 Maneuver	619	-	-	-	-	-
Stage 1	887	-	-	-	-	-
Stage 2	788	-	-	-	-	-

Approach	EB	NB	SB
HCM Ctrl Dly, s/v	9.23	2.54	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	608	-	900	-	-
HCM Lane V/C Ratio	0.043	-	0.055	-	-
HCM Ctrl Dly (s/v)	7.5	0	9.2	-	-
HCM Lane LOS	A	A	A	-	-
HCM 95th %tile Q(veh)	0.1	-	0.2	-	-

OREGON.. DEPARTMENT OF TRANSPORTATION - TRANSPORTATION DEVELOPMENT DIVISION  
TRANSPORTATION DATA SECTION - CRASH ANALYSIS AND REPORTING UNIT  
COUNTY ROAD CRASH LISTING

TILLAMOOK COUNTY

NORTH FORK NEHLM RD, HP -999.99 to 999.99, ALL Crashes Severity, ALL Crashes Circumstance, 01/01/2019 to 12/31/2023

1 - 5 of 5 Crash records shown.

SER#	P R J S W DATE	MILEPNT	COUNTY ROADS	INT-TYPE	SPCL USE	ACT	EVENT	CAUSE										
INVEST	E A U I C O DAY	DIST FROM	FIRST STREET	RD CHAR	(MEDIAN) INT-REL	OFFRD	WTHR	CRASH	TRLR QTY	MOVE	A S	PED	ERROR	ACT	EVENT	CAUSE		
RD DPT	E L G N H R TIME	INTERSECT	SECOND STREET	DIRECT	LEGS TRAF-	RNDBT	SURF	COLL	OWNER	FROM	G E LICNS	LOC	ERROR	ACT	EVENT	CAUSE		
UNLOC?	D C S V L K LAT	LONG	LRS	LOCTN	(#LANES) CONTL	DRVWY	LIGHT	SVRTY	VH TYPE	TO	P# TYPE	INJ SVRTY	E X RES	LOC	ERROR	ACT	EVENT	CAUSE
00050	N N N N 02/20/2020	0.32	NORTH FORK NEHLM RD	STRGHT	N	N	CLR	ANIMAL	01 NONE 9	STRGHT					035	12		
COUNTY	TH			UN	(NONE)	NONE	N	DRY	OTH	N/A	E -W				000	000	00	
N	10A			03		(02)	N	DAY	PDO	PSNGR CAR		01 DRVR	NONE	00	Unk UNK	000	000	00
N	45 43 23.18	-123 53																
		28.22																
00110	N N N N N 04/17/2019	1.44	NORTH FORK NEHLM RD	CURVE	N	Y	RAIN	FIX OBJ	01 NONE 9	STRGHT					045,091	10		
COUNTY	WE			UN	(NONE)	NONE	N	WET	FIX	N/A	S -N				000	000	00	
Y	1DA			06		(02)	N	DAY	PDO	PSNGR CAR		01 DRVR	NONE	00	Unk UNK	000	000	00
N	45 44 1.16	-123 52																
		38.33																
00201	N N N N 09/15/2022	1.98	NORTH FORK NEHLM RD	ALLEY	N	N	CLR	S-1STOP	01 NONE 9	STRGHT								
NONE	TH			UN	(NONE)	UNKNOWN	N	DRY	REAR	N/A	W -E				000	000	00	
N	4P			03		(02)	N	DAY	PDO	PSNGR CAR		01 DRVR	NONE	00	Unk UNK	000	000	00
N	45 44 25.83	-123 52																
		24.23																
									02 NONE 9	STOP								
									N/A	W -E					012	000	00	
									PSNGR CAR			01 DRVR	NONE	00	Unk UNK	000	000	00
00136	Y N N N N N 05/11/2019	2.90	NORTH FORK NEHLM RD	CURVE	N	Y	UNK	FIX OBJ	01 NONE 0	STRGHT					058,010	01		
COUNTY	SA			UN	(NONE)	CURVE	N	DRY	FIX	FRVTE	UN-UN				000	058,010	00	
Y	12A			07		(D2)	N	DARK	INJ	PSNGR CAR		01 DRVR	INJC	20	F OR-Y	047,080,081	017	01
N	45 44 53.16	-123 51																
		26.61																
00329	N N N N N N 09/22/2021	4.00	NORTH FORK NEHLM RD	CURVE	N	Y	CLR	FIX OBJ	01 NONE 9	STRGHT					062,035	12		
COUNTY	WE			UN	(NONE)	NONE	N	DRY	FIX	N/A	W -E				007	000	00	
Y	11P			01		(02)	N	DARK	PDO	PSNGR CAR		01 DRVR	NONE	00	Unk UNK	000	000	00
N	45 45 3.9	-123 51																
		6.14																

Disclaimer: The information contained in this report is compiled from individual driver and police crash reports submitted to the Oregon Department of Transportation as required in ORS 811.720. The Crash Analysis and Reporting Unit is committed to providing the highest quality crash data to customers. However, because submittal of crash report forms is the responsibility of the individual driver, the Crash Analysis and Reporting Unit can not guarantee that all qualifying crashes are represented nor can assurances be made that all details pertaining to a single crash are accurate. Note: Legislative changes to DMV's vehicle crash reporting requirement, effective 01/01/2004, may result in fewer property damage only crashes being eligible for inclusion in the Statewide Crash Data File.



AFTER RECORDING RETURN TO:

Kevin D. Preston  
PRESTON MADDOUX LLC  
12901 SE 97<sup>th</sup> Ave., Suite 330  
Clackamas, Oregon 97015



**DECLARATION OF COVENANTS, CONDITIONS,  
AND RESTRICTIONS  
FOR  
RVM PHASE 2 HOME OWNERS ASSOCIATION**

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**DECLARATION OF COVENANTS, CONDITIONS,  
AND RESTRICTIONS  
FOR  
RVM PHASE 2 HOME OWNERS ASSOCIATION**

THIS DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR RVM PHASE 2 HOME OWNERS ASSOCIATION (“Declaration”) is made by Riverview Meadows Development LLC, an Oregon corporation (“Declarant”).

**RECITALS**

Declarant is the owner of all the real property and improvements thereon located in Tillamook County, Oregon, legally described as follows:

Lots, inclusive, and Tracts as shown on the plat map filed for record on \_\_\_\_\_, book \_\_\_\_\_, pages \_\_\_\_\_, in the plat records of Tillamook County, Oregon.

(the “Property”).

Declarant intends to develop Riverview Meadows Phase 2 (“RVM Phase 2”) as a Class II planned community. To establish RVM Phase 2 as a planned community, Declarant desires to impose these mutually beneficial covenants, conditions, restrictions, easements, assessments, and liens on the Property, under a comprehensive general plan of improvement and development for the benefit of all Lots and Common Area in RVM Phase 2.

Declarant has deemed it desirable for the efficient preservation of the values and amenities in RVM Phase 2 to create a nonprofit corporation, to which will be delegated and assigned the powers and authority to own, maintain, and administer the Common Area and facilities; to maintain, repair, and replace the roads, drainage ditches and drainage ponds; to administer and enforce the covenants, conditions, and restrictions of this Declaration; and to collect and disburse the assessments and charges hereinafter created.

The Declarant will convey Tracts ‘D’, ‘E’, and ‘F’ to the RVM Phase 2 Home Owners Association (“Association”). Upon conveyance of Tracts ‘D’, ‘E’, and ‘F’, to the Association, the Association will assume the maintenance obligation of Tracts ‘D’, ‘E’, and ‘F’, respectively, for the benefit of the Owners and assess the Owners of Lots 21-94 equally for the expenses.

NOW THEREFORE, Declarant declares that the Property will be held, transferred, sold, conveyed, and occupied subject to the Oregon Planned Community Act as may be amended from time to time (ORS 94.550–94.783, except ORS 94.595 and ORS 94.604) and subject to the following covenants, conditions, restrictions, easements, charges, and liens, which will run with the land, which will be binding on all parties having or acquiring any right, title, or interest in the Property or any part thereof, and which will inure to the benefit of the Association and of each Owner.

**Article 1**

## DEFINITIONS

- 1.1 *Articles* means the Articles of Incorporation for the nonprofit corporation, RVM Phase 2 Home Owners Association, as filed with the Oregon Secretary of State.
- 1.2 *Association* means and refers to RVM Phase 2 Home Owners Association, an Oregon nonprofit corporation, and its successors and assigns.
- 1.3 *Lots of RVM Phase 2* means Lots 21-94 of the Property and Tract as designated on the Subdivision Plat of Riverview Meadows Phase 2.
- 1.4 *Board* means the Board of Directors of the Association.
- 1.5 *Bylaws* means and refers to the Bylaws of the Association, which will be recorded in the real property records of Tillamook County, Oregon.
- 1.6 *Common Area* means and refers to Tracts 'D', 'E', and 'F' shown on the recorded Subdivision Plat of the Property, including any improvements located thereon, which areas and improvements are intended to be devoted to the common use and enjoyment of the members and which land has been conveyed to the Association. Tract 'D' is the community water tower and is subject to easements of record referenced in the Plat. Tract 'F' consists of all of the private roadways within the subdivision and is subject to easements of record referenced in the Plat. Tract "E" is an Open Space owned by the Association. The Association must maintain the landscaping in and surrounding Tracts 'D', 'E' and 'F', maintain, repair and/or replace the roadways, drainage ditches and drainage ponds of Tracts 'E' and 'F', with the cost of such maintenance, repairs and/or replacements assessed equally to Lots 21-94 and the Owners of such Lots.
- 1.7 *Declaration* means the covenants, conditions, restrictions, and all other provisions set forth in this Declaration.
- 1.8 *Declarant* means and refers to Riverview Meadows Development LLC, an Oregon limited liability company and its successors or assigns, or any successor or assign to all or the remainder of its interest in the Property.
- 1.9 *General Plan of Development* means Declarant's general plan of development of the Property, as approved by appropriate governmental agencies, as may be amended from time to time.
- 1.10 *Home* means and refers to any portion of a structure situated on a Lot and designed and intended for use and occupancy as a residence.
- 1.11 *Lot* means and refers to each and any of Lots 21-94 (or collectively, the "Lots"); provided, however, that *Lot* does not include Tracts 'D', 'E' or 'F.'
- 1.12 *Members* means and refers to the Owners of Lots in Riverview Meadows Phase 2.
- 1.13 *Occupant* means and refers to the occupant of a Home, whether such person is an Owner, a lessee, or any other person authorized by the Owner to occupy the Home.
- 1.14 *Owner* means and refers to the record owner, whether one or more persons or entities, of the fee-simple title to any Lot, or a purchaser in possession of a Lot under a land sale contract. The foregoing does not include persons or entities who hold an interest in any Lot merely as security for the performance of an obligation.
- 1.15 *Plat* means and refers to the Subdivision Plat of Riverview Meadows Phase 2 recorded in the plat records of Tillamook County, Oregon, at book \_\_\_\_\_, pages \_\_\_\_\_, on \_\_\_\_\_.
- 1.16 [Reserved for Expansion]
- 1.17 *Property* has the meaning attributed to the term in the recitals of this Declaration.

**1.18** *Reserve Account(s)* means and refers to an account set up by the Board to hold funds for construction, improvements, or maintenance of the Common Area.

**1.19** *Rules and Regulations* means and refers to the documents containing rules, regulations, and policies adopted by the Board or the Architectural Review Committee, as may be amended from time to time.

**1.20** *Tracts* means Tract 'D', 'E' and 'F' and refers to Tracts as shown on the Plat.

## Article 2

### PROPERTY SUBJECT TO THIS DECLARATION

**2.1** **Development.** The development of RVM Phase 2 consists of the Property, which will be held, transferred, sold, conveyed, and occupied subject to this Declaration. Declarant does not intend to build any Common Area improvements in RVM Phase 2 other than on Tracts 'D', 'E', and 'F.'

**2.2** **Right to Annex Additional Property or to Withdraw Property.** Declarant reserves the right to annex additional property to or to withdraw property from the Association.

## Article 3

### OWNERSHIP AND EASEMENTS

**3.1** **Nonseverability.** The interest of each Owner in the use and benefit of the Common Area is appurtenant to the Lot owned by the Owner. No Lot may be conveyed by the Owner separately from the interest in the Common Area. Any conveyance of any Lot automatically transfers the right to use the Common Area without the necessity of express reference in the instrument of conveyance. There may be no judicial partition of the Common Area. Each Owner, whether by deed, gift, devise, or operation of law, for the Owner's benefit and for the benefit of all other Owners, specifically waives and abandons all rights, interests, and causes of action for judicial partition of any interest in the Common Area and agrees that no action for judicial partition may be instituted, prosecuted, or reduced to judgment. Ownership interests in the Common Area and Lots are subject to the easements granted and reserved in this Declaration. Each of the easements granted or reserved herein will be deemed to be established upon the recordation of this Declaration, will thenceforth be deemed to be covenants running with the land for the use and benefit of the Owners and their Lots, and will be superior to all other encumbrances applied against or in favor of any portion of RVM Phase 2.

**3.2** **Ownership of Lots.** Title to each Lot in RVM Phase 2 will be conveyed in fee to an Owner. If more than one person or entity owns an undivided interest in the same Lot, such persons or entities will constitute one Owner.

**3.3** **Ownership of Common Area.** Title to any Common Area will be conveyed to the Association not later than the date of the Turnover Meeting (defined in Article 8).

**3.4** **Easements.** Individual deeds to Lots may, but are not required to, set forth the easements specified in this Article.

**3.4.1** **Easements on Plat.** The Common Area and Lots are subject to the easements and rights-of-way shown on the Plat.

**3.4.2** **Easements for Common Area.** Every Owner has a nonexclusive right and easement of use and enjoyment in and to the Common Area, which is appurtenant to and passes

with the title to every Lot. The easement is subject to ORS 94.665, as may be amended from time to time.

**3.4.3 Easements Reserved by Declarant.** As long as Declarant owns any Lot, Declarant reserves an easement over, under, and across the Common Area in order to carry out sales activities necessary or convenient for the sale of Lots. Declarant, for itself and its successors and assigns, hereby retains a right and easement of ingress and egress to, from, over, in, upon, under, and across the Common Area, and the right to store materials thereon and to make such other use thereof as may be reasonably necessary or incident to the construction of the improvements on the Property in such a way as not to interfere unreasonably with the occupancy, use, enjoyment, or access to an Owner's Lot by the Owner or the Owner's family, tenants, employees, guests, or invitees.

**3.4.4 Additional Utility and Storm Water Easements; Public Walkway Easements.** Notwithstanding anything expressed or implied to the contrary, this Declaration is subject to all easements granted by Declarant for the installation and maintenance of utilities and drainage facilities necessary for the development of RVM Phase 2. All Lots are subject to a 6.00-foot wide general utility easement. No structure, planting, or other material that may damage or interfere with the installation or maintenance of utilities, that may change the direction of flow of drainage channels in the easements, or that may obstruct or retard the flow of water through drainage channels in the easement areas may be placed or permitted to remain within any easement area.

**3.4.5 Declarant's and Association's Easements.** Declarant grants to the Association and its duly authorized agents and representatives such easements over the Lots and Common Area as are necessary to perform the duties and obligations of the Association, as set forth in this Declaration, the Bylaws, and the Articles, as the same may be amended. Association shall further grant to Declarant, its successors and assigns, such easement over the Common Areas as are requested by Declarant from time to time, which right to Declarant shall survive the Declarant turnover as set forth in Article 8.

**3.4.6 Perimeter Easement Benefiting Association.** Declarant grants to the Association and its duly authorized agents and representatives an easement over that perimeter portion of each Lot that is included within the building setbacks set by applicable ordinances for the purposes of installation, maintenance, repair, and replacement of utilities, communication lines, and drainage. The Board may grant or convey the easements reserved herein to any governmental body or agency, any public or private utility company or provider, or any combination of the foregoing, on a two-thirds vote of the Board members at a duly called and held Board meeting.

**3.5 Declarant's Right to Dedicate Common Area and Grant Easements; Board's Authority after Title Transferred to Association.** Declarant reserves the right and power to dedicate, convey, or dedicate and convey any portion or all of Tracts 'D', 'E', and 'F' to any governmental body or agency. Declarant further reserves the right and power to grant an easement over Tracts 'D', 'E', and 'F' to any governmental body or agency or any public or private utility company or provider. Declarant's rights and power under this section 3.5 will expire when Tracts 'D', 'E', and 'F' are conveyed to the Association. Thereafter, subject to the rights of Declarant pursuant to section 3.4.5, the Board will have the same powers reserved to Declarant and may exercise such powers upon a two-thirds vote of the Board members at any duly called and held Board meeting. None of the rights under this section 3.5 will deprive the

Owners of the Lots from using Tract 'F' for ingress and egress to their respective lot, or the Owners of the Lots from using Tract 'E' for pedestrian ingress and egress to their respective lot.

## Article 4 LOTS AND HOMES

**4.1 Residential Use.** Lots may be used only for residential purposes. Except with the Board's consent, no trade, craft, business, profession, commercial activity, or similar activity of any kind may be conducted on any Lot, and no goods, equipment, vehicles, materials, or supplies used in connection with any trade, service, or business may be kept or stored on any Lot. Nothing in this section 4.1 will be deemed to prohibit (a) activities relating to the sale of residences, (b) the right of Declarant or any contractor or homebuilder to construct residences on any Lot, to store construction materials and equipment on such Lots in the normal course of construction, and to use any residence as a sales office or model home for purposes of sales in RVM Phase 2, or (c) the right of the Owner of a Lot to maintain the Owner's personal business or professional library, keep the Owner's personal business or professional records or accounts, handle the Owner's personal business or professional telephone calls, or confer with business or professional associates, clients, or customers in the Owner's residence. The Board will not approve commercial activities otherwise prohibited by this section 4.1 unless the Board determines that only normal residential activities would be observable outside of the residence and that the activities would not be in violation of applicable local government ordinances.

**4.2 Landscaping.** Landscaping for the Lot must commence within 120 days after final building inspection by the local government jurisdiction, and must be completed within 365 days after the inspection. This section 4.2 applies to Lots with finished Homes being held for sale as well as to other Lots. Owners must irrigate their entire yards to keep lawns green and other landscaping fresh. The Association may irrigate from hose bibs connected to individual Homes of Owners who fail to properly irrigate their yards. If plantings on any Lot have died or are dying because the Owner of the Lot neglected to properly care for and irrigate the plants, or because of other harm to the plants caused by the Owner, the Association will replace the plantings and may assess the Owner for the cost as a Reimbursement Assessment (defined in section 10.5.5), which may be collected and enforced as any other assessments imposed under the Declaration and Bylaws.

**4.3 Maintenance of Lots and Homes.** Each Owner must maintain the Owner's Lot and all improvements thereon in a clean and attractive condition, in good repair, and in such fashion as not to create a fire hazard. To the extent not the responsibility of the Association for Commonly Maintained Property, such maintenance includes, without limitation, maintenance of windows, doors, garage doors, walks, patios, chimneys, and other exterior improvements and glass surfaces. Each Owner must repair damage caused to the Owner's Lot or improvements located thereon by fire, flood, storm, earthquake, riot, vandalism, or other causes within a reasonable period.

**4.4 Rental of Homes.** An Owner may rent or lease the Owner's Home or a portion thereof, provided that the following conditions are met:

**4.4.1 Written Rental Agreements Required.** The Owner and the tenant enter into a written rental or lease agreement specifying that (a) the tenant is subject to all provisions of the Declaration, Bylaws, and Rules and Regulations, and (b) a failure to comply with any provision

of the Declaration, Bylaws, and Rules and Regulations constitutes a default under the rental or lease agreement;

**4.4.2 Minimum Rental Period.** The period of the rental or lease is not less than 30 days;

**4.4.3 Tenant Must Be Given Documents.** The Owner gives each tenant a copy of the Declaration, Bylaws, and Rules and Regulations.

**4.5 Animals.** No animals, livestock, or poultry of any kind, other than a reasonable number of household pets that are not kept, bred, or raised for commercial purposes and that are reasonably controlled so as not to be a nuisance, may be raised, bred, kept, or permitted within any Lot. Owners whose pets cause any inconvenience or unpleasantness to other Owners must take all steps reasonably necessary to prevent recurrence thereof, and Owners whose pets damage other Owners' Lots or personal property must reimburse the other Owners for reasonable costs actually incurred by the other Owners in repairing the damage. An Owner must ensure that the Owner's dog is leashed when on the Property and outside of the Owner's Lot. An Owner may be required to remove a pet upon the receipt of the third notice in writing from the Board of a violation of any rule, regulation, or restriction governing pets within the Property.

**4.6 Nuisance.** No noxious, harmful, or offensive activities may be carried out on any Lot or Common Area. Nor may anything be done or placed on any Lot or Common Area that interferes with or jeopardizes the enjoyment of, or that is a source of annoyance to, the Owner or other Occupants.

**4.7 Swimming Pool.** No Owner may erect, construct, or permit any above-ground pool to be established on a Lot or on the Common Area at any time.

**4.8 Parking and Vehicles in Disrepair.** (1) No Owner may permit any recreational vehicle (RV), off-road vehicle, trailer, fifth wheel, boat, or commercial vehicle to remain parked on the Common Area or on any street on or adjacent to the Property at any time; and (2) No Owner may permit any vehicle that is in a state of disrepair or that is not currently licensed to be abandoned or to remain parked on the Common Area or on any street on or adjacent to the Property at any time and may not permit them on a Lot for a period in excess of 48 hours. A vehicle will be deemed in a "state of disrepair" when the Board reasonably determines that its presence offends the occupants of the neighborhood. If an Owner fails to remove such a vehicle within five days following the date on which the Association mails or delivers to the Owner a notice directing the removal, the Association may have the vehicle removed from the Property and charge the expense of the removal to the Owner as a Reimbursement Assessment, which may be collected and enforced as any other assessments imposed under the Declaration and Bylaws.

**4.9 Signs.** No signs may be erected or maintained on any Lot, except that not more than one "For Sale" or "For Rent" sign placed by the Owner or by a licensed real estate agent, not exceeding 24 inches high and 36 inches long, may be temporarily displayed on any Lot. The restrictions contained in this section 4.9 do not prohibit the temporary placement of "political" signs on any Lot by the Owner or Occupant. However, political signs must be removed within three days after the election day pertaining to the subject of the sign. Real estate signs must be removed within three days after the sale closing date.

**4.10 Rubbish and Trash.** No Lot or part of the Common Area may be used as a dumping ground for trash or rubbish of any kind. All garbage and other waste must be kept in appropriate containers for proper disposal and must be kept out of public view. Yard rakings, dirt, and other material resulting from landscaping work may not be dumped onto streets, the

Common Area, or any other Lots. If an Owner fails to remove any trash, rubbish, garbage, yard rakings, or any similar materials from any Lot, any streets, or the Common Area where deposited by the Owner or the Occupants of the Owner's Lot after notice has been given by the Board to the Owner, the Association may have the materials removed and charge the expense of the removal to the Owner. Such a charge will constitute a Reimbursement Assessment, which may be collected and enforced as any other assessments imposed under the Declaration and Bylaws.

**4.11 [Intentionally omitted.]**

**4.12 Service Facilities.** Service facilities (garbage containers, fuel tanks, clotheslines, etc.) must be screened so that the facilities are not visible at any time from the street or a neighboring property. All telephone, electrical, cable television, and other utility installations must be placed underground in conformance with applicable law.

**4.13 Antennas and Satellite Dishes.** Except as otherwise provided by law or this section, exterior satellite dishes or antennas with a surface diameter of one meter or less and antennas designed to receive television broadcast signals only may be placed on any Lot if they are not visible from the street and are screened from neighboring Lots. The Board may adopt reasonable rules and regulations governing the installation, safety, placement, and screening of such antennas, satellite dishes, and other transmission devices. Such rules may not unreasonably delay or increase the cost of installation, maintenance, or use or preclude reception of a signal of acceptable quality.

**4.14 [Intentionally omitted.]**

**4.15 [Intentionally omitted.]**

**4.16 Grades, Slopes, and Drainage.** There may be no interference with the established drainage patterns or systems over or through any Lot that affects any other Lot or Common Area or any real property outside the Property unless adequate alternative provision is made for proper drainage and is approved by the Board before any such work. The term *established drainage* means the drainage swales, conduits, inlets, and outlets designed and constructed for Declarant.

**4.17 [Intentionally omitted.]**

**4.18 Damage or Destruction to Home or Lot.** If all or any portion of a Lot or Home is damaged by fire or other casualty, the Owner must either (a) restore the damaged improvements or (b) remove all damaged improvements, including foundations, and leave the Lot in a clean and safe condition. Any restoration proceeding under (a) in this section 4.18 must be performed so that the improvements are in substantially the same condition that they were in before the damage, unless the Owner complies with the provisions of Article 6. The Owner must commence such work within 60 days after the damage occurs and must complete the work within six months thereafter. The Association and Owners whose Homes are in the same building must cooperate in respect to repair, reconstruction, and application of available insurance proceeds.

**4.19 Right of Maintenance and Entry by Association.** If an Owner fails to perform maintenance, repair, or both that the Owner is obligated to perform under this Declaration, and if the Board determines, after notice, that the maintenance, repair, or both is necessary to preserve the attractiveness, quality, nature, value, or any combination thereof of the Property, the Board may cause the maintenance, repair, or both to be performed and may enter any Lot whenever entry is necessary in connection with the performance thereof. An Owner may request, and the Board will conduct, a hearing on the matter. The Owner's request must be in writing delivered within five days after receipt of the notice, and the hearing must be conducted within not less

than five days nor more than 20 days after the request for a hearing is received. Entry must be made with as little inconvenience to an Owner as practicable and only after advance written notice of not less than 48 hours, except in emergency situations. The costs of such maintenance, repair, or both are chargeable to the Owner of the Lot as a Reimbursement Assessment, which may be collected and enforced as any other assessments authorized hereunder.

**4.20 Association Rules and Regulations.** The Board from time to time may adopt, modify, or revoke the Rules and Regulations governing the conduct of persons and the operation and use of Lots and the Common Area as it may deem necessary or appropriate to ensure the peaceful and orderly use and enjoyment of the Property and the administration and operation of the Association. A copy of the Rules and Regulations, upon adoption, and a copy of each amendment, modification, or revocation thereof, will be delivered promptly by the Board to each Owner and will be binding on all Owners and occupants of all Lots on the date of delivery or actual notice thereof. The method of adoption of the Rules and Regulations will be provided in the Bylaws of the Association.

**4.21 Ordinances and Regulations.** The standards and restrictions set forth in this Article 4 are the minimum required. To the extent that local governmental ordinances and regulations are more restrictive or provide for a higher or different standard, the local governmental ordinances and regulations will prevail.

**4.22 Temporary Structures.** Except as provided herein, no structure of a temporary character or any trailer, basement, tent, shack, garage, barn, or other outbuilding may be used on any Lot as a residence, either temporarily or permanently.

**4.23 Declarant Exemptions.** Declarant is exempt from the application of section 4.

## Article 5 COMMON AREA

**5.1 Use of Common Area.** Use of the Common Area is subject to the provisions of the Declaration, Bylaws, Articles, and the Rules and Regulations adopted by the Board. There must be no obstruction of any part of the Common Area. Nothing may be stored or kept in the Common Area without the prior written consent of the Board. No alterations or additions to the Common Area will be permitted without the prior written consent of the Board. The Common Area owned by the Association consists solely of Tracts 'D', 'E', and 'F.'

There must be no parking, loading, or unloading of any kind or of any type of vehicle on the Common Area for any length of time. The Association may post and maintain "No Parking" signs on the Common Area.

**5.2 Maintenance of Common Area.** The Association will be responsible for maintenance, repair, replacement, and upkeep of the Common Area, including without limitation all roadways, the dog park, drainage ditches, and drainage ponds, at the equal expense of the Owners of the Lots. The Association must keep the Common Area in good condition and repair, provide for all necessary services, and cause all acts to be done that may be necessary or proper to ensure the maintenance of the Common Area. This duty shall include, but not be limited to, maintenance of the roadways, dog park, drainage ditches, drainage ponds

**5.3 Alterations to Common Area.** Common Area are to be landscaped only and improved with only grass, plants, trees, bushes, shrubs, and other plantings. Only the Association may construct an improvement located on the Common Area or public entity to which the right to construct an improvement has been granted. If to be constructed by the

Association, a proposal for any construction, alteration, maintenance, or repair of any such improvement may be made at any Board meeting. The Board may adopt a proposal, subject to the limitations contained in the Bylaws, this Declaration; however, no improvements may be made to the Common Area except the construction, repair, and reconstruction of the private streets, parks, utility installations, landscaping, drainage ditches and drainage collection ponds.

**5.4 Funding.** Expenditures for replacement or major repairs to an existing improvement for which a reserve has been collected will be made from the Reserve Account. Regular maintenance, repair, and operating expenses will be funded by annual assessments as provided in section 10.4. As provided in section 10.5, the Board may levy a special assessment to fund any construction, alteration, repair, or maintenance of an improvement (or any other portions of the Common Area) for which no reserve has been collected or for which the Reserve Account is insufficient to cover the cost of the proposed construction, alteration, repair, or maintenance.

**5.5 Landscaping.** All landscaping on any Lot or on the Common Area must be maintained and cared for in a manner that is consistent with Declarant's original approval of the landscaping. Weeds and diseased or dead lawn, trees, groundcover, or shrubs must be removed and replaced. Lawns must be neatly mowed, and trees and shrubs must be neatly trimmed.

**5.6 Condemnation of Common Area.** If all or any portion of the Common Area is taken for any public or quasi-public use under any statute, by right of eminent domain, or by purchase in lieu of eminent domain, the Board will receive and expend the entire award in a manner that, in the Board's discretion, is in the best interest of the Association and the Owners. The Association must represent the interest of all Owners in any negotiations, suit, action, or settlement in connection with such matters.

**5.7 Damage or Destruction of Common Area.** If all or any portion of the Common Area is damaged or destroyed by an Owner or any of the Owner's guests, Occupants, tenants, licensees, agents, or members of the Owner's family in a manner that would subject the Owner to liability for the damage under Oregon law, the Owner hereby authorizes the Association to repair the damage. The Association must repair the damage and restore the area in workmanlike manner as originally constituted or as may be modified or altered subsequently by the Association in the discretion of the Board. Reasonable costs incurred in connection with effecting the repairs will become a special assessment on the Lot and against the Owner who caused or is responsible for the damage.

**5.8 Power of Association to Sell, Dedicate, or Transfer Common Area.** As provided in ORS 94.665, the Association may sell, dedicate, transfer, grant a security interest in, or grant an easement for installation and maintenance of utilities or for similar purposes with respect to, any portion of the Common Area. Except for grants of easements for utility-related purposes, no such sale, dedication, transfer, or grant of a security interest will be effective unless approved by 80 percent of the votes of both Class A and Class B members [and by the U.S. Department of Housing and Urban Development or the U.S. Department of Veterans Affairs, whichever is applicable, as long as there is Class B membership]. If there is only one class of votes, such sale, dedication, transfer, or grant of a security interest (other than a grant of an easement for utility-related purposes) must be approved by 80 percent of the votes held by Owners other than Declarant.

## Article 6 LAND USE AND BUILDING TYPE

Applicable to all lots, an Owner, subject to all State and Local regulations, may erect a single family dwelling, or a duplex on its Lot, In addition, an Owner may erect on its Lot an "ADU" (auxiliary dwelling unit) or a "Barndominium" (a large, open-concept dwelling that combines living quarters with a workshop, garage, or other workspace under one roof).

## Article 7 MEMBERSHIP IN THE ASSOCIATION

**7.1 Members.** Each Owner is a member of the Association. Membership in the Association is appurtenant to, and may not be separated from, ownership of any Lot. Transfer of ownership of a Lot automatically transfers membership in the Association. Without any other act or acknowledgment, Occupants and Owners will be governed and controlled by this Declaration, the Articles, Bylaws, and the Rules and Regulations of the Association and any amendments thereof.

**7.2 Proxy.** Each Owner may cast the Owner's vote in person, by written ballot, by electronic ballot if the Board of Directors so elects, or by a proxy executed by the Owner. An Owner may not revoke a proxy given under this section 7.2 except by actual notice of revocation to the person presiding over a meeting of the Association. A proxy will not be valid if it is undated or purports to be revocable without notice. A proxy will terminate one year after its date, unless the proxy specifies a shorter term.

**7.3 Voting Rights.** The Association has two classes of voting members:

**7.3.1 Class A.** Class A members include all Owners of Lots other than Declarant, and each Class A member is entitled to one vote for each Lot owned with respect to all matters on which Owners are entitled to vote.

**7.3.2 Class B.** The Class B member is the Declarant, its successors, and its assigns. The Class B member has four (4) votes for each Lot owned. The Class B membership will cease and be converted to Class A membership upon the earlier of the following dates (the "Termination Date"):

(a) The date on which 75 percent of the total number of Lots in RVM Phase 2 have been sold and conveyed to Owners other than Declarant; or

(b) The date on which Declarant elects in writing to terminate Class B membership.

After the Termination Date, each Owner, including Declarant, will have one vote for each Lot owned with respect to all matters on which Owners are entitled to vote, and the total number of votes will be equal to the total number of Lots subject to this Declaration, initially.

When more than one person or entity owns a Lot, the vote for the Lot may be cast as they determine, but in no event will fractional voting be allowed. Fractional or split votes will be disregarded, except for purposes of determining a quorum.

**7.4 Procedure.** All meetings of the Association, the Board, and Association committees will be conducted with such rules of order as may from time to time be adopted by the Board. Unless other rules of order are adopted by a resolution of the Board, Robert's Rules of Order published by the Robert's Rules Association will apply. Notwithstanding which rules of order are adopted, the President will be entitled to vote on all matters, not merely to break a tie vote. A tie vote does not constitute a majority or approval of any motion or resolution.

**Article 8**  
**DECLARANT CONTROL**

**8.1 Interim Board and Officers.** Declarant hereby reserves administrative control of the Association. Declarant, in its sole discretion, has the right to appoint and remove members of an interim board (the "Interim Board"), which will manage the affairs of the Association and be invested with all powers and rights of the Board until the Turnover Meeting (as hereinafter defined). The Interim Board will consist of one to three members. Notwithstanding the provision of this section 8.1, at the Turnover Meeting, at least one Director will be elected by Owners other than Declarant, even if Declarant otherwise has voting power to elect all three Directors.

**8.2 Turnover Meeting.** Declarant must call a meeting for the purposes of turning over administrative control of the Association from Declarant to the Class A members within 90 days of the earlier of the following dates:

**8.2.1 Earliest Date.** The date on which Lots representing 75 percent of the total number of votes of all Lots in RVM Phase 2 have been sold and conveyed to persons other than Declarant; or

**8.2.2 Optional Turnover.** The date on which Declarant has elected in writing to terminate Class B membership.

Declarant must give notice of the Turnover Meeting to each Owner as provided in the Bylaws. If Declarant does not call the Turnover Meeting required under this section 8.3, any Owner may do so.

**Article 9**  
**DECLARANT'S SPECIAL RIGHTS**

**9.1 General.** Declarant is undertaking the work of developing Lots and other improvements within RVM Phase 2. The completion of the development work and the marketing and sale of the Lots is essential to the establishment and welfare of the Property as a residential community. Until the Homes on all Lots on the Property have been constructed, fully completed, and sold, with respect to the Common Area and each Lot on the Property, Declarant has the special rights set forth in this Article 9.

**9.2 Marketing Rights.** Declarant has the right to maintain a sales office and model on one or more of the Lots that Declarant owns. Declarant and prospective purchasers and their agents have the right to use and occupy the sales office and models during reasonable hours any day of the week. Declarant may maintain a reasonable number of "For Sale" signs at reasonable locations on the Property, including, without limitation, on the Common Area.

**9.3 Declarant Easements.** Declarant reserves easements over the Property as more fully described in sections 3.4 and 3.5 hereof.

**9.4 Additional Improvements.** Declarant does not agree to build any improvements not described in this Declaration.

**Article 10**

## FUNDS AND ASSESSMENTS

**10.1 Purpose of Assessments; Expenses.** The assessments levied by the Association will be used exclusively to promote the recreation, health, safety, aesthetics, and welfare of the Owners and Occupants of RVM Phase 2 for the improvement, operation, and maintenance of the Common Area, for the administration and operation of the Association, and for property and liability insurance.

**10.2 Covenants to Pay.** Declarant and each Owner covenant and agree to pay the Association the assessments and any additional charges levied under this Declaration or the Bylaws. All assessments for operating expenses, repairs and replacement, and reserves will be allocated among the Lots and their Owners as set forth in section 10.4.2.

**10.2.1 Funds Held in Trust.** The assessments collected by the Association will be held by the Association for and on behalf of each Owner and may be used solely as set forth in section 10.1. Upon the sale or transfer of any Lot, the Owner's interest in such funds will be deemed automatically transferred to the successor in interest to the Owner.

**10.2.2 Offsets.** No offsets against any assessment will be permitted for any reason, including, without limitation, any claim that the Association is not properly discharging its duties.

**10.2.3 Right to Profits.** Association profits, if any, will be the property of the Association and will be contributed to the Current Operating Account.

**10.3 Basis of Assessment; Commencement of Assessments.** Declarant must pay all common expenses of the Association until the Lots are assessed for common expenses. The amount and date of commencement of the initial annual assessment, including the assessment of reserves, if any, to Owners other than Declarant will be determined by Declarant. In the sole and unfettered discretion of Declarant, Declarant may defer payment of reserves for a Lot until the Lot is conveyed to a third party. However, Declarant may not defer payment of accrued reserves beyond the date of the Turnover Meeting.

**10.4 Annual Assessments.** Annual assessments for each fiscal year will be established when the Board approves the budget for that fiscal year. The initial annual assessment will be determined by Declarant and will be prorated on a monthly basis at the time of the closing of the first sale from Declarant. For proration purposes, any portion of a month will count as a full month. Annual assessments will be payable on a periodic basis, not more frequently than monthly, as determined by the Board. The fiscal year will be the calendar year unless another year is adopted by vote of the Association members.

**10.4.1 Budgeting.** Each year the Board will prepare, approve, and make available to each Member a pro forma operating statement (budget) containing (a) estimated revenue and expenses on an accrual basis; (b) the amount of the total cash reserves of the Association currently available for replacement or major repair of the Common Area and for contingencies; (c) an itemized estimate for the remaining life of improvements, and the methods of funding to defray repair, replacement, or additions to major components of improvements, as provided in section 10.6.2; and (d) a general statement setting forth the procedures used by the Board in the calculation and establishment of reserves to defray the costs of repair, replacement, or additions to major components of the Common Area. Notwithstanding that budgeting will be done on an accrual basis, the Association's books will be kept on a cash basis and the Association will be a cash basis taxpayer, unless applicable governmental regulations require otherwise. For the first fiscal year, the budget must be approved by the Board no later than the date on which annual

assessments are scheduled to commence. Thereafter, the Board must annually prepare and approve the budget and distribute a copy or summary thereof to each Member, together with written notice of the amount of the annual assessments to be levied against each Owner's Lot, within 30 days after adoption of the budget.

**10.4.2 Allocation of Assessments.** Except for Reimbursement Assessments, the total amount in the budget will be charged equally against all Lots as annual assessments.

**10.4.3 Nonwaiver of Assessments.** If before the expiration of any fiscal year the Association fails to fix annual assessments for the next fiscal year, the annual assessments established for the preceding year will continue until a new annual assessment is fixed.

**10.5 Special Assessments.** The Board or the Owners have the power to levy special assessments against an Owner or all Owners in the following manner for the following purposes:

**10.5.1 Correct Deficit.** To correct a deficit in the operating budget, by vote of a majority of the Board;

**10.5.2 Special Obligations of an Owner.** To collect amounts due to the Association from an Owner for breach of the Owner's obligations under this Declaration, the Bylaws, or the Rules and Regulations, by vote of a majority of the Board;

**10.5.3 Repairs.** To collect additional amounts necessary to make repairs or renovations to the Common Area if sufficient funds are not available from the operating budget or replacement reserve accounts, by vote of a majority of the Board; or

**10.5.4 Capital Improvements.** To make capital acquisitions, additions, or improvements, by vote of at least 80 percent of all votes allocated to the Lots.

**10.5.5 Reimbursement Assessments.** The Association must levy an assessment against any Owner and the Owner's Lot if a failure to comply with this Declaration, Bylaws, or any Rules and Regulations has (a) necessitated an expenditure of monies by the Association to effect compliance or (b) resulted in the imposition of a fine or penalty against the Owner or the Owner's Lot (a "Reimbursement Assessment"). A Reimbursement Assessment is due and payable to the Association when levied. A Reimbursement Assessment may not be levied by the Association except on at least 10 days' written notice to the Owner being assessed. If, within the 10-day period, the Owner makes a written request to the Board for a hearing, a hearing must be held. Upon request for a hearing, the Board must conduct it not less than 10, nor more than 30 days, after the request by the Owner, and must make its decision within not more than 30 days after the hearing is held. If a notice has been previously given, and the hearing has already been held or waived (in writing or by the Owner's failure to appear) for the violation resulting in the Reimbursement Assessment, no additional notice and hearing is required before levying the Reimbursement Assessment.

#### **10.6 Accounts.**

**10.6.1 Types of Accounts.** Assessments collected by the Association will be deposited into at least two separate accounts with a bank, which accounts will be clearly designated as (a) the Current Operating Account and (b) the Reserve Account. The Board must deposit those portions of the assessments collected for current maintenance and operation into the Current Operating Account and must deposit those portions of the assessments collected as reserves for replacement and deferred maintenance of capital improvements into the Reserve Account. Withdrawal of funds from the Association's Reserve Account requires the signatures of either two Directors or one Director and an officer of the Association who is not a Director. In its books and records, the Association must account separately for operating expenses relating to the

Common Area and operating expenses relating to all other matters, as well as for necessary reserves relating to the Common Area and necessary reserves relating to all other matters.

**10.6.2 Reserve Account.** Declarant must establish a Reserve Account, in the name of the Association, which must be kept separate from all other funds held by the Association. The Association will pay out of the Reserve Account only those costs that are attributable to the maintenance, repair, or replacement of Common Area property [and Commonly Maintained Property] that normally requires replacement, in whole or in part, within one to 30 years and not for regular or periodic maintenance and expenses. No funds collected for the Reserve Account may be used for ordinary current maintenance and operation purposes.

**10.6.2.1 Calculation of Reserve Assessment; Reserve Study.** The Board of Directors of the Association must annually conduct a reserve study, or review and update an existing study, of the Common Area to determine the Reserve Account requirements. A Reserve Account must be established for those items of the Common Area all or part of which will normally require replacement in more than one and less than 30 years; for exterior painting, as applicable; and for the maintenance, repair, or replacement of other items as may be required under the Declaration or Bylaws or that the Board of Directors, in its discretion, may deem appropriate. The Reserve Account need not include items that could reasonably be funded from operating assessments. The reserve study must include (a) identification of all items for which reserves are required to be established; (b) the estimated remaining useful life of each item as of the date of the reserve study; (c) the estimated cost of maintenance, repair, or replacement of each item at the end of its useful life; and (d) a 30-year plan with regular and adequate contributions, adjusted by estimated inflation and interest earned on reserves, to meet the maintenance, repair, and replacement schedule.

The Reserve Account assessment must be allocated according to section 10.4.2.

**10.6.2.2 Loan from Reserve Account.** After the Turnover Meeting described in section 8.3, the Board may borrow funds from the Reserve Account to meet high seasonal demands on the Association's regular operating fund or to meet unexpected increases in expenses. Funds borrowed must be repaid later from assessments if the Board has adopted a resolution, which may be an annual continuing resolution, authorizing the borrowing of funds. Not later than the adoption of the budget for the following year, the Board must adopt by resolution a written payment plan providing for repayment within a reasonable period.

**10.6.2.3 Increase, Reduction, or Elimination of Reserve Account Assessment.** At any time after the second year after the Turnover Meeting, future assessments for the Reserve Account may be increased or reduced by the vote of Owners of Lots representing 75 percent of the votes computed in accordance with section 7.3.

**10.6.2.4 Investment of Reserve Account.** Nothing in this section 10.6 prohibits the prudent investment of Reserve Account funds, subject to any constraints imposed by the Oregon Planned Community Act, the Board, the Bylaws, or the Rules and Regulations.

**10.6.2.5 Refunds of Assessments.** Assessments paid into the Reserve Account are the property of the Association and are not refundable to sellers or Owners of Lots. Sellers or Owners of Lots may treat their outstanding share of the Reserve Account's balance as a separate item in the sales contract providing for the conveyance of their Lot.

**10.6.3 Current Operating Account.** All costs other than those to be paid from the Reserve Account under section 10.6.2 may be paid from the Current Operating Account.

**10.7 Default in Payment of Assessments; Enforcement of Liens.**

**10.7.1 Personal Obligation.** Any assessment properly imposed under this Declaration or the Bylaws is the joint and several personal obligation of all Owners of the Lot to which the assessment pertains. In a voluntary conveyance (i.e., one other than through foreclosure or a deed in lieu of foreclosure), the grantees will be jointly and severally liable with the grantors for all Association assessments imposed through the recording date of the instrument effecting the conveyance. A suit for a money judgment may be initiated by the Association to recover the assessments without either waiving or foreclosing the Association's lien.

**10.7.2 Association Lien.** The Association has a lien against each Lot for any assessment (of any type provided for by this Declaration or the Bylaws) or installment thereof that is delinquent. The lien will accumulate all future assessments or installments, interest, late fees, penalties, fines, attorney fees (whether or not suit or action is instituted), actual administrative costs, and other appropriate costs properly chargeable to an Owner by the Association, until such amounts are fully paid. Recording of the Declaration constitutes record notice and perfection of the lien. The lien may be foreclosed at any time in accordance with the Oregon Planned Community Act. The Association must record a notice of a claim of lien for assessments and other charges in the deed records of Tillamook County, Oregon, before any suit to foreclose may be filed. The lien of the Association will be superior to all other liens and encumbrances except property taxes and assessments; any first mortgage, deed of trust, or land sale contract recorded before the Association's notice of lien; and any mortgage or deed of trust granted to an institutional lender that is recorded before the Association's notice of lien.

**10.7.3 Interest, Fines, Late Fees, and Penalties.** The Board, in its reasonable discretion, may from time to time adopt resolutions to set the rate of interest and to impose late fees, fines, and penalties on delinquent assessments or for violations of the provisions of this Declaration, the Bylaws, and the Rules and Regulations adopted by the Board. The adoption of such impositions must be communicated to all Owners in writing not less than 30 days before the effective date by a notice mailed to the assessment billing address of each Owner. The impositions will be considered assessments that are lienable and collectible in the same manner as any other assessments; however, fines or penalties for violation of this Declaration, the Bylaws, or the Rules and Regulations, other than late fees, fines, or interest arising from an Owner's failure to pay regular, special, or reimbursement assessments may not be imposed against an Owner or the Owner's Lot until the Owner is given an opportunity for a hearing as elsewhere provided herein.

**10.7.4 Acceleration of Assessments.** If an Owner is delinquent in payment of any assessment or installment on any assessment, the Association, on not less than 10 days' written notice to the Owner, may accelerate the due date of the full annual assessment for that fiscal year and all future installments of any special assessments.

**10.7.5 Association's Right to Rents; Receiver.** In any foreclosure suit by the Association with respect to a lien described in section 10.7.2, the Association is entitled to collect reasonable rent from the defaulting Owner for the use of the Owner's Lot and is entitled to the appointment of a receiver.

**Article 11**  
**GENERAL PROVISIONS**

**11.1 Records.** The Board must preserve and maintain minutes of the meetings of the Association, the Board, and any committees. The Board must also keep detailed and accurate financial records, including individual assessment accounts of Owners, the balance sheet, and income and expense statements. Individual assessment accounts must designate the name and address of the Owner or Owners of the Lot, the amount of each assessment as it becomes due, the amounts paid on the account, and the balance due on the assessments. The minutes of the Association, the Board, and Board committees, and the Association's financial records must be maintained in the State of Oregon and reasonably available for review and copying by the Owners. A reasonable charge may be imposed by the Association for providing copies.

**11.2 Indemnification of Directors, Officers, Employees, and Agents.** The Association must indemnify any Director, officer, employee, or agent who was or is a party or is threatened to be made a party to any threatened, pending, or completed action, suit, or proceeding, whether civil, criminal, administrative, or investigative (other than an action by the Association) by reason of the fact that the person is or was a Director, officer, employee, or agent of the Association or is or was serving at the request of the Association as a Director, officer, employee, or agent of another corporation, partnership, joint venture, trust, or other enterprise, against expenses (including attorney fees), judgments, fines, and amounts paid in settlement actually and reasonably incurred by the person in connection with the suit, action, or proceeding if the person acted in good faith and in a manner that the person reasonably believed to be in, or not opposed to, the best interest of the Association, and, with respect to any criminal action or proceedings, had no reasonable cause to believe that the person's conduct was unlawful. The termination of any action, suit, or proceeding by judgment, order, settlement, conviction, or plea of nolo contendere or its equivalent, will not of itself create a presumption that a person did not act in good faith and in a manner that the person reasonably believed to be in, or not opposed to, the best interest of the Association, and, with respect to any criminal action or proceedings, had reasonable cause to believe that the person's conduct was unlawful. Payment under this clause may be made during the pendency of the claim, action, suit, or proceeding as and when incurred, subject only to the right of the Association to reimbursement of the payment from the person, should it be proven at a later time that the person had no right to the payments. All persons who are ultimately held liable for their actions on behalf of the Association as a Director, officer, employee, or agent will have a right of contribution over and against all other Directors, officers, employees, or agents and members of the Association who participated with or benefited from the acts that created the liability.

**11.3 Enforcement; Attorney Fees.** The Association, the Owners, and any mortgagee holding an interest on a Lot have the right to enforce all of the covenants, conditions, restrictions, reservations, easements, liens, and charges now or hereinafter imposed by any of the provisions of this Declaration as may appertain specifically to such parties or Owners by any proceeding at law or in equity. Failure by either the Association or by any Owner or mortgagee to enforce any covenant, condition, or restriction herein contained will in no event be deemed a waiver of their right to do so thereafter. If suit or action is commenced to enforce the terms and provisions of this Declaration (including without limitations, suit or action for the collection of assessments), the prevailing party will be entitled to its actual administrative costs incurred because of a matter or event that is the subject of the suit or action, attorney fees and costs in the suit or action to be

fixed by the trial court, and in the event of an appeal, the cost of the appeal, together with reasonable attorney fees, to be set by the appellate court. In addition thereto, the Association will be entitled to its reasonable attorney fees and costs incurred in any enforcement activity or to collect delinquent assessments, together with the Association's actual administrative costs, whether or not suit or action is filed.

**11.4 Severability.** Invalidation of any one of these covenants, conditions, or restrictions by judgment or court order will not affect the other provisions hereof and the same will remain in full force and effect.

**11.5 Duration.** The covenants, conditions, and restrictions of this Declaration run with and bind the land for a term of 35 years from the date of this Declaration being recorded, after which time they will be automatically extended for successive periods of 10 years, unless rescinded by a vote of at least 75 percent of the Owners and 90 percent of the first mortgagees; however, amendments that do not constitute rescission of the planned community may be adopted as provided in section 11.6.

**11.6 Amendment.** Except as otherwise provided in section 11.5 or ORS 94.590, and the restrictions set forth elsewhere herein, this Declaration may be amended at any time by an instrument approved by not less than 75 percent of the total votes allocated to the Lots, without regard to the enhanced voting rights of the Class B Member. Any amendment must be executed, recorded, and certified as provided by law; however, no amendment of this Declaration will effect an amendment of the Bylaws or Articles without compliance with the provisions of those documents and the Oregon Nonprofit Corporation Act, and no amendment affecting the general plan of development or any other right of Declarant herein contained may be effected without the express written consent of Declarant or its successors and assigns, including, without limitation, amendment of this section 11.6. Furthermore, as long as there is Class B membership, any amendment to these Bylaws must be approved by the U.S. Department of Housing and Urban Development or the U.S. Department of Veterans Affairs, whichever is applicable.

**11.7 Release of Right of Control.** Declarant may give up its right of control in writing at any time by notice to the Association.

**11.8 Unilateral Amendment by Declarant.**

**11.8.1** In addition to all other special rights of Declarant provided in this Declaration, Declarant may amend this Declaration in order to comply with the requirements of the Federal Housing Administration of the United States, the Federal National Mortgage Association, the Government National Mortgage Association, the Federal Home Loan Mortgage Corporation, any department, bureau, board, commission, or agency of the United States or the State of Oregon, or any other state in which the Lots are marketed and sold, or any corporation wholly owned, directly or indirectly, by the United States or the State of Oregon, or such other state, the approval of which entity is required in order for it to insure, guarantee, or provide financing in connection with development of the Property and sale of Lots. Before the Turnover Meeting, no such amendment will require notice to or approval by any Class A member.

**11.8.2** In addition to all other special rights of Declarant provided in this Declaration, prior to the Turnover Meeting, and without regard to the voting requirements established and required in Section 11.6, Declarant may amend this Declaration, in Declarant's sole discretion, upon a determination by Declarant that amendment to this Declaration is in furtherance and necessary to complete the development work, the marketing and sale of the Lots, or the promotion and protection of the welfare of the Property as a residential community. No such amendment by Declarant will require notice to or approval by any Class A member.

**11.9 Resolution of Document Conflicts.** In the event of a conflict among any of the provisions in the documents governing RVM Phase 2, the conflict must be resolved by looking to the following documents in the order shown below:

1. Declaration;
2. Articles;
3. Bylaws;
4. Rules and Regulations (once adopted).

IN WITNESS WHEREOF, Declarant has executed this instrument this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

RIVERVIEW MEADOWS  
DEVELOPMENT LLC., an Oregon  
limited liability company

By: Carey M. Sheldon, President of Sheldon  
Development, Inc., Member

STATE OF OREGON            )  
  ) ss.  
County of \_\_\_\_\_ )

This instrument was acknowledged before me on \_\_\_\_\_, 20\_\_\_\_, by Carey M. Sheldon, President of Sheldon Development Inc., Member of Riverview Meadows Development LLC.

/s/ \_\_\_\_\_  
Notary Public for Oregon  
My commission expires: \_\_\_\_\_



Nehalem Bay Wastewater Agency  
SEWER AVAILABILITY

Date: 12/17/2025  
To: Tillamook County Building Department (Fax#503-842-1819)  
From: Nehalem Bay Wastewater Agency  
RE: Sewer Availability

As an Agent of Nehalem Bay Wastewater Agency, I confirm that sewer is available to the following lot within our service area boundary:

3N1023B0 03600

Owner of Record: RIVERVIEW MEADOWS DEVELOPMENT LLC  
Project Information: Subdivision Project, Phase 2

This letter shall not create a liability on the part of Nehalem Bay Wastewater Agency, or by an agent, or employee thereof, for the services described above.

Ashley Myers, Office Assistant  
Nehalem Bay Wastewater Agency



# Tillamook People's Utility District

**Directors**  
David L. Burt  
Valerie S. Folkema  
Lonnie M. Jenck  
Tamra R. Perman  
Barbara A. Trout

Office: 503 842-2535 • Toll-free: 800 422-2535 • Fax: 503 842-4161 • [www.tpod.org](http://www.tpod.org)

Todd Simmons  
GENERAL MANAGER

December 17, 2025

Sheldon Development Inc.  
Attn: Carey Sheldon  
PO Box 883  
Fairview, OR 97024

RE: Work Order No. 177213  
Property Located at Riverview Meadows Subdivision Phase 2, Nehalem

Dear Carey:

This letter is to certify that the Tillamook People's Utility District will extend electrical service to the above referenced facility in accordance with PUD Policy 4-2 which is in effect at the time service is extended.

Sincerely,

TILLAMOOK PEOPLE'S UTILITY DISTRICT

Zachary Hudspeth, PE  
Engineering Supervisor, Distribution  
503-815-8629

ZH:ja

Enclosure

# TILLAMOOK PEOPLE'S UTILITY DISTRICT

## POLICY BULLETIN 4-2

### SUBJECT: LINE EXTENSION POLICY

#### 1.0 General

It is the policy of the Tillamook People's Utility District (District) to provide line extensions to all customers within its service area, provided such line extensions comply with the following extension policy.

#### 2.0 Application for Line Extensions

- 2.1 The applicant for an electric line extension must own, have a contract to purchase, or have a lease of sufficient duration (as determined by the District) to the property or premises before the District provides the line extension.
- 2.2 To obtain a line extension, the applicant or their representative shall complete the District's Request for Electrical Service form.
- 2.3 The District may require the applicant to supply evidence of approval for construction by the city, county, or other governing agencies. Such evidence of approval to construct guarantees the applicant's intent to proceed with construction. The District requires notification by the applicant of any property deed restrictions or zoning requirements that may affect the installation of District electrical facilities.
- 2.4 The customer/developer shall locate and clearly mark all property corners requested by the District.

#### 3.0 Cost Estimates

- 3.1 The District will prepare a cost estimate for each line extension. The cost estimate shall include all anticipated District costs for the line extension. Additional estimates requested by the customer can be provided for a fee as specified in the District's *Customer Guide to Electric Service Requirement* book.
- 3.2 All cost estimates are valid for 180 days, and the construction of the line extension must be completed within 180 days from the date of the cost estimate letter. If the construction is not completed within 180 days of the date of the estimate letter, a new cost estimate and Line Extension Agreement may be prepared.
- 3.3 Indeterminate services are those that the District determines have an anticipated use of less than four years. All installation and retirement costs for line extensions to an indeterminate service will be paid prior to the start of construction.

#### 4.0 **Payment**

- 4.1 The District's Line Extension Agreement shall be signed by the property owner(s) and charges paid or District financing secured prior to the start of construction.
- 4.2 The property owner has the option of paying the estimated construction cost of the line extension or securing District financing for the estimated amount.
- 4.3 Line extensions may be financed by the District up to \$10,000 dollars for a period not to exceed thirty-six (36) months, with an annual interest rate of seven (7%) percent.
- 4.4 Financing is available to qualifying applicants for service to residential, commercial, irrigation/pumping, industrial service, or street or area lighting. Financing is not available to land developments, subdivisions, partition plats, indeterminate services, and conversion projects.
- 4.5 Customers may apply for financing by following the District's loan application process.

#### 5.0 **Refunds**

A refund, if greater than \$100.00, will be issued to the customer in the event the actual cost of the line extension is less than the estimated cost. For those financing extensions, refunds will be applied to reduce the amount financed.

#### 6.0 **Cost Overruns**

If the actual cost of construction exceeds the cost estimate, there will be no additional charge to the customer.

#### 7.0 **District Contribution**

Effective March 1, 2008, the District no longer contributes toward line extensions.

#### 8.0 **Reimbursement for Subsequent Line Extensions**

The District shall have the right to connect additional customers to District electrical facilities constructed under this policy.

- 8.1 Customers receiving service under this policy and whose contribution to their line extension was greater than \$10,000 shall receive reimbursement by the subsequent permanent service connections of additional customers, provided the additional customers are connected within ten years of the execution of the former Line Extension Agreement.
- 8.2 Reimbursement shall be determined by the District on the basis of prior customer's contribution, the portion of the previously constructed facilities being used to serve the new customer, and the amount of time remaining in the

reimbursement period. Reimbursement for District-financed extensions will be applied to reduce the loan amount.

- 8.3 The use of line extensions by other utilities through a pole attachment agreement with the District or for public street lighting purposes does not qualify for customer reimbursement.
- 8.4 Reimbursement will not be given to land developments, subdivisions, or partition plans for subsequent line extensions.

## **9.0 Service Point**

The point of delivery is called the service point and is the point at which the District-owned electrical facilities connect to the customer-owned electrical facilities. The service point shall be as defined in the District's *Customer Guide to Electric Service Requirements* book. In no case shall there be more than one service point to any dwelling, structure, or building, except by special written permission of the District and the electrical inspector.

## **10.0 District Electrical Facilities**

Except as specified, the District shall design, locate, install, own, and maintain all service conductors and electrical facilities before the service point.

- 10.1 The District shall locate, install, own, and maintain necessary power, energy, and reactive metering, including instrument transformers and, where necessary, data recorders and communication facilities.
- 10.2 The preferred location for the metering point is on the customer's dwelling, structure, or building. The District may grant permission to place the meter at a different location when this is not practical. Metering Equipment will not be installed on any District-owned poles unless authorized by the District's Operations Manager. For installations where a Site Isolating Device is required by the National Electrical Code, the customer will own the pole it is mounted on. When the District approves the use of a meter pole, the District shall locate, install, own, and maintain the meter pole.
- 10.3 The standard location of an underground distribution system shall be outside the street/road right-of-way except at crossings. Any deviation from this policy shall be approved by the District's Engineering Department. The developer shall be responsible for the coordination of efforts between the various utilities on the project.
- 10.4 Primary underground installations shall utilize pad-mounted transformers and applicable electrical equipment meeting the District's *Customer Guide to Electric Service Requirements* book.
- 10.5 Land Developments, Partition Plats, and Subdivisions

- 10.5.1 The developer or owner shall pay all costs for the line extension electrical facilities to the lot corners with the exception of the transformers.
- 10.5.2 The individual lot owner or customer shall contract with the District for the installation of the transformer and service conductors under the line extension policy in effect at the time the application is made for that particular class of customer.
- 10.5.3 The developer or owner who requests underground electric facilities shall, at their expense, purchase and install vaults and conduit systems that meet the District's design standards specified in the *Customer Guide to Electric Service Requirements* book. The ownership of the vault and conduit system will transfer to the District after inspection and installation of District electrical facilities. The cost of inspection shall be paid by the developer or owner.

#### 10.6 Area Lighting and Flat Rate Service

- 10.6.1 The District will furnish, install, and maintain area light or flat rate services at mutually agreeable locations attached to or directly under District's existing facilities.
- 10.6.2 Where poles, transformers, and/or secondary conductors, not a part of the District's existing distribution system, are required to provide this service, installation costs, excluding the cost of the light fixture(s), will be at the customer's expense, payable in accordance with Section 3.0 of this policy.
- 10.6.3 The complete lighting installation shall remain the property of the District. The customer will be responsible for the payment of a monthly rental fee in accordance with the District's area light rate schedule.
- 10.6.4 The customer will protect the lighting equipment and associated electrical facilities from damage and shall allow the District free access to the property to inspect and maintain the equipment or to remove the installation upon the termination of service.

#### 10.7 Capacity Increases to Existing Loads

Capacity increases to existing residential, commercial, farm, industrial, irrigation, pumping, lighting, and indeterminate electrical facilities shall be treated as though the increased capacity requirements were a new load. Charges for increased capacity shall be determined according to Section 3.0.

#### 10.8 Flood Areas

Those areas in the District's service area that the District determines are subject to flooding will require special consideration. The District will not install its equipment or provide service to customer-owned equipment that the District does not consider suitable for such locations.

## 10.9 Easements

The District shall require an easement satisfactory to the District for the installation, operation, and maintenance of its electrical facilities prior to their installation on private property. All costs incurred by the District associated with securing the easement will be added to the estimate of line extension costs.

## 11.0 **Electrical Facilities Installed by Customer**

The customer shall be responsible for the design, installation, ownership, and maintenance of all electrical facilities after the service point, except for meters and instrument transformers.

- 11.1 In addition to complying with all applicable District policies, the customer shall comply with the rules and regulations of the most current editions of the National Electrical Code (NEC); the National Electric Safety Code (NESC); State of Oregon Electrical Specialty Code; and state, federal, and local requirements.
- 11.2 The customer shall provide and install electrical facilities that meet the District's specifications referenced in the *Customer Guide to Electric Service Requirements* book. The District does not install or maintain services beyond the service point. See Section 13 of this Policy.
- 11.3 Customers shall provide vaults and conduits for pad-mounted electrical equipment required to serve them. Customer-provided electrical equipment shall be designed, located, and constructed in accordance with the District's *Customer Guide to Electric Service Requirements* book.
  - 11.3.1 The ownership of customer-provided equipment located ahead of the service point will transfer to the District after inspection and installation of the District's electrical equipment. The customer shall pay the cost of the inspection.
- 11.4 The customer shall also be responsible for furnishing, install, maintain, and owning all metering facilities after the service point; except for District meters, test blocks, instrument transformers, and associated instrument wires.
- 11.5 The District encourages the metering of the same customer-owned buildings such as barns, parlors, loafing sheds, and pumps through a single meter. Where feasible, all three-phase and single-phase consumption will be supplied and metered through a single metering point. Necessary meter mains will be supplied by the customer, who shall own all electrical facilities beyond the service point except as provided in Section 13 of this Policy.
- 11.6 The customer shall not place customer-owned area lighting on District-owned poles or facilities. The customer has the option of providing and installing an area lighting system; provided service to these electrical facilities is connected behind the service point and has the proper disconnect and overprotection equipment.

Ownership and maintenance of the complete lighting system behind the disconnect and electric meter will remain the responsibility of the owner.

- 11.7 The customer shall be responsible for digging and backfilling all trenches. Trenches shall meet design standards set forth in the *Customer Guide to Electric Service Requirements* book.
- 11.8 The customer is responsible to obtain the inspection and approval by the electrical inspector prior to the start of construction.
- 11.9 Trailer and RV parks will utilize the number of service points the District determines are appropriate. Ownership and responsibility for distribution of service within the Trailer or RV parks shall be with the owner/developer.

#### 12.0 **Conversion of Overhead to Underground Electrical Facilities**

Refer to Policy 4-5 (Relocation or Modification of District Facilities).

#### 13.0 **Electric Services Beyond the Meter**

All connections to the District's facilities shall require assistance from the District's Operations Department and the District shall make the connection of the customer's service wires to the District's facilities. Ownership and maintenance of services beyond the service point shall be the customer's responsibility.

##### 13.1 **Underground Service**

The District will not install or maintain underground services beyond the service point. The customer shall install and maintain these services behind an approved disconnect as allowed by the National Electric Code unless otherwise specified by the District's Engineering Department.

##### 13.2 **Overhead Service**

The District will not install or maintain overhead services beyond the service point. The customer shall install and maintain these services behind an approved disconnect unless otherwise specified by the District's Engineering Department.

#### 14.0 **Reduced Voltage or Current Starting Devices**

A customer shall not interfere with the quality of their own service or that of another customer. Customers shall comply with quality of service standards specified in the *Customer Guide to Electric Service Requirements* book.

## 15.0 **Compliance**

Should the customer not comply with the aforementioned policies, rules, and regulations, the District may refuse service; or in the case where service is being delivered, the District may discontinue such service until compliance with these policies is confirmed.

**RESPONSIBILITY:** Engineering Manager

**ADOPTED:** December 19, 1961

**Revision Dates:** 11-16-65; 12-13-65; 9-12-72; 7-15-80; 5-18-82; 9-18-84; 3-17-87; 12-12-89; 11-13-90; 12-17-91; 1-01-92; 1-01-93; 1-01-94; 1-01-95; 8-15-95; 6-18-96; 8-12-97; 8-15-00; 12-18-01; 2-12-02; 3-16-04, 12-18-07, 2-17-09; 8-17-2021

**Effective Date:** September 21, 2021



# Nehalem Bay Fire & Rescue District

36375 Hwy 101 N.  
Nehalem, OR 97131  
(503) 368-7590 Bus.  
(503) 368-7580 Fax  
[www.nehalembayfirerescue.org](http://www.nehalembayfirerescue.org)

12/30/2025  
Tracy Brown  
Tracy Brown Planning Consultants, LLC  
[tbrownplan@gmail.com](mailto:tbrownplan@gmail.com)



Re: Riverview Meadows Subdivision

The housing project proposed by Sheldon Development Inc complies with the Tillamook County Fire Defense Road Access Guidelines. Water supply is based on the home to be constructed. Hydrant location meets the requirements of the County Fire Defense Road Access Guidelines. Please contact me if any changes to road access or water supply sources are anticipated.

Respectfully,

**Dan Weitzel**  
Captain/Fire Prevention  
Nehalem Bay Fire & Rescue  
[d.weitzel@nbfrd.org](mailto:d.weitzel@nbfrd.org)



Date: \_\_\_\_\_

To: TILLAMOOK COUNTY BUILDING DEPARTMENT

Re: WATER SERVICE AVAILABILITY

Attn: Building Department

I confirm that the property listed below is within the City's water service area, and may be served water through the City's Water System under the Terms and Conditions governed by the latest version of the City's Water Ordinance. Please note: This Water Service Availability letter does not certify, approve or acknowledge any specific development plans, water or other utility installations that may be necessary for the subject property to actually physically connect to the City's water system to receive service. This letter only certifies that the subject property may receive (or may already receive) water from the City's Water System.

TOWNSHIP \_\_\_\_\_ RANGE \_\_\_\_\_ SECTION \_\_\_\_\_ TAX LOT(S) \_\_\_\_\_

SITUS ADDRESS: \_\_\_\_\_

NAME: \_\_\_\_\_ PHONE: \_\_\_\_\_

MAILING ADDRESS: \_\_\_\_\_

\_\_\_\_\_

Single Family \_\_\_\_\_ Duplex/Multi-Family \_\_\_\_\_ Other \_\_\_\_\_

Comments: \_\_\_\_\_

\_\_\_\_\_

Signed: Lori Longfellow

Name

Title



October 12, 2022

To: Tillamook County Community Development Department  
Sarah Absher, CFM, Director

Re: Riverview Meadows Phase 2 – County File #851-21-000414 PLNG and #851-21-000415 PLNG

Dear Ms. Absher:

The City of Nehalem offers the following additional comments on the/above-referenced application.

Domestic water service extension improvements can be approved if they are “adequate to serve the subdivision.” Nehalem City Code 51.09(B)(1). An evaluation for “adequacy” requires, among other things, a finding that they will “maintain a pressure of at least 20 pounds per square inch (psi) at all service connections at all times.” OAR 333-061-0025. In addition, the fire flow availability serving each of the new single-family dwellings must meet or exceed 1000 gallons per minute. 2019 Oregon Fire Code, Appendix B; NCC 51.10(F)(1); Water Master Plan.

The City’s Engineer Kyle Ayers has reviewed that applicant’s proposed tentative plan for the provision of water improvements necessary to serve the Riverview Meadows 2 development dated August 9, 2022 and supplemental data and has determined that with periodic testing throughout the construction project, these improvements are likely to satisfy the City standards. As such, the City recommends that the County approve the Riverview Meadows 2 subdivisions subject to the following conditions:

- Applicant shall install a water distribution system to serve Riverview Meadows Phase 2 “RVM2” that substantially complies with the narrative dated August 9, 2022 and its attached plan entitled “Riverview Meadows Phase 2 Tentative Plan” dated May 12, 2022 and updated “7/24/22 Add WL Feeder, Tank, Pump, PRVS” (called in this condition for simplicity “Riverview Water Plan”), authored by engineer, Jason Morgan.
- a. Coupled with submission of its Schematic Design plans, the applicant shall submit a pre-design report for the reservoir, pump station and components for the high pressure zone indicating that all connections will maintain adequate pressure.
  - b. Prior to completing any road paving, the new water infrastructure shall be tested to verify that improvements comply with the City’s requirements and standards and where those standards are not met, pipelines shall be repaired or replaced, and tested. These findings shall be provided to the City Engineer.
  - c. Prior to recording the final plat for RVM2, the Applicant shall secure the City’s acceptance for the water distribution improvements in substantial conformity with that Riverview Water Plan.

City of Nehalem • 35900 8th Street • P.O. Box 148 • Nehalem, Oregon 97181  
Ph (503) 368-5627 • Fx (503) 368-4175 • [nehalem.gov](http://nehalem.gov)

- d. Similarly, prior to recording the final plat for RVM3, the Applicant shall install to City standards and secure the City's acceptance for the water distribution improvements in substantial conformity with that Riverview Water Plan, subject to periodic testing during installation. This condition does not imply that RVM3 must be approved with respect to water system adequacy or otherwise. Such implication cannot be drawn because no application for RVM3 has been submitted. Rather, this condition is designed to respond to, and assuage, city concerns that a water distribution system substantially complying with the Riverview Water Plan will be installed for RVM 2 and ultimately 3 and so provide the agreed-upon adequate water service capacity to serve the entire 74-lot subdivision that is contemplated for the RVM 2 and 3 property.
- e. The Applicant, its principles and its subsequent owners in interest, shall not make any applications for new water service for RVM2 or RVM3 until the Riverview Water Plan improvements have been accepted by the City.

Thank you for the opportunity to comment on this application:

Sincerely,



Melissa Thompson-Kiefer  
City Manager



December 31, 2025

Tillamook County Community Development Department  
Sarah Absher, CFM, Director.

The City of Nehalem determines water service availability for the Riverview Meadows Phase 2 with the requirements of conditions as described in the October 12, 2022, City letter.

The letter states that the applicant shall design and install a water distribution system to serve all lots or parcels within the development in accordance to the city's code.

Construction of a distribution system includes, but is not limited to, water reservoir, booster pump stations and components for a high-pressure zone indicating that all connections will maintain adequate pressure, with a minimum fire flow of 1,000 GPM.

Distribution system plans have been submitted to the City and have been approved for construction. While construction on the water system is under way, the construction is not yet finalized. The City will provide a final approval letter for the distribution system upon construction to the City's satisfaction.

Sincerely,

A rectangular box containing a handwritten signature in cursive script that reads "Lori Longfellow".

Lori Longfellow  
City Manager  
City of Nehalem



# MORGAN CIVIL ENGINEERING, INC.

PO Box 358, Manzanita, OR 97130

ph: 503-801-6016

[www.morgancivil.com](http://www.morgancivil.com)

November 8, 2025

Oregon Health Authority  
Drinking Water Program  
Attn: Carrie Gentry, PE  
800 NE Oregon Street  
Portland, OR 97232-2162



[carrie.l.gentry@oha.oregon.gov](mailto:carrie.l.gentry@oha.oregon.gov)

**Re: Certificate of Completion for  
Riverview Meadow Phases 2 & 3 Waterlines (PR#130-2024)  
City of Nehalem (WS ID# 00554)  
Nehalem, Tillamook County, Oregon  
#19-10-Riv**

Dear Ms. Gentry:

This letter is to notify you that the construction of the water system improvements, referenced above, have been completed. The improvements have been completed and will be put into service as part of the water distribution system for City of Nehalem. The plans for these improvements were approved by your office on October 24, 2024. This portion of the work consists of a feeder pipe to the planned reservoir site and distribution pipes for the planned lots in the subdivision.

As the project engineer, I was on the site periodically to observe the construction. An inspector was on site full time during this work.

The addition to water distribution system was built according to the approved plans. The new waterline is buried at least 30 inches below the surface at all locations.

## Testing

After the pipes were installed, pressure and bacteriological tests were successfully completed. I was on the site to observe pressure test of the system extension. The lab reports are attached.

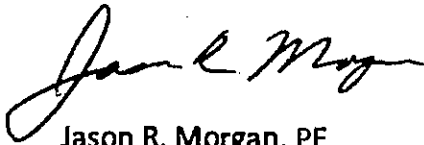
## Certification

It is my professional opinion that the pipe was installed in existing road rights-of-way, restraints were used at all bends and tees, tracer wire was installed with the pipe, and no local high points were created during installation. Additionally, the installation of the water pipe was inspected by the utility district.

Please contact me if you have any questions or need additional information on the findings in this letter.

Sincerely,

**MORGAN CIVIL ENGINEERING, INC.**



Jason R. Morgan, PE  
*Professional Engineer*



RENEWAL DATE: DECEMBER 31, 2026

Enc: Drinking Water Services Project Final Approval Request Form  
Laboratory Analysis Report

cc: Project File #19-10-Riv

<V:\19-10-Riv\Construc\RVM-OHA Final.docx>

Project Name Riverview Meadows Phases 2 & 3 waterlines

PR# 130-20234

Public Water System ID# 41- 554

PWS Name City of Nehalem

Click to locate PWS ID#

	YES	NO	DATE
1. Was the project undertaken? If so, what was the starting date?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	05/05/2025
2. If project was not undertaken, has the project been abandoned?	<input type="checkbox"/>	<input type="checkbox"/>	
3. Was the project completed? If so, when? If project not complete, estimated completion date: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	06/27/2025
4. If completed, was the work accomplished in conformance with all conditions listed in the Conditional Approval letter and DWS Construction Standards, Oregon Administrative Rule (OAR) 61-0050? <b>In the comments below or on a separate sheet please make clear how all conditions specified in the Conditional Approval letter were met.</b>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
5. If the project was completed, were there any differences between what is shown on the plans and what was actually installed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
6. If the completed project is different from what is shown on the plans, were the plans modified to show as-built conditions?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Have as-builts been sent to Drinking Water Services? <b>NOTE: As-builts are not required if there were no significant changes noted in 5.</b>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
8. Are the facilities operating? If so, starting when?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____

Signature of Engineer \_\_\_\_\_  
Name Jason R Morgan  
Firm Morgan Civil Engineering, Inc.

Date 11/08/2025  
OR PE# 63055  
Phone (503) 801-6016

Comments  
Water distribution system and line to feed tank have been installed and tested.  
Tank, valve, pump, and appurtenances have not been installed; these items were approved separately.





# MORGAN CIVIL ENGINEERING, INC.

PO Box 358, Manzanita, OR 97130

ph: 503-801-6016

[www.morgancivil.com](http://www.morgancivil.com)

November 8, 2025

Riverview Meadows, LLC

Carey Sheldon

PO Box 883

Fairview, OR 97024

[careysheldon17@yahoo.com](mailto:careysheldon17@yahoo.com)

**Re: Certificate of Completion for  
Riverview Meadows Development, Phases 2 & 3  
Nehalem, Tillamook County, Oregon  
Tax Lot 3600, Map 3N 10W 23B  
Project #19-10-Riv**

Dear Mr. Sheldon:

See attached Certification of Proper Construction and Manhole Test Record. This is to notify the State and the Nehalem Bay Wastewater Agency that the approved sanitary sewer work and testing have been completed and inspected.

The new manholes were vacuum tested after the asphalt was placed.

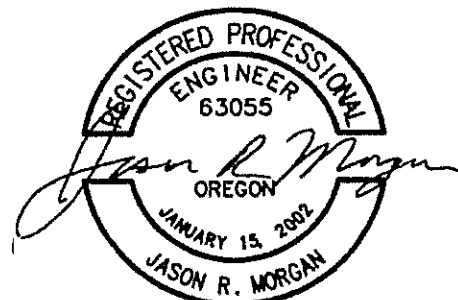
I observed the installation of the pipes and manholes, and the required testing.

If you have any question or need additional information, please contact me at [jason@morgancivil.com](mailto:jason@morgancivil.com) or 503-801-6016.

Sincerely,

**MORGAN CIVIL ENGINEERING, INC.**

Jason R. Morgan, PE  
Professional Engineer



RENEWAL DATE: DECEMBER 31, 2026

cc: Project File #19-10-Riv

<V:\19-10-Riv\Construc\Riverview Meadows Sewer Cert.docx>



State of Oregon  
Department of  
Environmental  
Quality

## INSPECTION AND CERTIFICATION OF PROPER CONSTRUCTION

TO (check appropriate box):

- Jonathan Gasik, MS, PE – 221 Stewart Ave., Suite 201, Medford, OR 97501
- Tim Caire, PE – 165 East 7th Ave., Suite 100, Eugene, OR 97401
- Timothy C. McFetridge, PE – 4026 Fairview Industrial Dr., Salem, OR. 97302.
- Michael Pinney, PE – 700 NE Multnomah St, Ste 600, Portland OR 97232-4100
- Heidi B. Williams, PE – 800 SE Emigrant, #330, Pendleton, OR 97801

Project Name: Riverview Meadows Development Phases 2 and 3

Project Location: Tax Lot 3600, Map 3N 10W 23B  
Nehalem, Tillamook County, Oregon

I was the design engineer on the above-referenced project and I, or my authorized representative, did supervise and inspect the construction. I certify that such construction was inspected and found to be in accordance with the plans and specifications, including any changes therein approved by the Department of Environmental Quality.

Design Engineer's Signature

Supplemental inspections were made by: Nehalem Bay Wastewater Agency staff

Cc: Sewer system owner



RENEWAL DATE: DECEMBER 31, 2026

**ATTACHMENT B**

**MANHOLE TEST RECORD**

Project: RIVERVIEW MEADOWS (2 & 3)

Project No. 61787/101515

Contractor: Riverview Development

Testing Company: Goryan

Witnessed By: Jason Morgan (Morgan Civil Engineering)

(Inspector)

Date	MH No.	Paved? (P or U)	MH Depth	MH Diam.	VACUUM			HYDROSTATIC					COMMENTS	
					Time Req.	Vac. Start	Vac. End	Time Start	Time End	Total Time	Volume Change	Loss (gph)		PASS FAIL
10/13	<del>M4</del>	P	7	48"	17.5	11	11						P	Colt/lee
10/13	M6	P	7	48"	17.5	10.9	10.9						P	Colt/lee
10/13	1-1	P	7	48"	17.5	10.5	10.3						P	Gate
10/13	3-3	P	7	48"	17.5	10.5	10.5						P	Kan/le
10/13	34	P	7	48"	17.5	10.5	10.1						P	Kan/lee
10/13	5-2	P	7	48"	17.5	10.5	10.5						P	Kan/lee
10/13	3-1	P	7	48"	17.5	10.5	10.5						P	Mccke
10/13	M5	P	7.3	48"	18	10.5	10.5						P	Colt/lee
10/13	M4	P	7	48"	17.5	10.5	10.3						P	Colt/lee
10/13	2-1	P	7.3	48"	18.0	10.5	10.5						P	Kan/lee
10/13	M-3	P	7.2	48"	18	10.1	10.1						P	Colt/lee
10/13	M-2	P	7.2	48"	18	10.6	10.6						P	Colt/lee
10/13	M-1	P	7.2	48"	18	10.5	10.8						P	Colt/lee
10/13	1-1	P	7	48"	17.5	10.5	10.5						P	Kan/lee
10/13	1-2	P	7	48"	17.5	10.5	10.5						P	Kan/lee
10/13	1-3	P	7	48"	17.5	10.5	10.5						P	Kan/lee
10/10	1627	P	11.8	18	30	10.5	10.5							EX

**NOTE:**

All Adjacent surface restoration will be completed before conducting a sanitary manhole acceptance test, including finish paving and final adjustment to grade. Any test conducted beforehand shall be considered informal and will not count for acceptance.

Vacuum test will be conducted in accordance with latest applicable standards, such as established procedures based on ASTM C1244-93, starting at 10" Hg of vacuum. Vacuum tests will be conducted in accordance with latest applicable standards, such as those listed under APWA 306.3.03B, Vacuum Testing.

Hydrostatic test will be conducted in accordance with the 1990 Oregon APWA standards Specifications for Sanitary Sewer Construction, Section 306.03. Manholes shall be filled to a mark on the iron frame at the start of the test, or to the rim of the frame.

Tina Kotek, Governor

November 26, 2025

Jason R. Morgan, PE  
Professional Engineer  
Morgan Civil Engineering, Inc.  
Via email: [jason@morgancivil.com](mailto:jason@morgancivil.com)

**Re: Riverview Meadows Phases 2 and 3 Waterlines (PR#130-2024)  
City of Nehalem (PWS ID#00554)  
Final Approval**

Dear Jason:

On November 25, 2025, our office received confirmation that the above project was completed according to the plans submitted and conditions set forth in the October 24, 2024 conditional approval letter.

Final approval is issued at this time, and the facilities are approved for use.

If you have any questions, please feel free to call me at (971) 201-9794.

Sincerely,



Carrie Gentry, PE  
Regional Engineer  
OHA-Drinking Water Services  
[Carrie.L.Gentry@oha.oregon.gov](mailto:Carrie.L.Gentry@oha.oregon.gov)

cc: Nicole Alfafara, REHS, OHA/DWS  
Brian Moore, Public Works Director, City of Nehalem

RECEIVED

MAR 30 2026

BY: SAJ

RIVERVIEW MEADOWS
TAX LOT 6200, MAP 3N 10W 23B
NEHALEM, TILLAMOOK COUNTY
EROSION CONTROL PLAN

NARRATIVE
CONSTRUCT PHASES 2 AND 3 OF RIVERVIEW MEADOWS. IMPROVE AND WIDEN ENTRANCE ROAD FROM NORTH FORK ROAD. (PHASE 1 WAS CONSTRUCTED IN 2008.)
INFRASTRUCTURE CONSTRUCTION ONLY: ROADS AND UTILITIES.

UTILITY LOCATE ONE CALL
(1-800-332-2344) or (8-1-1)

ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 852-001-0010 THROUGH OAR 852-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987).

PROPERTY IS TAX LOT 6200, MAP 3N 10W 23D, NEHALEM, TILLAMOOK COUNTY, OREGON.

LATITUDE - 45° 30' 46"N
LONGITUDE - 123° 52' 26"W

WATERSHED

HUC12 NAME: NEHALEM BAY
IMPAIRED: FECAL COLIFORM

SOIL CONDITIONS

CHITWOOD-HEBO COMPLEX 0-5 PERCENT SLOPES.

±12 INCHES OF SILT LOAM.

-60%+ SILTY CLAY LOAM.

(PER USDA NATURAL RESOURCES CONSERVATION SERVICE)

SHEET INDEX

EROSION AND SEDIMENT CONTROL PLANS

- 1. COVER SHEET/NOTES
2. EXISTING CONDITIONS
3. ROAD DEVELOPMENT PLAN
4. ESCP DETAILS
5. LOT DEVELOPMENT PLAN
6. ENTRY ROAD - SOUTHERN PORTION
7. ENTRY ROAD - NORTHERN PORTION
8. ESCP DETAILS
9. ESCP NOTES

AREA
PROPERTY = 21.75 ACRES (720 FT X 1760 FT)
ROADWAYS = ±4.1 ACRES

FILL MATERIAL

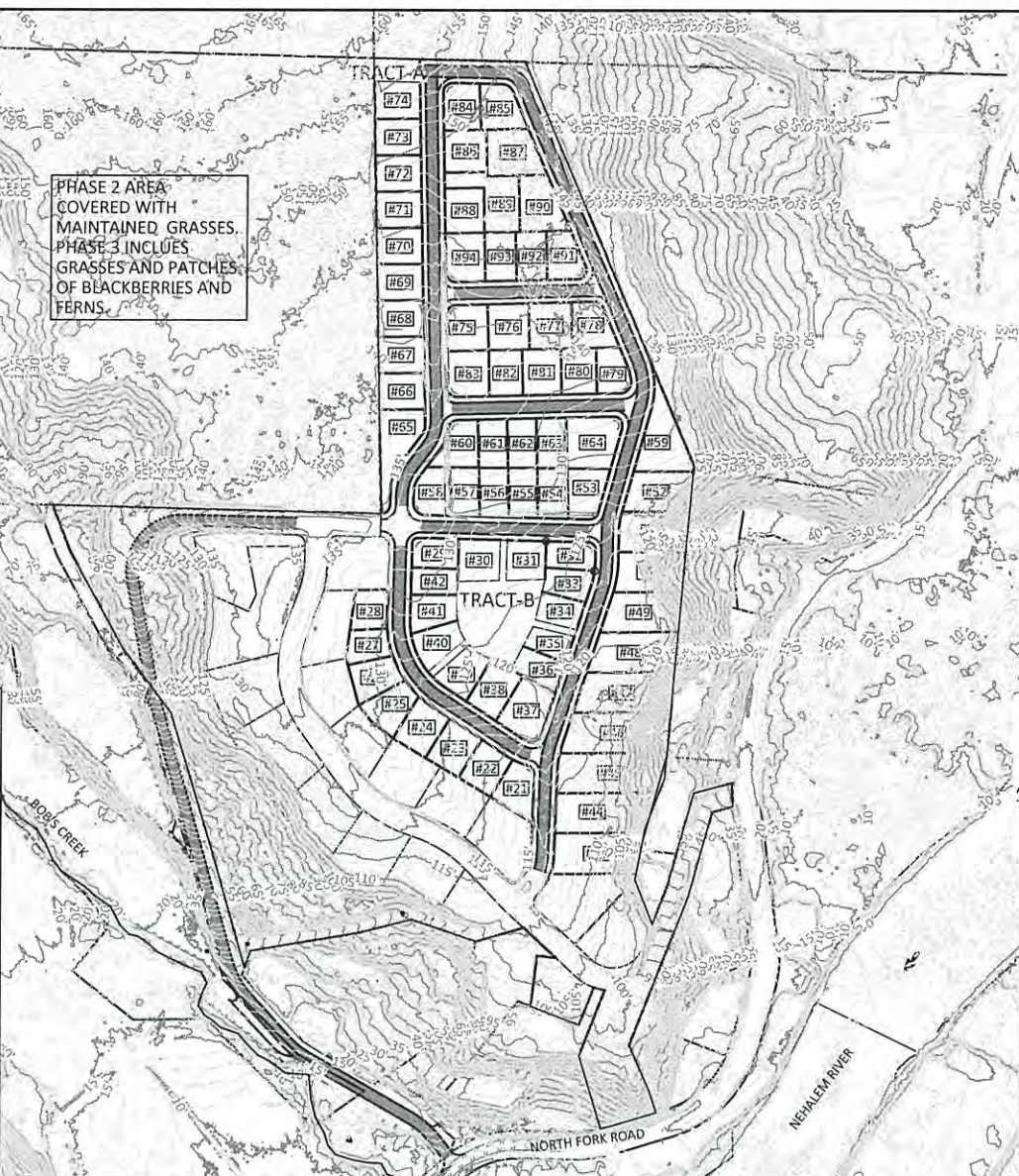
ALL FILL MATERIAL TO BE IMPORTED CRUSHED ROCK OR PIT RUN ROCK.
IMPORTED ROCK WILL BE USED FOR ROAD FILL, STRUCTURAL FILL AND ROAD BASE MATERIAL

VICINITY MAP

SCALE: 1"=±2800'



PHASE 2 AREA COVERED WITH MAINTAINED GRASSES. PHASE 3 INCLUDES GRASSES AND PATCHES OF BLACKBERRIES AND FERNS.



STANDARD EROSION AND SEDIMENT CONTROL PLAN DRAWING NOTES

- 1. Once known, include a list of all contractors that will engage in construction activities on site, and the areas of the site where the contractor(s) will engage in construction activities.
2. Visual monitoring inspection reports must be made in accordance with DEQ 1200-C permit requirements.
3. Inspection logs must be kept in accordance with DEQ's 1200-C permit requirements.
4. Retain a copy of the ESCP and all revisions on site and make it available on request to DEQ, Agent, or the local municipality.
5. The permit registrant must implement the ESCP. Failure to implement any of the control measures or practices described in the ESCP is a violation of the permit.
6. The ESCP must be accurate and reflect site conditions.
7. Submission of all ESCP revisions is not required.
8. Sequence clearing and grading to the maximum extent practical to prevent exposed inactive areas from becoming a source of erosion.
9. Create smooth surfaces between soil surface and erosion and sediment controls to prevent stormwater from bypassing controls and ponding.
10. Identify, mark, and protect (by construction fencing or other means) critical riparian areas and vegetation including important trees and associated rooting zones, and vegetation areas to be preserved.
11. Preserve existing vegetation when practical and re-vegetate open areas.
12. Maintain and delineate any existing natural buffer within the 50-feet of waters of the state.
13. Install perimeter sediment control, including storm drain inlet protection as well as all sediment basins, traps, and barriers prior to land disturbance.
14. Control both peak flow rates and total stormwater volume, to minimize erosion at outlets and downstream channels and streambanks.
15. Control sediment as needed along the site perimeter and at all operational internal storm drain inlets at all times during construction, both internally and at the site boundary.
16. Establish concrete truck and other concrete equipment washout areas before beginning concrete work.
17. Apply temporary and/or permanent soil stabilization measures immediately on all disturbed areas as grading progresses.
18. Establish material and waste storage areas, and other non-stormwater controls.
19. Keep waste container lids closed when not in use and close lids at the end of the business day for those containers that are actively used throughout the day.
20. Prevent tracking of sediment onto public or private roads using BMPs such as: construction entrance, graveled (or paved) exits and parking areas, gravel all unpaved roads located onsite, or use an exit tire wash.
21. When trucking saturated soils from the site, either use water-tight trucks or drain loads on site.
22. Control prohibited discharges from leaving the construction site, i.e., concrete wash-out, wastewater from cleanup of stucco, paint and curing compounds.
23. Ensure that steep slope areas where construction activities are not occurring are not disturbed.
24. Prevent soil compaction in areas where post-construction infiltration facilities are to be installed.
25. Use BMPs to prevent or minimize stormwater exposure to pollutants from spills; vehicle and equipment fueling, maintenance, and storage; other cleaning and maintenance activities; and waste handling activities.
26. Provide plans for sedimentation basins that have been designed per Section 2.2.17 and stamped by an Oregon Professional Engineer.
27. If engineered soils are used on site, a sedimentation basin/impoundment must be installed.
28. Provide a dewatering plan for accumulated water from precipitation and uncontaminated groundwater seepage due to shallow excavation activities.
29. Implement the following BMPs when applicable: written spill prevention and response procedures, employee training on spill prevention and proper disposal procedures, spill kits in all vehicles, regular maintenance schedule for vehicles and machinery, material delivery and storage controls, training and signage, and covered storage areas for waste and supplies.
30. Use water, soil-binding agent or other dust control technique as needed to avoid wind-blown soil.
31. The application rate of fertilizers used to reestablish vegetation must follow manufacturer's recommendations to minimize nutrient releases to surface waters.
32. If an active treatment system (for example, electro-coagulation, flocculation, filtration, etc.) for sediment or other pollutant removal is employed, submit an operation and maintenance plan.
33. Temporarily stabilize soils at the end of the shift before holidays and weekends, if needed.
34. As needed based on weather conditions, at the end of each workday soil stockpiles must be stabilized or covered, or other BMPs must be implemented to prevent discharges to surface waters.
35. Sediment fence: remove trapped sediment before it reaches one third of the above ground fence height and before fence removal.
36. Other sediment barriers (such as biobags): remove sediment before it reaches two inches depth above ground height and before BMP removal.
37. Catch basins: clean before retention capacity has been reduced by fifty percent.
38. Within 24 hours, significant sediment that has left the construction site, must be remediated.
39. The intentional washing of sediment into storm sewers or drainage ways must not occur.
40. Document any portion(s) of the site where land disturbing activities have permanently ceased or will be temporarily inactive for 14 or more calendar days.
41. Provide temporary stabilization for that portion of the site where construction activities cease for 14 days or more with a covering of blown straw and a tackifier, loose straw, or an adequate covering of compost mulch until work resumes on that portion of the site.
42. Do not remove temporary sediment control practices until permanent vegetation or other cover of exposed areas is established.

LEGEND

- EXISTING GRAVEL ROADWAY
EXISTING DRAINAGE CHANNEL
SILT FENCING
ROCK CHECK DAM
PROPOSED CULVERT WITH FLARED ENDS
FINAL DRAINAGE PATTERN
EXISTING DRAINAGE PATTERN
EXISTING DITCH
PROPOSED RETAINING WALL

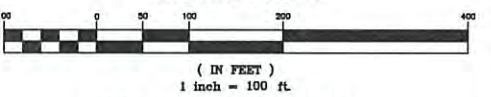
EXISTING CONTOURS (1' INTERVAL)
ALL ROADS MUST HAVE AT LEAST 12" BASE ROCK.

CECSL INSPECTOR
(PRINILEE) KATHLEEN MCCORD
CERTIFICATION ID# 84780
EXPIRES 7/12/2026
PO BOX 883
FAIRVIEW, OR 97024
971-808-7611
BIDSFORRMV@GMAIL.COM

RAIN GAUGE
TILLAMOOK (TMK03)
Lat: 45.45722°N
Lon: 123.8025°W
Elev: 11 FT.

PROPOSED SITE PLAN

SCALE: 1"=100'



PRE-CONSTRUCTION

EROSION AND SEDIMENT CONTROL

- 1. BEFORE GRADING, ALL CONSTRUCTION FENCING, SEDIMENT CONTROL AND ROCK ENTRANCES MUST BE IN PLACE, FUNCTIONAL AND APPROVED PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
2. SEDIMENT BARRIERS APPROVED FOR USE INCLUDE SEDIMENT FENCES OR OTHER APPROVED MATERIALS.
3. SENSITIVE RESOURCES INCLUDING, BUT NOT LIMITED TO WETLANDS AND CREEK, SHALL BE CLEARLY DELINEATED WITH ORANGE CONSTRUCTION FENCE. NO ACTIVITIES ARE PERMITTED TO OCCUR BEYOND THE CONSTRUCTION BARRIER.
4. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT.

Table with columns: NO., DATE, DESCRIPTION, BY.



MORGAN CIVIL ENGINEERING, INC.

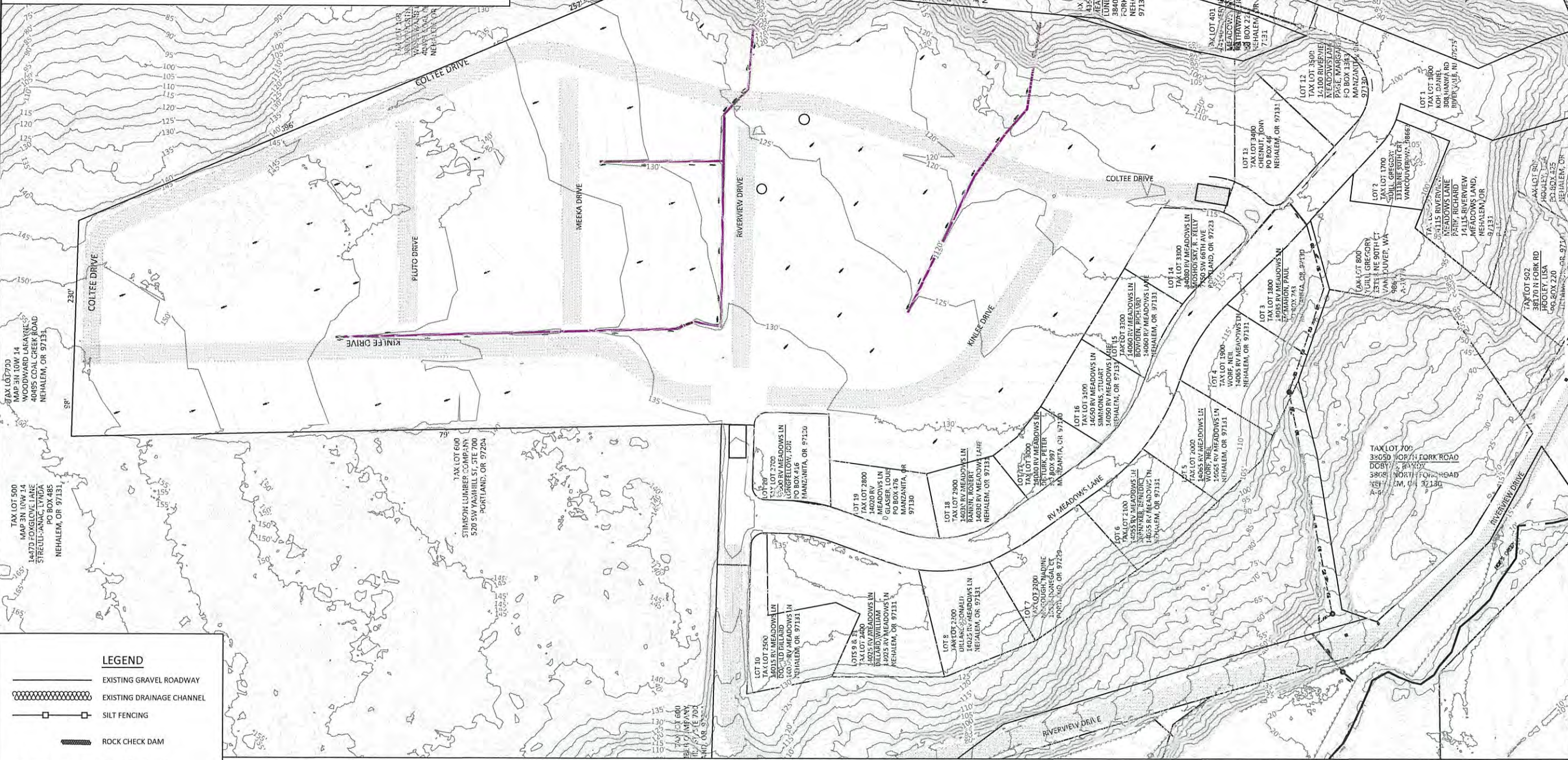
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PLANNING
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MANZANITA, OR 97130
(503) 801-5016
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RIVERVIEW MEADOWS SUBDIVISION
TAX LOT 6200, MAP 3N 10W 23D
EROSION SEDIMENT CONTROL PLAN - COVER SHEET

SHEET 1 OF NINE

# RIVERVIEW MEADOWS SUBDIVISION EROSION CONTROL PLAN DEVELOPMENT PLAN



**LEGEND**

- EXISTING GRAVEL ROADWAY
- EXISTING DRAINAGE CHANNEL
- SILT FENCING
- ROCK CHECK DAM
- PROPOSED CULVERT WITH FLARED ENDS
- FINAL DRAINAGE PATTERN
- EXISTING DRAINAGE PATTERN
- EXISTING DITCH
- PROPOSED RETAINING WALL

EXISTING CONTOURS (1' INTERVAL)  
ALL ROADS MUST HAVE AT LEAST 12" BASE ROCK.

**EXISTING CONDITIONS**

1. 0 TO 5 PERCENT SLOPE TO SOUTHEAST.
2. MOST PLANNED ROADS HAVE BEEN ROUGH GRADED, INCLUDING DITCHES. OLD CULVERTS IN PLACE.
3. PRIMARY WATER ROUTES FROM PLANNED AREA FLOW TO EAST DOWNS SLOPE, THEN ACROSS NORTH FORK ROAD TO THE NEHALEM RIVER - TWO LOCATIONS.
4. PHASE 1 WATER IS COLLECTED IN DITCHES, FLOWS THROUGH CULVERTS TO BOB'S CREEK TO THE WEST.

**NARRATIVE**

MOST WATER FROM PLANNED PHASE 2 AND 3 FLOWS DOWN EAST BANK TO NORTH FORK ROAD AND NEHALEM RIVER.  
(WATER FROM KINLEE DRIVE IS DIRECTED TO PHASE 1)

WATER FROM PHASE 1 DIRECTED THROUGH EASEMENT AT LOT 3 TO BOB'S CREEK.  
EXISTING SETTLEMENT POND IS LOCATED AT BASE OF SLOPE.

WATER FROM EMERGENCY ENTRANCE (RIVERVIEW DRIVE) IS NOT COLLECTED.

**EXISTING CONDITIONS**

SCALE: 1"=80'

**GRAPHIC SCALE**

( IN FEET )  
1 inch = 80 ft.

NO.	DATE	DESCRIPTION	BY



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(503) 804-5016  
www.morgancivil.com

REGISTERED PROFESSIONAL  
ENGINEER  
63055  
OREGON  
JASON R. MORGAN  
RENEWAL DATE: DECEMBER 31, 2024

JOB NO. R15-10-RIV  
DATE AUGUST 17, 2023

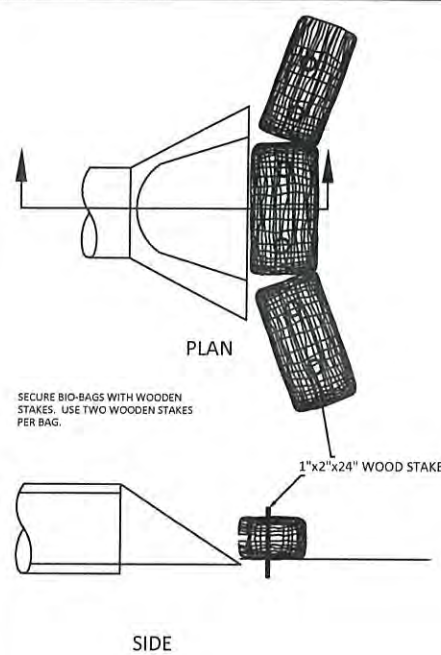
**RIVERVIEW MEADOWS SUBDIVISION  
TAX LOT 6200, MAP 3N 10W 23D  
EXISTING CONDITIONS**

SECTION 03N 10W 23D, NEHALEM

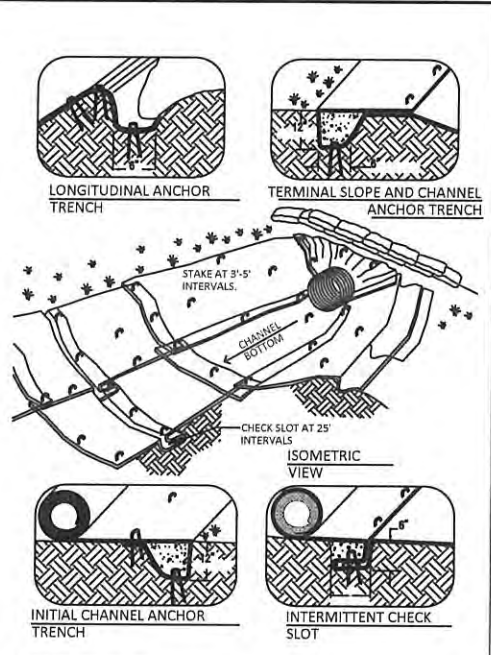
SHEET  
**2**  
OF NINE

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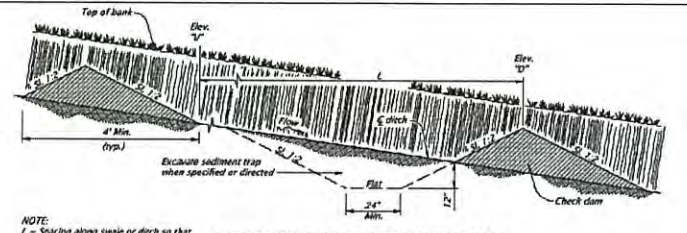


**1**  
**4** **INLET PROTECTION**  
NO SCALE

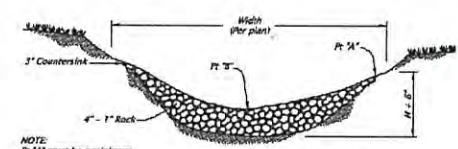


**2**  
**4** **CHANNEL MATTING**  
NO SCALE

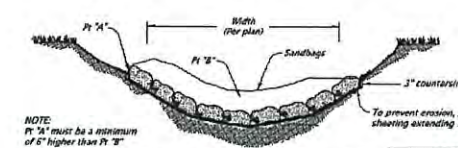
- NOTES:
- USE COIR FIBER MATTING - ECO MESH CM700 OR EQUIVALENT.
  - STAPLES SHALL BE 6" LONG (MINIMUM).
  - CHECK SLOTS TO BE CONSTRUCTED PER MANUFACTURERS SPECIFICATIONS.
  - STAKING OR STAPLING LAYOUT PER MANUFACTURERS SPECIFICATIONS.



**TYPICAL PROFILE SECTION CHECK DAMS (SHOWN WITH AGGREGATE)**  
NOT TO SCALE



**AGGREGATE CHECK DAM - TYPE 1**  
NOT TO SCALE



**SANDBAG CHECK DAM - TYPE 4**  
NOT TO SCALE

- NOTES:
- Type 3 - stake biofilter bags with two 2"x2"x18" (minimum) wood stakes per bag. Drive stakes a minimum of 6" into the ground and flush with the top of the bags. Once stakes are placed over paved surfaces, overlap bags 12" minimum at each joint.
  - Type 4 - Tightly abut or overlap ends of sandbags at each joint.
  - Spacing between check dams for all check dam types shall comply with the typical profile section shown above.

**3**  
**4** **ROCK CHECK DAM**  
NOT TO SCALE

Check Dam	H=1'	H=1.2'	H=1.5'	H=2'
100%	15'	15'	15'	20'
80%	15'	15'	15'	25'
60%	15'	15'	20'	25'
40%	15'	20'	25'	30'
20%	15'	25'	30'	35'
10%	15'	30'	35'	40'
5%	15'	35'	40'	45'
2%	15'	40'	45'	50'
1%	15'	45'	50'	55'

CALC. BOOK NO. N/A  
SDM DATE: JANUARY, 2021

NOTE: All material and workmanship shall be in accordance with the current Oregon Standard Specifications.

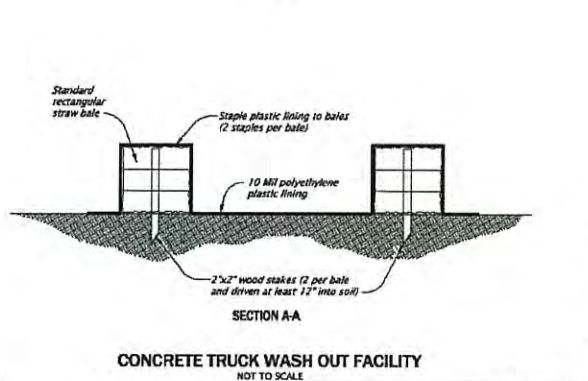
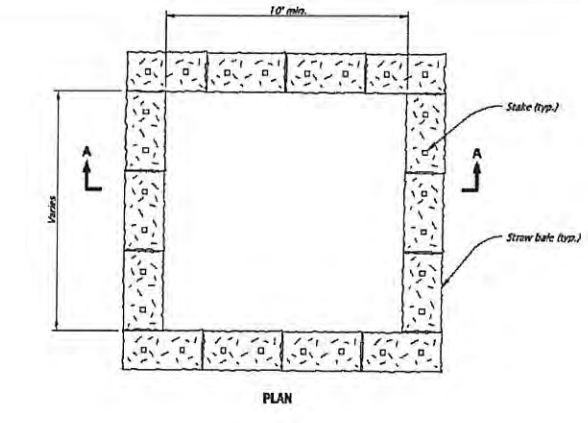
**OREGON STANDARD DRAWINGS**

**CHECK DAMS**  
TYPE 1, 3 AND 4

2021

DATE: 12/01/2021  
REVISED: 05/31/2023

DATE: December 1, 2022 - May 31, 2023  
RD1005



CALC. BOOK NO. N/A  
SDM DATE: JANUARY, 2021

NOTE: All material and workmanship shall be in accordance with the current Oregon Standard Specifications.

**OREGON STANDARD DRAWINGS**

**CONCRETE TRUCK WASH OUT**

2021

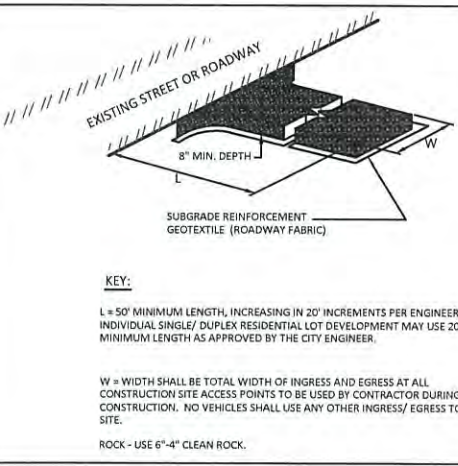
DATE: 12/01/2021  
REVISED: 05/31/2023

DATE: December 1, 2022 - May 31, 2023  
RD1070

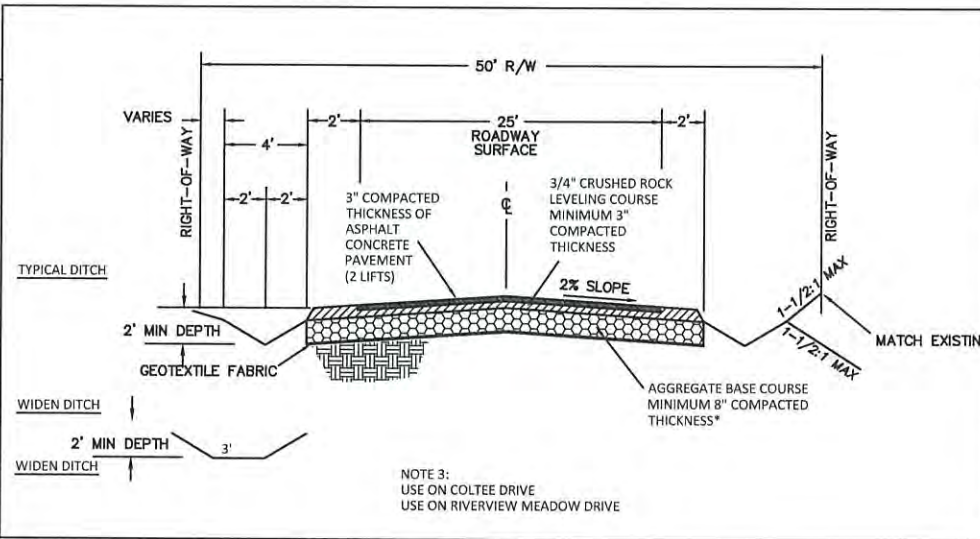
**4**  
**4** **CONCRETE WASH OUT**  
NOT TO SCALE

Species	Percentage of Mixture
Annual Ryegrass	26%
Potomac Orchardgrass	25%
New Zealand White Clover	20%
Perennial Ryegrass	15%
Annual Crimson Clover	14%

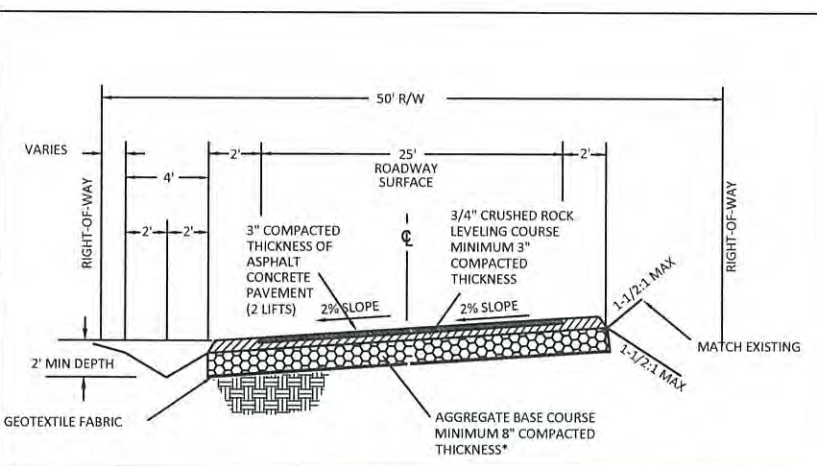
**4**  
**4** **GRASS SEED MIXTURE**  
NOT TO SCALE



**6**  
**4** **CONSTRUCTION ENTRANCE**  
NOT TO SCALE



**7**  
**4** **TYPICAL ROAD SECTION**  
NOT TO SCALE



**8**  
**4** **COLTEE ROAD SECTION - PHASE 3**  
NOT TO SCALE

NO.	DATE	DESCRIPTION	BY



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• PLANNING

PO BOX 358  
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(503) 801-6016  
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JOB NO. #19-10-RV  
DATE: AUGUST 17, 2023

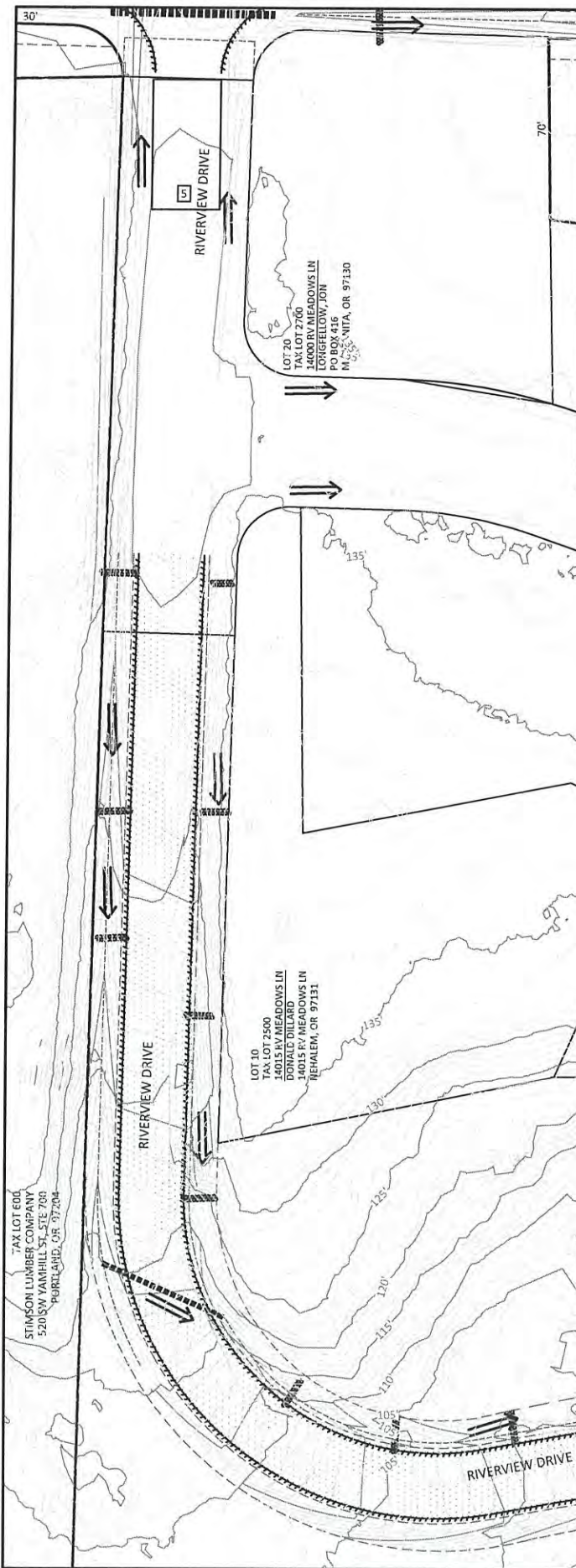
REGISTERED PROFESSIONAL ENGINEER  
JASON R. MORGAN  
RENEWAL DATE: OCTOBER 31, 2024

**RIVERVIEW MEADOWS SUBDIVISION**  
TAX LOT 6200, MAP 3N 10W 23D  
**EROSION SEDIMENT CONTROL PLAN - DETAILS**

V:\19-10-RV\DWG\Riverview-ESCP.dwg, details (road), 8/20/2023 5:18:49 PM



V:\19-10-Riv\DWG\Riverview-ESCP.dwg, rvd-north, 8/20/2023 5:19:33 PM



## RIVERVIEW DRIVE (ENTRANCE ROAD) EROSION CONTROL PLAN NORTH SECTION (TO DEVELOPMENT)

GRAPHIC SCALE  
( IN FEET )  
1 inch = 30 ft.

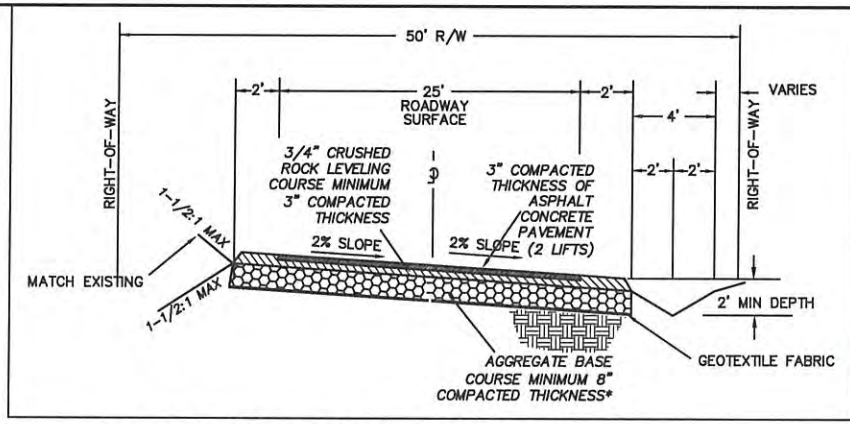
**1**  
6

**ROADWAY IMPROVEMENT PLAN - EROSION CONTROL**  
SCALE: 1"=30'

**2**  
6

**ROADWAY SECTION - STANDARD**  
SCALE: 1"=30'

**NARRATIVE**  
WIDEN AND PAVE EXISTING GRAVEL ENTRANCE ROAD FROM NORTH FORK ROAD. PITCH ROAD TO UPHILL SIDE.



### LEGEND

- EXISTING GRAVEL ROADWAY
- EXISTING DRAINAGE CHANNEL
- SILT FENCING
- ROCK CHECK DAM
- PROPOSED CULVERT WITH FLARED ENDS
- FINAL DRAINAGE PATTERN
- EXISTING DRAINAGE PATTERN
- EXISTING DITCH
- PROPOSED RETAINING WALL

EXISTING CONTOURS (1' INTERVAL)  
ALL ROADS MUST HAVE AT LEAST 12" BASE ROCK.

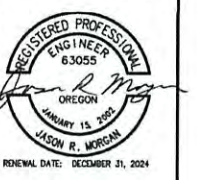


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 INSPECTION  
 PLANNING

JOB NO. #19-10RIV  
 DATE AUGUST 17, 2023



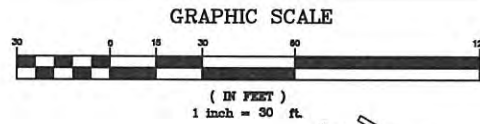
**RIVERVIEW MEADOWS SUBDIVISION**  
 RIVERVIEW DRIVE - MAP 3N 10W 23D  
 EROSION SEDIMENT CONTROL PLAN

NO.	DATE	DESCRIPTION	BY

SHEET  
6  
 OF NINE

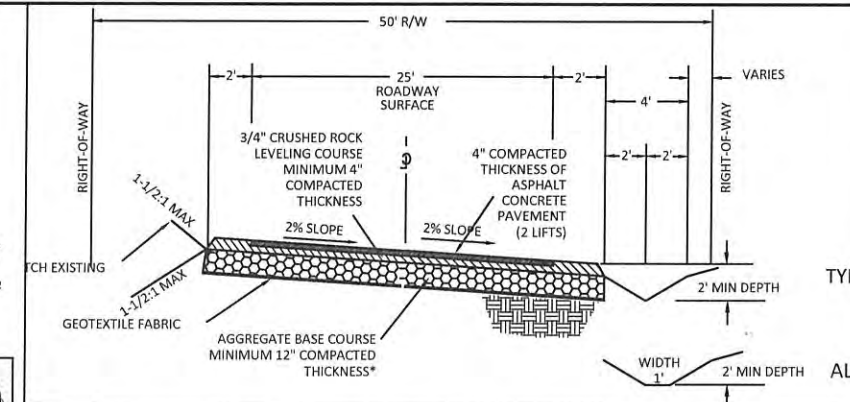
SECTION 03N 10W 23D, NEHALEM

# RIVERVIEW DRIVE (ENTRANCE ROAD) EROSION CONTROL PLAN SOUTH SECTION (FROM NORTH FORK ROAD)



**NARRATIVE**  
WIDEN AND PAVE EXISTING GRAVEL ENTRANCE ROAD FROM NORTH FORK ROAD. PITCH ROAD TO UPHILL SIDE. PIPE WATER UNDER EXISTING DRIVEWAYS. DIRECT WATER TO BOB'S CREEK.

**1 ROADWAY IMPROVEMENT PLAN - EROSION CONTROL**  
SCALE: 1"=30'

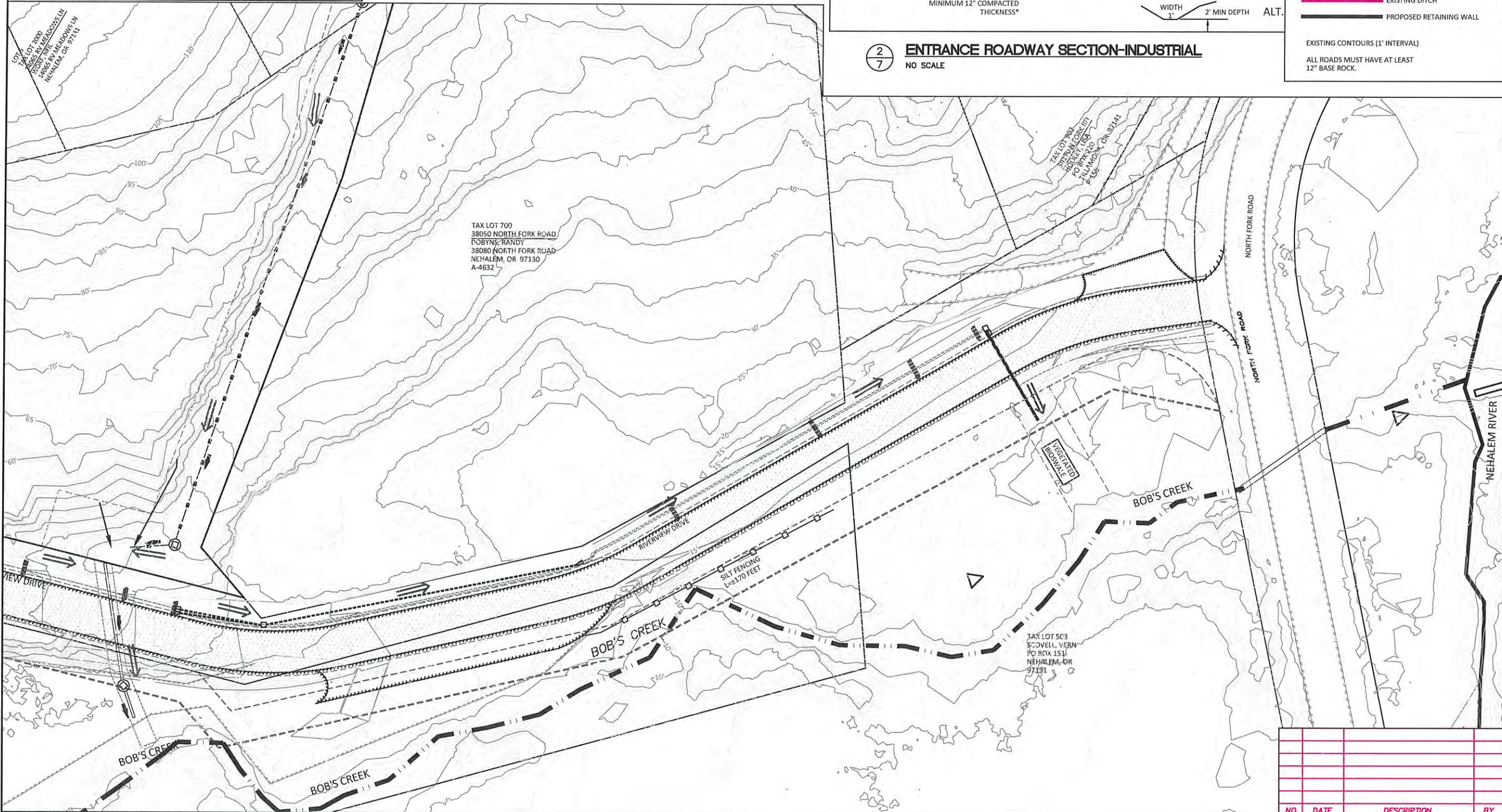


**2 ENTRANCE ROADWAY SECTION-INDUSTRIAL**  
NO SCALE

**LEGEND**

- EXISTING GRAVEL ROADWAY
- ▨ EXISTING DRAINAGE CHANNEL
- SILT FENCING
- ▬ ROCK CHECK DAM
- ▬ PROPOSED CULVERT WITH FLARED ENDS
- FINAL DRAINAGE PATTERN
- ← EXISTING DRAINAGE PATTERN
- EXISTING DITCH
- ▬ PROPOSED RETAINING WALL

EXISTING CONTOURS (1' INTERVAL)  
ALL ROADS MUST HAVE AT LEAST 12" BASE ROCK.



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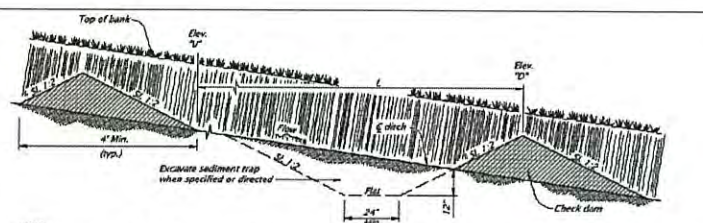


**RIVERVIEW MEADOWS  
RIVERVIEW DRIVE - MAP 3N 10W 23D  
EROSION SEDIMENT CONTROL PLAN**

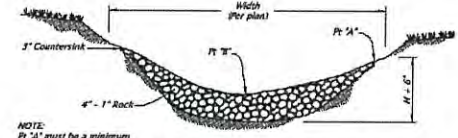
NO.	DATE	DESCRIPTION	BY

SHEET  
**7**  
OF NINE

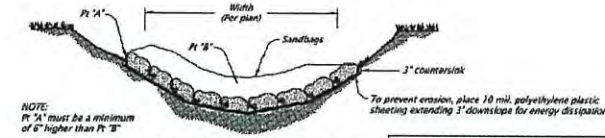
V:\19-10-Riv\Draw\RiverView\ESCP.dwg, rvd-000h, 8/20/2023 5:19:51 PM



**TYPICAL PROFILE SECTION CHECK DAMS (SHOWN WITH AGGREGATE)**  
NOT TO SCALE



**AGGREGATE CHECK DAM - TYPE 1**  
NOT TO SCALE



**SANDBAG CHECK DAM - TYPE 4**  
NOT TO SCALE

MAXIMUM CHECK DAM SPACING "L"				
Ditch Grade	H=8'	H=12'	H=18'	H=24'
10%	15'	20'	25'	30'
2%	18'	24'	30'	36'
0%	21'	27'	33'	39'
2%	24'	30'	36'	42'
4%	27'	33'	39'	45'
6%	30'	36'	42'	48'
8%	33'	39'	45'	51'
10%	36'	42'	48'	54'

- NOTES:**
- Type 1 - stake biofilter bags with two 2"x2"x18" (minimum) wood stakes per bag. Drive stakes a minimum of 6" into the ground and flush with the top of the bags. Omit stakes if placed over paved surfaces. Overlap bags 12" minimum at each joint.
  - Type 4 - tightly abut or overlap ends of sandbags at each joint.
  - Spacing between check dams for all check dam types shall comply with the typical profile section shown above.

**1**  
**8**  
**CHECK DAMS**  
NO SCALE

DATE: 0000-00-00

SCALE: N/A

DATE: JANUARY, 2021

NOTE: All material and workmanship shall be in accordance with the current Oregon Standard Specifications.

**OREGON STANDARD DRAWINGS**

**CHECK DAMS TYPE 1, 3 AND 4**

2021

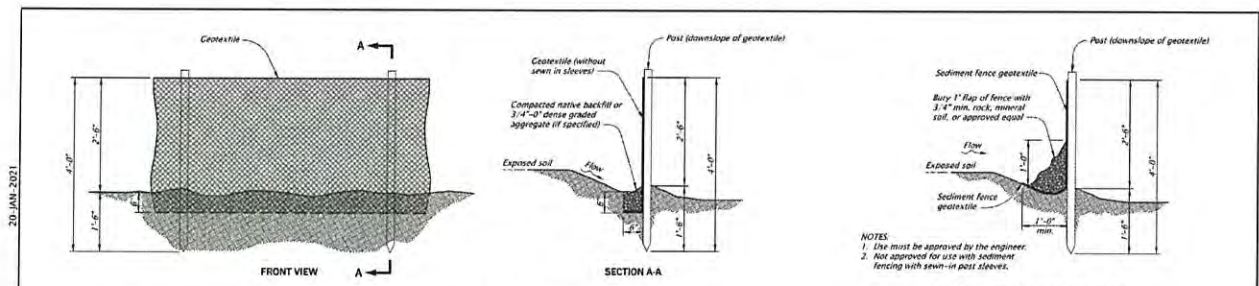
DATE: 12/01/2021

BY: JASON R. MORGAN

DATE: 12/01/2021

BY: JASON R. MORGAN

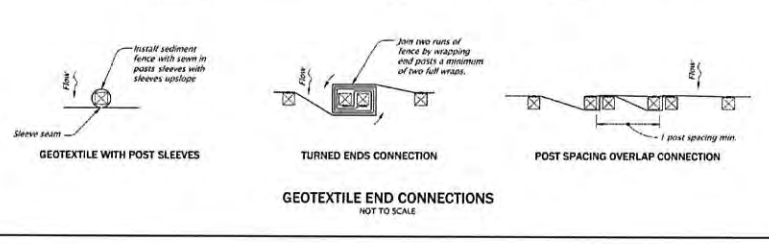
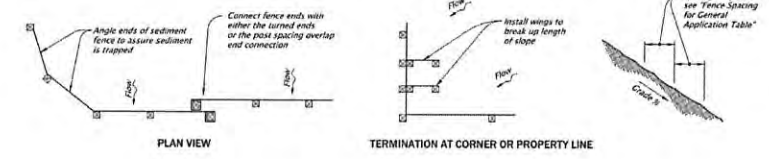
Effective Date: December 1, 2022 - May 31, 2023 RD1005



**SEDIMENT FENCE AND GEOTEXTILE BURY DETAIL - TYPE 1**  
NOT TO SCALE



**ALTERNATE SEDIMENT FENCE WITHOUT TRENCHING - TYPE 2**  
NOT TO SCALE



**GEOTEXTILE END CONNECTIONS**  
NOT TO SCALE

- GENERAL NOTES:**
- Use 2"x2" wood fence posts.
  - Posts to be installed on downhill side of sediment fence geotextile. Position posts to prevent separation from geotextile.
  - Compact filter fabric trench backfill and soil on uphill side of fence.
  - Locate fence no closer than three feet to the toe of a slope.
  - Wing spacing shall comply with "Fence Spacing for General Application Table".

FENCE SPACING FOR GENERAL APPLICATION TABLE	
GRADE	MAXIMUM SPACING ON GRADE
Grade < 1%	50'
1% to 5% Grade < 15%	25'
5% to 10% Grade < 20%	15'
10% to 15% Grade < 25%	10'
15% to 20% Grade	7.5'

POST SPACING TABLE	
1' Sediment Fence with Geotextile	50% or more
2' Sediment Fence with Geotextile	50% or more

The selection and use of this Standard Drawing, while designed in accordance with generally accepted engineering principles and practices, is the sole responsibility of the user and should not be used without first consulting a Registered Professional Engineer.

DATE: 0000-00-00

SCALE: N/A

DATE: JANUARY, 2021

NOTE: All material and workmanship shall be in accordance with the current Oregon Standard Specifications.

**OREGON STANDARD DRAWINGS**

**SEDIMENT FENCE**

2021

DATE: 12/01/2021

BY: JASON R. MORGAN

DATE: 12/01/2021

BY: JASON R. MORGAN

Effective Date: June 1, 2023 - November 30, 2023 RD1040

**2**  
**8**  
**SILT FENCING**  
NO SCALE



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  - PLANNING
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(503) 801-6015  
www.morgancivil.com

JOB NO. 193-10RV  
DATE AUGUST 17, 2023

REGISTERED PROFESSIONAL ENGINEER  
63055  
JASON R. MORGAN  
RENEWAL DATE: DECEMBER 31, 2024

RIVERVIEW MEADOWS SUBDIVISION  
TAX LOT 6200, MAP 3N 10W 23D  
EROSION SEDIMENT CONTROL PLAN - DETAILS

SHEET  
**8**  
OF NINE

NO.	DATE	DESCRIPTION	BY

Table with 4 columns and 2 rows of permit conditions. Each cell contains a permit number (e.g., 1200-C), expiration date (December 14, 2025), page number, and specific regulatory requirements for erosion control, sediment management, and site stabilization.

Table with 4 columns and 2 rows of permit conditions. Each cell contains a permit number (e.g., 1200-C), expiration date (December 14, 2025), page number, and specific regulatory requirements for material storage, stormwater control, and site stabilization.



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REGISTERED PROFESSIONAL ENGINEER
63055
JASON R. MORGAN
RENEWAL DATE: DECEMBER 31, 2024

RIVERVIEW MEADOWS SUBDIVISION
TAX LOT 6200, MAP 3N 10W 23D
EROSION SEDIMENT CONTROL PLAN - DETAILS

Table with 4 columns: NO., DATE, DESCRIPTION, BY.



# Nehalem Bay Wastewater Agency

---

March 11, 2026

Tracy Brown Planning Consultants

Re: River Meadows Phase II

The installation of the sewer system for Riverview Meadows Phase II gravity system to 74 new lots has been approved by Nehalem Bay Wastewater Agency.

Brad Thayer  
Operations Supervisor  
Nehalem Bay Wastewater Agency





# MORGAN CIVIL ENGINEERING, INC.

PO Box 358, Manzanita, OR 97130

ph: 503-801-6016

[www.morgancivil.com](http://www.morgancivil.com)

March 14, 2026

Riverview Meadows, LLC

Carey Sheldon

PO Box 883

Fairview, OR 97024



[careysheldon17@yahoo.com](mailto:careysheldon17@yahoo.com)

**Re: Road Construction for Tax Lot 3600, Map 3N 10W 23BB, Tract 'B' of RIVERVIEW MEADOWS PHASE 1, Nehalem, Tillamook County, Oregon (Riverview Meadows Phase 2) Project #19-10-Riv**

Dear Mr. Sheldon:

At your request, I have observed the recent road construction work at your property, referenced above. Construction of the roadways and utilities, including grading and drainage improvements, was completed during 2024 and 2025.

I visited the site frequently while the construction work was being conducted. I observed the grading of the site, the installation of the utilities, the installation of the storm drainage improvements, and the construction of the roadways.

I inspected the native soil that the roads were constructed on. Throughout the subdivision, the roadbed was constructed on firm native silty clay soil. The entrance road from North Fork Road was constructed over an existing gravel roadway. The native soil was observed in the excavation for the roadway as well as in the utility trenches. There was no native soil placed on the site as part of the road construction; only imported crushed rock was used. In my professional opinion, the roadways were constructed on firm native soil that is adequate for support.

All trenches in the roadway were backfilled with imported crushed rock and compacted in lifts. Compaction of the rock was conducted with a wheel compactor and a jumping-jack vibratory plate compactor.

RIVERVIEW MEADOWS, LLC  
Roadway Construction at  
Tax Lot 3600, Map 3N 10W 23B  
Nehalem, Tillamook County, Oregon  
(Riverview Meadows Phase 2)

March 14, 2026

MORGAN CIVIL ENGINEERING, INC.

The roads were constructed on geotextile fabric and consisted of at least 9 inches of pit-run rock and 3 inches of 3/4-inch-minus crushed rock. As shown on the plans, the entrance road from North Fork Road included at least 12 inches of pit-run rock and 4 inches of 3/4-inch-minus crushed rock. The crushed rock was thoroughly compacted in lifts with a vibratory roller.

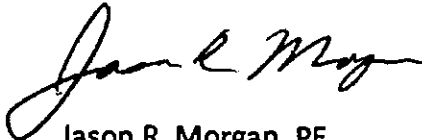
Prior to paving, the rock compaction was verified by proof-rolling with a loaded dump truck.

Paving of the road was completed by K&L Construction. Two lifts of asphalt were placed and compacted throughout the project. The asphalt in the subdivision is 3 inches thick. The entrance road asphalt is 4 inches thick.

It is my professional opinion that the roadways were constructed to meet the requirements of the plans.

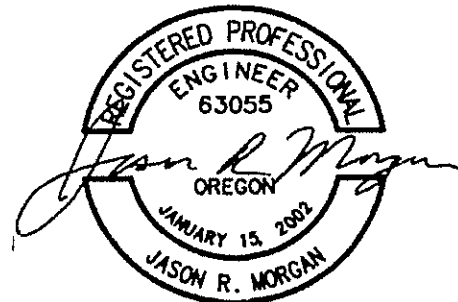
Should you have any questions regarding my inspection, please contact me at [jason@morgancivil.com](mailto:jason@morgancivil.com) or 503-801-6016.

Sincerely,  
**MORGAN CIVIL ENGINEERING, INC.**



Jason R. Morgan, PE  
Professional Engineer

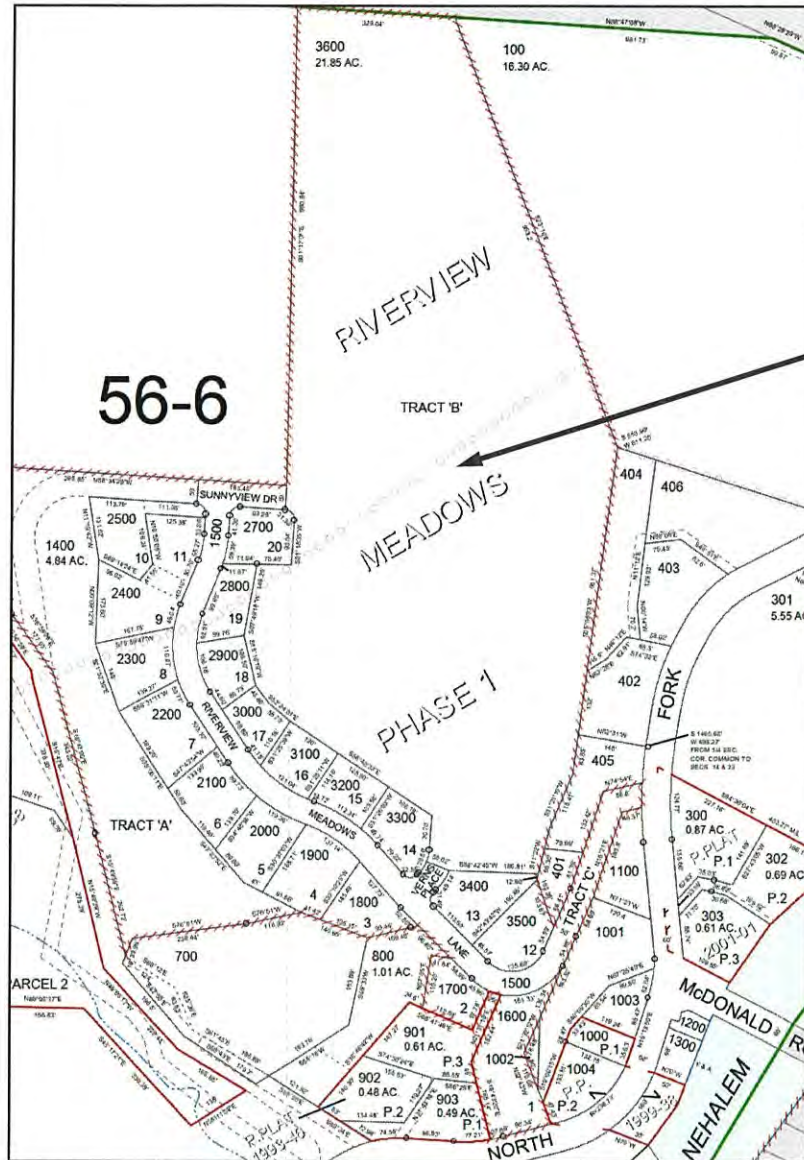
cc: [tbrownplan@gmail.com](mailto:tbrownplan@gmail.com)  
Project File #19-10-Riv



RENEWAL DATE: DECEMBER 31, 2026

<V:\19-10-Riv\Reports\Riverview Road Inspection.docx>

Roadway Construction at  
Tax Lot 3600, Map 3N 10W 23B  
Nehalem, Tillamook County, Oregon  
(Riverview Meadows Phase 2)



Project Location

**Tax Lot 3600, Map 3N 10W 23BB  
Tract 'B' of RIVERVIEW MEADOWS PHASE 1  
Nehalem, Tillamook County, Oregon  
(Riverview Meadows Phase 2)**



## Tillamook County Public Works

503 Marolf Loop Road, Tillamook, OR 97141

County Road Phone: 503-842-3419

Solid Waste Phone: 503-815-3975

Fax: 503-842-6473

Email: [pubwks@co.tillamook.or.us](mailto:pubwks@co.tillamook.or.us)

TTY Oregon Relay Service

*Land of Trees, Cheese, and Ocean Breeze*

February 5<sup>th</sup>, 2026

Vern Scovell – River View Meadows  
PO Box 151  
Nehalem, OR 97131

Carey Sheldon – River View Meadows  
PO Box 883  
Fairview, OR 97024

RE: Road Approach Permit #7005

North Fork Nehalem River Road – Nehalem Area; Tillamook County Road #504  
T03N R10W Sec. 23B, Tax Lot #503



Dear Vern & Carey:

Tillamook County Engineering staff review of your Road Approach Permit Application and a field site evaluation is complete with the following conclusion.

This permit is issued to recognize an existing, but historically undocumented, road approach which accesses the tax lot identified on the above noted Tillamook County Assessor's map, a copy of which is marked up and included as part of this permit. The road approach approved under this permit is a preliminary to any licensure, installation, or permanent construction which will be required to be reviewed and appropriate land use and development permits issued by the Tillamook County Department of Community Development.

No portion of the right of way of North Fork Nehalem River Road is to be used for overnight or weekend storage of materials, equipment or extended daytime staging. Any material staged is required to be processed onto the subject parcel in a timely manner subject to condition #3 below.

This approach originally served as a logging industrial access to the county road and has since been developed into a public road across private property serving as a second access route for the River View Medows subdivision. The paved approach shall be constrained to commercial road approach standards. It shall be no wider than 35 feet at the private property line. The paved approach is to be maintained by the property owners who use it for access to the county road system. The approval of this road approach permit does not constitute approval of any proposed or constructed road system located on private property and accessed through the permitted structure.

By this reference, your signed application and proposed road approach plan are incorporated into this permit.

Road Approach permit #7005 is **Approved** with the following conditions:

1. With the issuance of this Road Approach Permit it is the sole responsibility of the applicant to verify and comply with all local, state, and federal land use regulations and related permit requirements. The issuing of this Road Approach Permit in no way relieves the applicant from applicable land use laws or regulations that may pertain to the lands accessed by the construction of the road approach approved herein.

2. The applicant and their contractor mutually agree to fully indemnify, save harmless and defend Tillamook County, its commissioners, officers, employees and contractors from and against all claims and actions and all expenses incidental to the investigation and defense thereof, made or brought by any person, firm or corporation, based upon or arising directly or indirectly out of damages or injuries to their persons or their property, caused in whole or in part by acts of commission or omission of their agents, employees, or licensees in connection with the work performed pursuant to this permit.
3. Blocking any road under Tillamook County Jurisdiction for more than 30 minutes is considered a road closure that must be authorized by the Public Works Department preceded by appropriate residential and emergency service notification. As the permit holder you are required to receive prior authorization from public works for any road closure.
4. Road Approach construction materials and geometry are defined on the attached specification sheet and should be followed carefully.
5. No concrete work or landscaping is allowed in the County right of way without prior approval.
6. If the road approach changes geometry, location, materials, or use (as defined in Ordinance #44.) a new permit shall be required.
7. Notice of final completion for all permit requirements shall be provided to Tillamook County Public Works within 18 months of this permit being issued.

**IT IS THE RESPONSIBILITY OF THE PERMIT HOLDER TO ARRANGE FOR ANY NECESSARY UTILITY LOCATES PRIOR TO EXCAVATION.**

***ATTENTION: 2007 Oregon Revised Statutes Chapter 757, requires you to follow rules adopted by the Oregon Utility Notification Center (OUNC). Those rules are set forth in Oregon Administration Rules Chapter 952, Division 1. You may obtain copies of the rules by calling 811 or logging on to the O.U.N.C. website at <http://www.digsafelyoregon.com/>***

**Before commercial use of the road approach, all improvements of the road approach shall be completed, except paving.** [As stated in Ordinance #44 on page 6 & 7, Section V-E.]

**Applicant or their contractor** shall contact this office with a 48-hour advance notice for inspections as required prior to accessing the structure.

No structures, fencing, concrete, masonry, brickwork, landscaping, nor roadside hazards are permitted within the road right-of-way. All mailboxes must meet approved "break-away" standards for impact by vehicles.

If you have any questions, please feel free to contact or leave a message for Tillamook County Public Works at the above number between the hours of 8:00 a.m. and 4:30 p.m. Monday through Thursday.

Sincerely,



Jasper J. Lind  
Engineering Technician

Cc: Sarah Absher, Department of Community Development, by email  
Brian Olle, TC Public Works, by email

**Commercial Road Approach Permit #7005**

The road approach covered by this permit shall be built in accordance with Tillamook County Ordinance #44 & constructed with the following dimensions and specifications

Public Road North Fork Nehalem River Road  
 Road Number 504  
 Paved X Rocked \_\_\_\_\_  
 Mile Post n/a Eng. Station n/a  
 Side of Road West  
 Ditch Flow: Ahead N/A Back N/A

Applicant Vern Scovell (RVM)  
 Contractor OWNER'S CHOICE  
 T = 3N R = 10W  
 Section = 23B  
 Tax Lot = 503

**Ordinance #44 Plan View Dimensions**

W = <35' R1 = 15'  
 A ° = 90° Dd = N/A  
 Drw = ± 25' R2 = 15'

Public Right of Way Width = 60'

Posted Traffic Speed B.R. MPH  
 Intersection Distance 850' NE  
 Required Sight Distance 400' FEET

Observed Sight Distances  
 Left 450' Right 1,300'

Culvert Exst'g / Req'd EXISTING

Culvert: N/A Concrete  
N/A Corrugated Galvanized Metal  
YES Corrugated HDPE Dual Wall  
 Length 70' Diameter 12"

PHASE INSPECTION (subgrade)  
 Date \_\_\_\_\_ BY \_\_\_\_\_  
 FINAL INSPECTION (culvert & rock placement)  
 Date \_\_\_\_\_ BY \_\_\_\_\_  
 PAVING INSPECTION (if required)  
 Date \_\_\_\_\_ BY \_\_\_\_\_

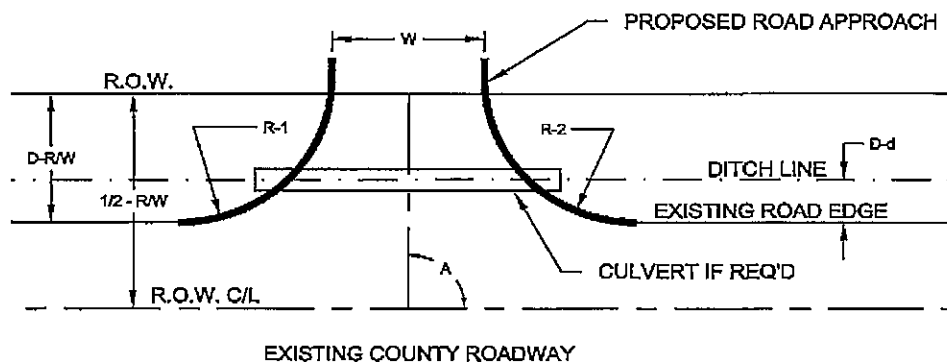
Base Fabric Required N (Y / N)  
 ROCK BASE: Size & Type 3" - 0"  
 Compacted Depth 9"  
 FINISH ROCK: Size & Type 3/4"-0"  
 Compacted Depth 3"

**ASPHALT CEMENT PAVEMENT**

Compacted Depth 3" min  
 Number of Lifts Var

NOTE: All placed aggregates are to be free of bio-mass and compacted to 95% Dry Density

**ROAD APPROACH PLAN VIEW**





**THE APPROACH ROAD CONSTRUCTION SHALL COMMENCE BY THE APPLICANT AS DIRECTED BY THE COUNTY AND INSPECTED FOR COMPLETION IN THE FOLLOWING PHASES:**

**PHASE 1:** Clearing of the site, ditch excavation and subgrade of the approach. The applicant shall request an inspection for approval, prior to proceeding with Phase II construction.

**PHASE 2:** Installing the culvert, placing all rock base. The applicant shall request an inspection for approval. PHASE II MUST BE COMPLETED PRIOR TO CONSTRUCTION ACCESS.

**FINAL PHASE:** Paving. After the paving, the applicant shall request a final inspection for approval.

In consideration of the applicant's agreement to comply in all respects with the regulation of Tillamook County, permission is hereby granted for construction described in the above application and in the instructions attached hereto and by this reference made a part hereof to same extent as if set forth in full. The applicant shall make all corrections as directed. Applicant agrees to save and hold harmless the County from all liability of whatever kind or nature arising or to arise by reason of issuance of this construction permit, the issuance thereof being for the sole benefit of applicant. Applicant is responsible to obtain all approvals or permits from other government agencies having jurisdiction affected by the proposed road approach construction site, i.e., wetlands; urban growth; riparian areas; access to county road within city.

The entire expense of maintaining said approach road shall be borne by applicant. If in the event of the reconstruction or widening of any highway, it becomes necessary to remove, alter or reconstruct the approach road constructed under authority of this permit, the cost of such removal or replacement to a like width and condition will be borne by the County. Any widening or other improvement of the approach road at the applicant's request shall be done only under authority of a new permit and at the expense of the applicant.

Riverview Meadows Development, LLC.

1-8-2026

*Jasper Lind* 1-8-2026

APPLICANT (PROPERTY OWNER ONLY)

DATE

**FOR DEPARTMENT USE ONLY**

APPLICATION APPROVED: **Jasper Lind**

2026.02.05 15:30:35 -08'00'

PUBLIC WORKS DEPARTMENT

DATE

PHASE 2 COMPLETION REQUIRED BY: \_\_\_\_\_ COMPLETED: \_\_\_\_\_

(Phase 2 must be completed prior to construction access)

FINAL COMPLETION REQUIRED BY: N/A

PERMIT NUMBER: RA 7005

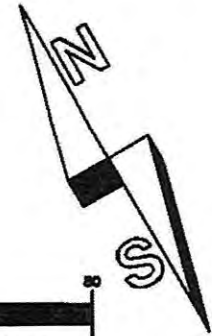
FINAL COMPLETION INSPECTED AND APPROVED: N/A

TAX LOT 902  
38774 N FORK RD  
FOOLEY, ESA  
PO BOX 220  
TILLAMOOK, OR 97141  
P-156

1  
R4

# RIVERVIEW DRIVE

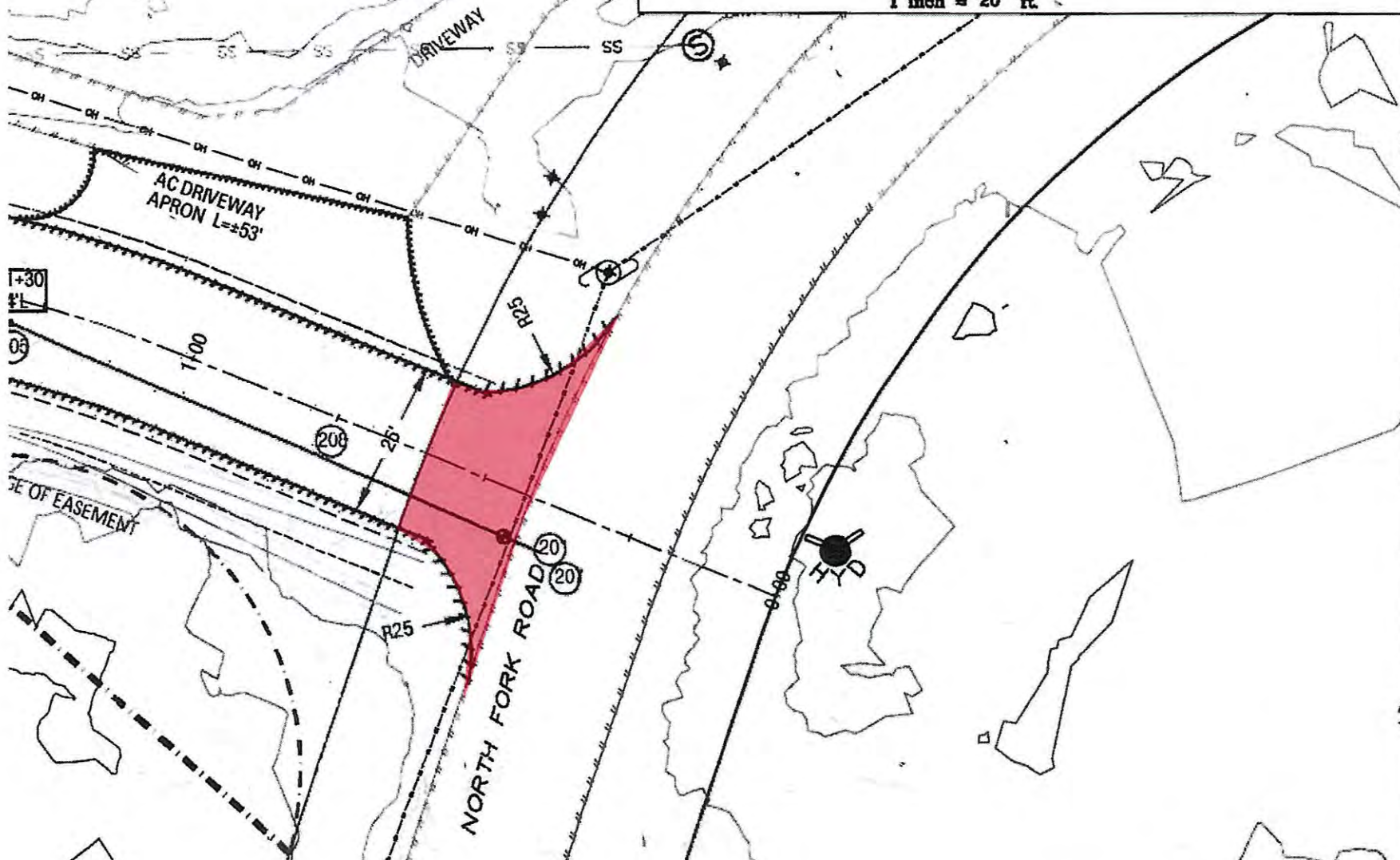
SCALE: 1"=20'



GRAPHIC SCALE



( IN FEET )  
1 inch = 20 ft.



## MORGAN CIVIL ENGINEERING, INC.

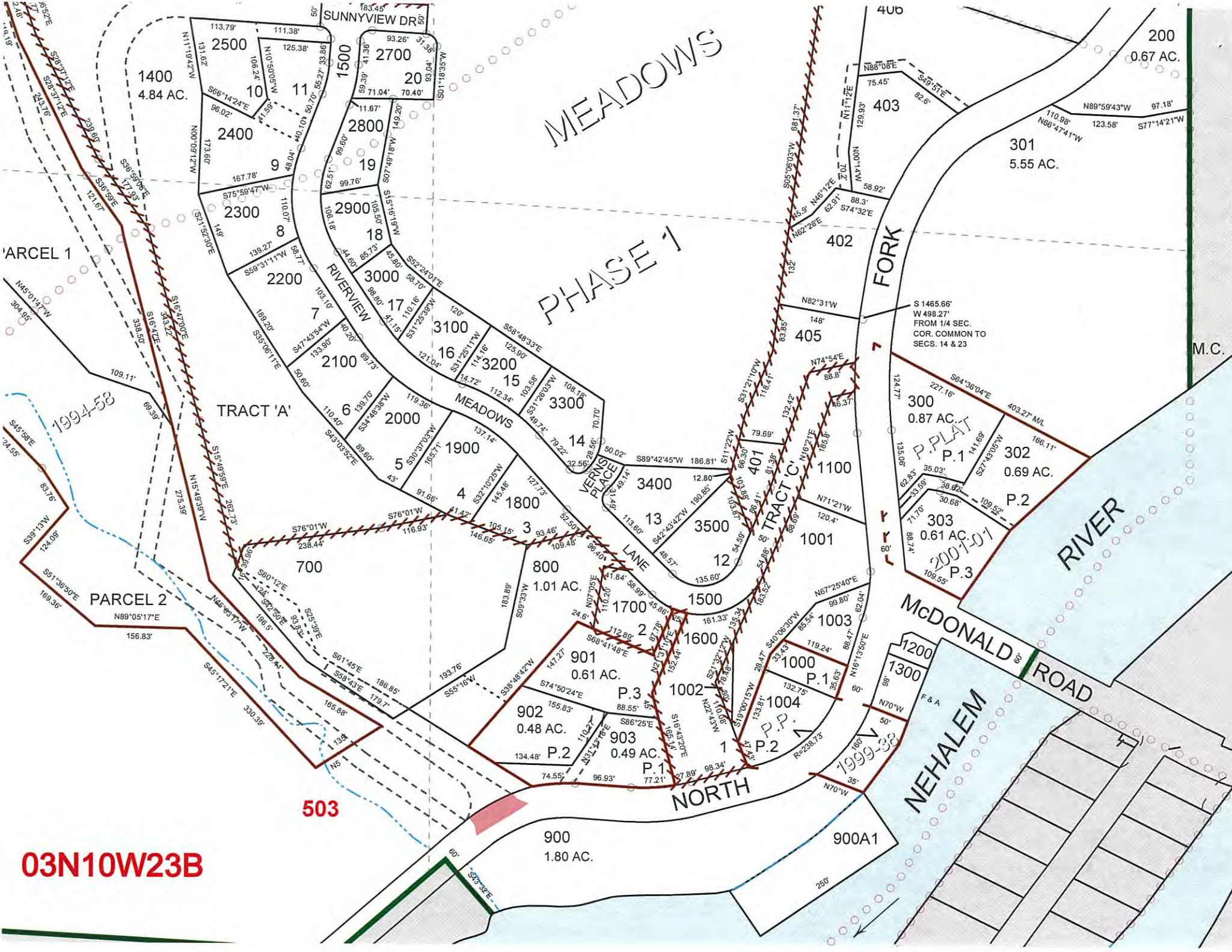
PO BOX 358  
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- CIVIL ENGINEERING
- INSPECTION
- PLANNING

JOB NO. #19-10-RIV  
DATE JULY 18, 2023



RENEWAL DATE: DECEMBER 31, 2024



MEADOWS

PHASE 1

TRACT 'A'

MEADOWS

VERMIG PLACE

LANE

TRACT 'C'

NORTH

NEHALEM

RIVER

FORK

MCDONALD ROAD

PARCEL 1

PARCEL 2

503

03N10W23B

1400  
4.84 AC.

2500

2400

2300

2200

2100

2000

1900

1800

1700

1600

1500

1400

1300

1200

1100

1000

900

800

700

1500

1400

1300

1200

1100

1000

900

800

700

600

500

400

300

200

100

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00

1600

1500

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Image © 2026 Airbus

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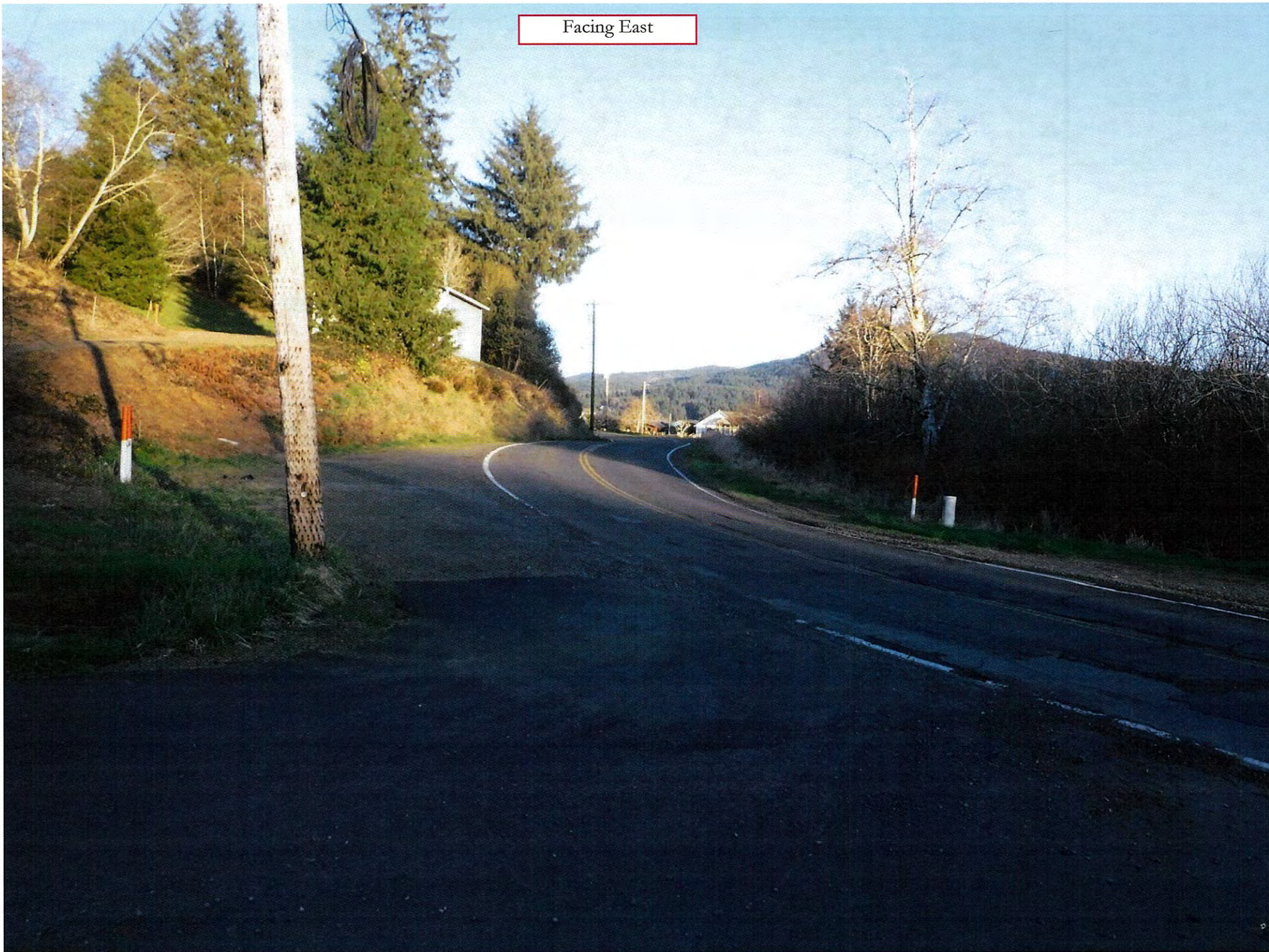
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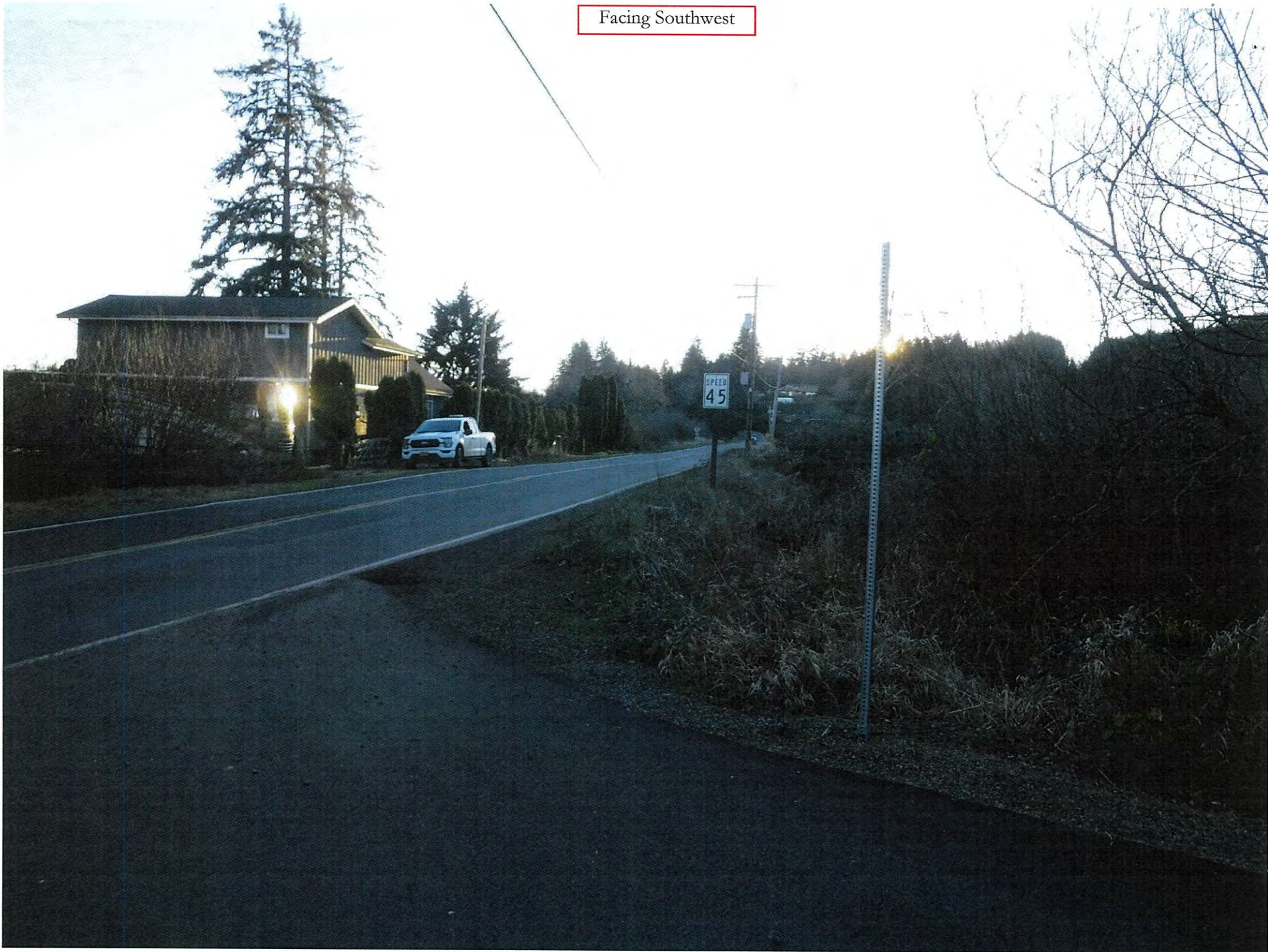
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Facing East



Facing Southwest













# Oregon

Tina Kotek, Governor

## Department of Fish and Wildlife

West Region  
4907 3<sup>rd</sup> Street  
Tillamook, OR 97141  
(503) 842-2741  
Fax (503) 842-8385  
www.odfw.com



March 27, 2026



Riverview Meadows Development LLC  
Attn: Carey Sheldon  
PO Box 883  
Fairview, OR 97024

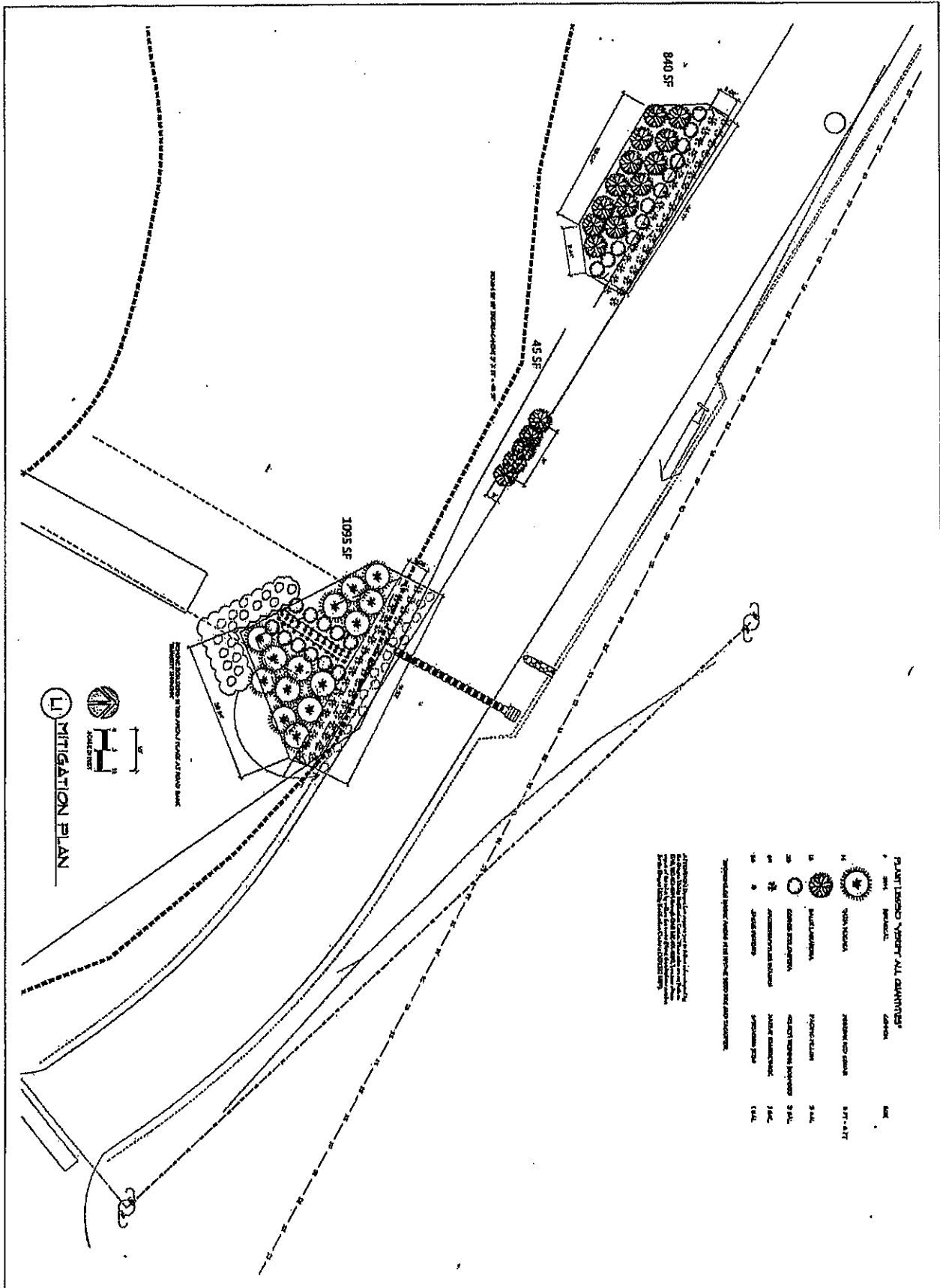
Dear Carey:

The Oregon Department of Fish and Wildlife's (ODFW) North Coast Watershed District has reviewed the mitigation planting you submitted for our review (attached). ODFW finds this plan to be sufficient to meet the mitigation requirements required in your permit from Tillamook County.

Sincerely,

Robert W. Bradley  
District Fish Biologist  
North Coast Watershed District

Rev. #2



DATE	2/20/08	
PROJECT	NEHALEM	
CLIENT	BOB'S CREEK	
DESIGNER	SHARDON	
SCALE	AS SHOWN	
REVISIONS		
NO.	DATE	DESCRIPTION
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# Bob's Creek Nehalem

Carrey Sheldon

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT

SHARDON LANDSCAPE ARCHITECTS

1000 NE 10TH AVE SUITE 1000 PORTLAND, OR 97232

503.255.1111

www.shardon.com

MITIGATION PLAN

1

**RECEIVED**  
 MAR 30 2026  
 BY: *SAT*

PLANT LEGEND "VERIFY ALL QUANTITIES"

#	SYM.	BOTANICAL	COMMON	SIZE
14		THUJA PLICATA	WESTERN RED CEDAR	6 FT - 8 FT
18		SALIX LASIANDRA	PACIFIC WILLOW	3 GAL
23		CORNUS STOLONIFERA	KELSEY REDTWIN DOGWOOD	2 GAL
64		ARGOSTAPHYLOS UVAURSI	NATIVE KINKIKINNICK	1 GAL
36		JUNCUS PATENS	SPREADING RUSH	1 GAL

HYDROMULCH ENTIRE AREAS WITH NATIVE SEED MIX AND TACKIFIER.

ATTENTION: Oregon law requires you to follow rules adopted by the Oregon Utility Notification Center. These rules are set forth in OAR 952-001-0010 through OAR 952-001-0090. You may obtain copies of the rules by calling the center (Note: the telephone number for the Oregon Utility Notification Center is (503) 232-1987).

**MULCH**  
 DARRELL MULCH  
 LANDSCAPE  
 ARCHITECTURE  
 1807 N.E. 66TH AVENUE #108  
 PORTLAND, OREGON 97213  
 (503) 222-7416 TEL

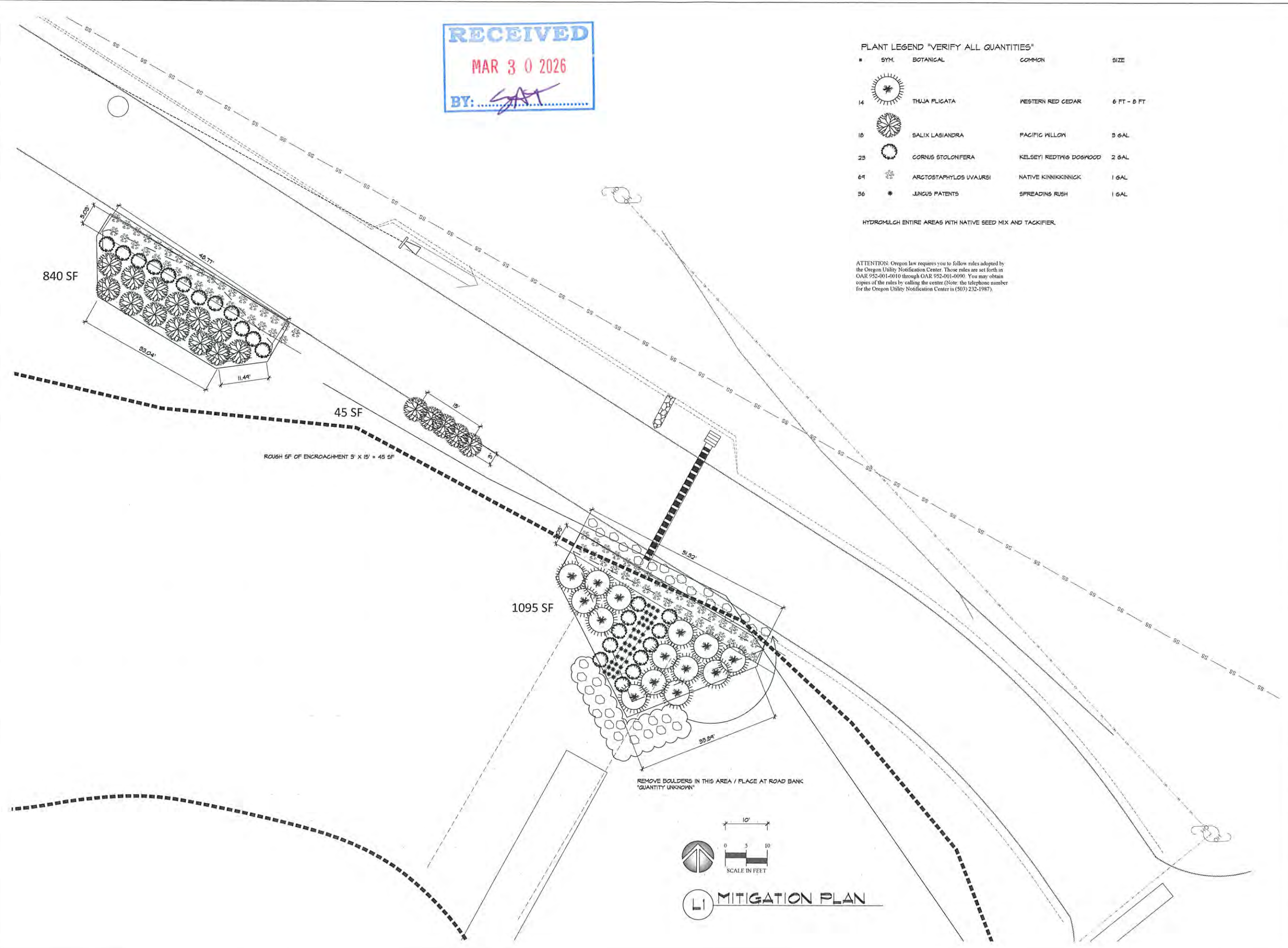
REGISTERED  
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*Darrell Mulch*  
 Darrell Mulch  
 OREGON  
 10-18-93  
 LANDSCAPE ARCHITECT

**Bob's Creek Nehalem**

Carrey Sheldon

DATE	3-16-26
PROJECT NO.	X
DESIGNED	DM
DRAWN	DM
CHECKED	DM
REVISIONS	

SHEET  
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**GEOLOGIC HAZARD REPORT  
REVIEW**

**#851-26-000056-PLNG**



## PLANNING APPLICATION

**Applicant**  (Check Box if Same as Property Owner)

Name: River View Meadows Phone: 503-805-8741  
 Address: 23765 SE Hwy 212  
 City: DAMASCUS State: OR Zip: 97089  
 Email: CareySheldon17@Yahoo.com

**Property Owner**

Name: SAME Phone: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Email: \_\_\_\_\_

OFFICE USE ONLY	
Date Stamp	<u>FEB 04 2026</u> <u>County Apt. 55</u>
<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Received by:	<u>SS</u>
Receipt #:	<u>90834</u>
Fees:	<u>1,207.50</u>
Permit No:	<u>85126-00056-PLNG</u>

Request: River View Subdivision  
Phase 2

**Type I**

- Beach and Dune Hazard Report Review
- Extension of Time Review
- Final Plat Approval
- Geologic Hazard Report Review
- Land Use Compatibility Statement
- Land Use Verification Letter
- Preliminary Plat Time Extension
- Replacement Dwelling in Resource Zone
- Review for Dwelling in Resource Zone

**Location:**

Site Address: \_\_\_\_\_  
 Map Number: 3N 10 West 23 B 3600  
Township Range Section Tax Lot(s)

Clerk's Instrument #: \_\_\_\_\_

**Authorization**

This permit application does not assure permit approval. The applicant and/or property owner shall be responsible for obtaining any other necessary federal, state, and local permits. The applicant verifies that the information submitted is complete, accurate, and consistent with other information submitted with this application.

Carey Sheldon  
 Property Owner Signature (Required)

Feb 4-2026  
 Date

Applicant Signature \_\_\_\_\_ Date \_\_\_\_\_



# MORGAN CIVIL ENGINEERING, INC.

PO Box 358, Manzanita, OR 97130

ph: 503-801-6016

[www.morgancivil.com](http://www.morgancivil.com)

December 15, 2022

Riverview Meadows, LLC

Carey Sheldon

[careysheldon17@yahoo.com](mailto:careysheldon17@yahoo.com)

**RE: Engineering Portion of Geologic Hazard Report for Road and Utility Development of the northern portion of Tax Lot 3600, Map 03N 10W 23B, Nehalem, Tillamook County, Oregon (Riverview Meadows, Phase 3)  
Project #19-10-Riv**

Dear Mr. Sheldon:

At your request, we have completed the investigation for construction on the subject property, referenced above. Available maps and previous reports of nearby properties were utilized in this investigation. This investigation also included an inspection of the property. Warren Krager, Certified Engineering Geologist, has investigated the site and addressed the geologic conditions of the site in his report. Morgan Civil Engineering, Inc. (MCE) has then developed the engineering recommendations related to construction on the site. These recommendations are prepared for use in the construction of the roadways and underground utilities on the property. The standards set forth herein should be incorporated into the development plans for that project.

These reports are intended to address the overall adequacy of the site for residential development, as well as the construction of the required infrastructure (i.e., roads, utilities, etc.). The standards set forth herein should be incorporated into the final road and utility development plans. Recommendations for construction on the individual lots are also included.

Site elevations noted in this report are based on the topographic information obtained from the Oregon Department of Geology and Mineral Industries (DOGAMI) LiDAR project. The LiDAR elevations are based on the NAVD88 datum, which is roughly sea level.

*Engineering Geologic Hazard Report for  
Tax Lot 3600, Map 3N 10W 23B  
Nehalem, Oregon  
Riverview Meadows, Phase 3*

### **Plans**

Preliminary parcel and road layout plans have been completed for this site. The preliminary site grading and lot layout plans have been reviewed as part of this report.

At the time of individual lot construction, a Plot Plan and Foundation Plan should be developed for each property. The plans should be reviewed for compliance with this report and current construction requirements. For construction within 30 feet of a steep slope (over 20 percent), an individual site-specific geologic hazard report should be prepared.

Recommendations for the development of individual lots are included in this report.

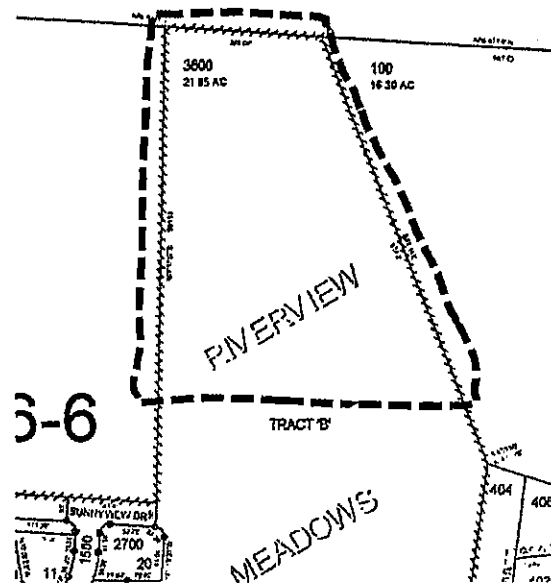
### **SITE CONDITIONS**

The site and its geologic conditions are generally as described by the geologist in his report. Mr. Krager's 8-page report, dated November 21, 2022, is attached for your use.

The approximately 33-acre parcel is located on a plateau to the east of the incorporated City of Nehalem, but inside of the Urban Growth Boundary. Phase 3 will incorporate the northern portion of the property. The property is located to the north of the North Fork Road. The area to be developed borders residential properties to the east, and undeveloped land to the south (Phase 2). The property to the west is classified as forestry land. The area to the north is zoned as farm land.

The overall area to be developed is trapezoidal in shape, narrowing to the north, and measures about 300 feet east to west, and 400 feet north to south. See the attached portion of the assessor's map for property orientation and dimensions.

*Engineering Geologic Hazard Report for  
Tax Lot 3600, Map 3N 10W 23B  
Nehalem, Oregon  
Riverview Meadows, Phase 3*



The property will be accessed from two new roads in Phase 2: Coltee Drive and Kinlee Drive. These are served from the existing roadways Sunnyview Drive and Vern's Place. (These roads are to be renamed.) Utilities are to be installed in each of the new roadways also.

Elevations in the building area vary from about 130 feet above sea level, at the southeastern corner, to about 160 feet, near the northwestern corner of the parcel. The property slopes gently to the southeast, with slopes varying from nearly flat to about 5 percent. Ditches have been constructed in order to direct drainage off the site to the east. The eastern edge of the development slopes down steeply to the east, at roughly 50 percent.

Vegetation on the property is generally grass that is regularly maintained. Evergreen trees are located along the east edge of the property and in the northeastern section. The eastern slope is heavily vegetated with blackberries, ferns, trees, and other species typical of a coastal forest.

The site is in a 135 miles per hour basic wind gust speed zone, setback from the ocean and bay winds (Exposure 'C' as per the 2021 State of Oregon Residential Specialty Code (ORSC)). Therefore, all buildings must be designed in order to withstand the minimum required lateral wind gust loads. In general, one- and two-story wood frame construction designed in order to withstand 135 miles per hour Exposure 'C' wind loading also will withstand even moderate earthquake loads.

### **FINDINGS AND HAZARDS ANALYSIS**

The primary relevant geologic hazards on this site relate to: 1) steep eastern bank; 2) drainage control; 3) compressible surface soils, and; 4) regional seismicity.

Mitigation of these hazards is discussed in the Development Standards, addressed herein.

The North Oregon Coast is defined by the 2021 ORSC as lying within a D<sub>2</sub> Seismic Design Category. As such, structures built in this area must, at a minimum, comply with the structural requirements for the D<sub>2</sub> Seismic Design Category. Strong seismic acceleration will likely result in widespread landsliding. No slope can be considered immune from failure during these conditions.

#### **LOCALIZED SLOPE INSTABILITY**

The slope down to the east of the property will be subject to continued erosion. Construction should be avoided near this slope. The moderate and steep slopes in these areas will be subject to ongoing soil creep. Extra consideration should be taken when constructing in these areas.

In Phase 3, this will likely only affect one lot, Lot 59. Otherwise, the roadway is closest to the slope.

#### **SITE GRADING PLAN**

The plans call for the final grading and construction of the existing roadways on the property. The flat property requires minimal grading for road construction or homes.

#### **COMPRESSIBLE SOILS**

The topsoil on the property consists of 1 to 2 feet of dark gray to black humic soils. This topsoil is compressible and should not be built upon. This organic topsoil is not acceptable for backfill in engineered fills for the roadways nor is it acceptable for backfill behind retaining walls. This topsoil should be disposed of by hauling it off the site or using it on other portions of the property. The topsoil may be stockpiled temporarily and used for future landscaping.

Similarly, when constructing buildings on the individual parcels, this topsoil should be removed. The building footprint and driveway should have all organic soils excavated and removed before the foundation or road construction begins. Each homesite should be inspected by an engineer, or geologist, in order to ensure that adequate bearing soil is exposed for construction. Documentation of the inspection should be provided to the building official.

*Engineering Geologic Hazard Report for  
Tax Lot 3600, Map 3N 10W 23B  
Nehalem, Oregon  
Riverview Meadows, Phase 3*

### **MANDATORY DEVELOPMENT STANDARDS**

In addition to the required standards of Section 4.130 (2) of the Tillamook County Land Use Ordinance, the following site-specific standards should also be required:

**A. Development Density** – This property should be developed for uses consistent with current zoning (outright or conditional uses). All development should take place in conformance with all other requirements of the Tillamook County Land Use Ordinance or approved variances, as applicable.

The property is zoned as NH-RT, Residential Trailer. See Section 157.110 of the City Zoning Ordinance for more information.

**B. Road Location and Road Base Support** - Site access is proposed to take place from Sunnyview Drive (to be called Riverview Drive), and through Phase 2. This is an acceptable layout.

The roadbed should rest on firm, silty clay soil. Any soft soils or clays will need to be excavated from the road or building area, and be replaced with engineered fill material. Use a loaded dump truck to conduct a proof-roll of the soil during road construction. Remove all soft soil that is found.

**C. Land Grading Practices** - All excavations for road and utility construction should be done during reasonably dry weather (while it is not actually raining). All cut slopes should be retained using permanent means of stabilization. All excess excavated material should be used as non-structural fill by using it on flat areas, or disposed of by hauling it off the site. Native material will not be acceptable for use in engineered fills.

The site is flat so minimal grading for roads and homes is expected. Retaining walls will not be needed. No grading of the site, beyond that required for construction, should take place.

**R. Warren Krager, R.G., C.E.G.  
Consulting Engineering Geologist  
Oregon CEG #E957**

November 21, 2022

Riverview Meadows Development LLC  
In care of Morgan Civil Engineering, Inc.  
Phone: 503-801-6016  
Email: jason@morgancivil.com

**Subject: Engineering Geologic Hazard Report  
Tax Lot 3600 Map 3N 10 23B  
Proposed Riverview Meadows Phase 3- 36 Lot Subdivision  
Tillamook County, Oregon**

Dear Mr. Reverman and Mr. Morgan:

As requested, I am pleased to submit my geologic hazard report for the proposed Riverview Meadows Phase 3 36-lot residential subdivision. This report has been prepared in general accordance with the Tillamook County Land Use Ordinance (TCLUO) Section 4.130, Development Requirements for Geologic Hazard Areas. The property is mapped in ancient landslide topography by the Oregon Department of Geology and Mineral Industries (DOGAMI).

R. Warren Krager, R.G., C.E.G. (Oregon Licensed Engineering Geologist E-957) conducted the initial site visit with Jason Morgan, P.E. on Friday February 14, 2020. I visited the property again on November 17, 2022. I walked over proposed roadway portions of the Phase 3 site. Approximately 1 hour was spent observing site conditions. It should be noted that geotechnical subsurface exploration was not conducted in proposed roadway or building lot locations.

In preparing this report, available geologic hazard maps and reports, tax lot maps, design concept sketches and available topographic data and aerial photographic images were reviewed for detailed information pertinent to the subject property and vicinity. The following geologic reports, maps, aerial photographs, and other information were reviewed and used in preparation this report:

- Tillamook County Land Use Ordinance, Article 4, Section 4.130 Development Requirements for Geologic Hazard Areas, adopted May 11, 2022.
- DOGAMI Open File Report O-20-13, Landslide Hazard and Risk Study of Tillamook County, Oregon.
- DOGAMI IMS 22, GIS Overview Map of Potential Rapidly Moving Landslide Hazards in Western Oregon, 2002.
- Environmental Geology of the Coastal Region of Tillamook and Clatsop Counties, Oregon, Oregon Department of Geology and Mineral Industries (DOGAMI), Bulletin 74, 1972.
- Online research of DOGAMI Statewide Landslide Inventory Database of Oregon, Interactive SLIDO maps, accessed online November 18, 2022.

10655 S.W. Park Street • Tigard, Oregon 97223 • Phone 360-903-4861 • Email warrenkrager@gmail.com

- Geologic Map of the Tillamook Highlands Northwest Oregon Coast Range Tillamook 15 Minute Quadrangle, United States Geological Survey (USGS) Open File Report 94-21,1994.
- Oregon Department of Geology and Mineral Industries, DOGAMI LIDAR Viewer <http://www.oregongeology.org/lidar/dataviewer/>, accessed online November 18, 2022
- Google Earth Aerial photographs of the Nehalem area, photo dates: September 3, 1994, July 29, 2000, June 15, 2003, June 29, 2005, December 12, 2005, August 1, 2011, July 6, 2012, July 30, 2014, August 23, 2016, June 22, 2017, April 15, 2021.
- Topographic plan and Tentative Lot Plan, Riverview Meadows Phase 3 36 lot subdivision, Map 3N 10W 23B, prepared by Morgan Civil Engineering, Inc. for Riverview Meadows Development LLC, dated November 9, 2022.

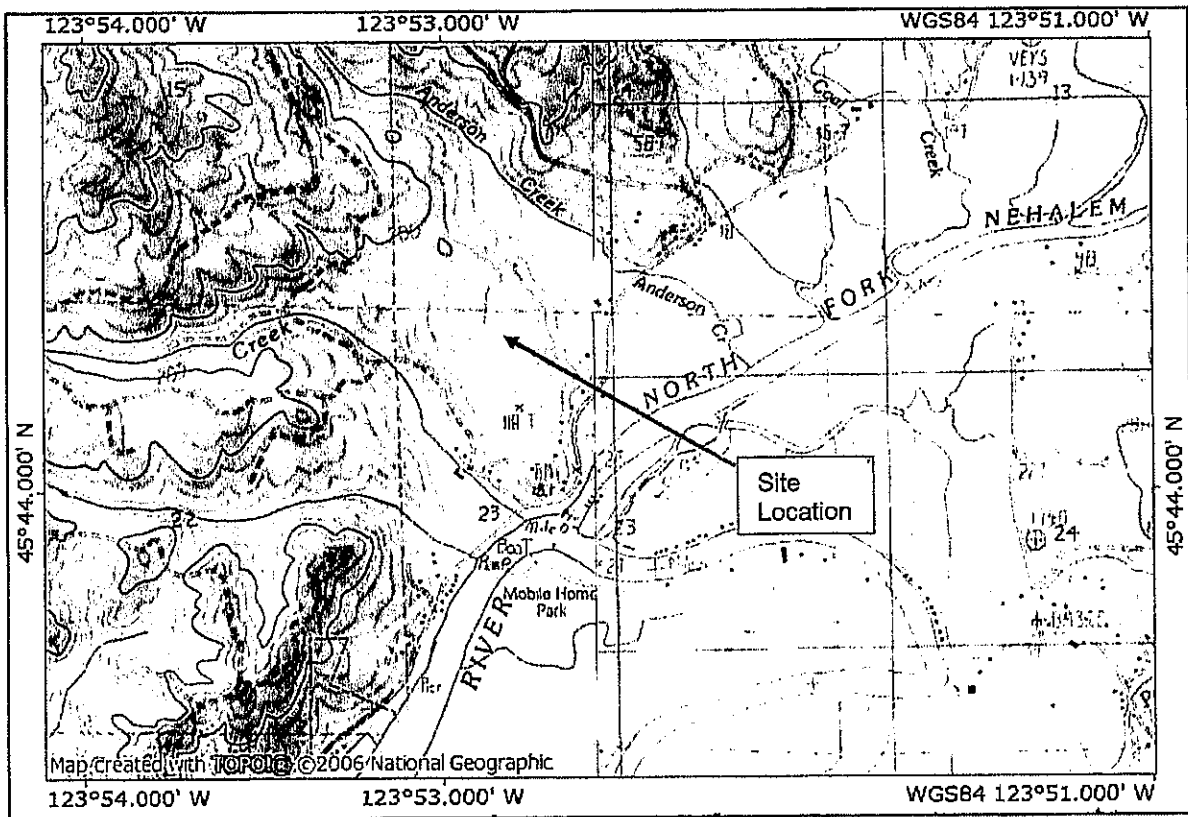


Figure 1- Site Location map.



**Photo 1** – Google Earth aerial image dated April 15, 2021. The approximate area of Riverview Meadows Phase 3 Subdivision is outlined in red.

#### **Site Location and Project Description**

The general location of the subject property is north of the confluence of main stem of the Nehalem River and the North Fork of the Nehalem River, east of the town of Nehalem, in Tillamook County, Oregon. The general project location is shown in Figure 1. Photo 1 shows existing conditions and approximate outline of the proposed Riverview Meadows Phase 3 Subdivision. The subject property consists of a portion of Lot 3600, Tract B, of Tillamook County Tax Map 3N 10W 23B. Current site conditions consist of a nearly level foothill terrace vegetated with grass pastureland and timber. It is my understanding that the vacant, undeveloped parcel will be subdivided into 36 new single-family residential building lots ranging in size from 6,953 to 12,434 square feet in area, as shown in Figure 2. The proposed subdivision will include construction of new paved streets and underground utilities. Grading and earthwork are expected to be relatively minor, with most of the earthwork consisting of tree stump and root removal, underground utility installation and roadway grading.

#### **Slope and Topography**

The proposed Riverview Meadows Phase 3 subdivision parcel lies on a relatively level natural terrace at about 160 feet to 130 feet above mean sea level. The proposed development area slopes down to the south at less than 5 percent gradient. None of the proposed building lots or streets lie on steeply sloping ground. One of the proposed streets, Coltee Drive, along the eastern margin of the Phase 3 parcel, lies within a few feet of a break in slope, inclined down to the east. The adjacent property to the east of the Phase 3 parcel slopes downward to the east at approximately 30 percent to 40 percent, based on the DOGAMI light detection and ranging (Lidar) topography, shown in Figure 2. DOGAMI maps portions of the descending slope on the adjacent eastern property as landslide terrain. There are no landslide or debris flow prone slopes on the proposed Phase 3 parcel.

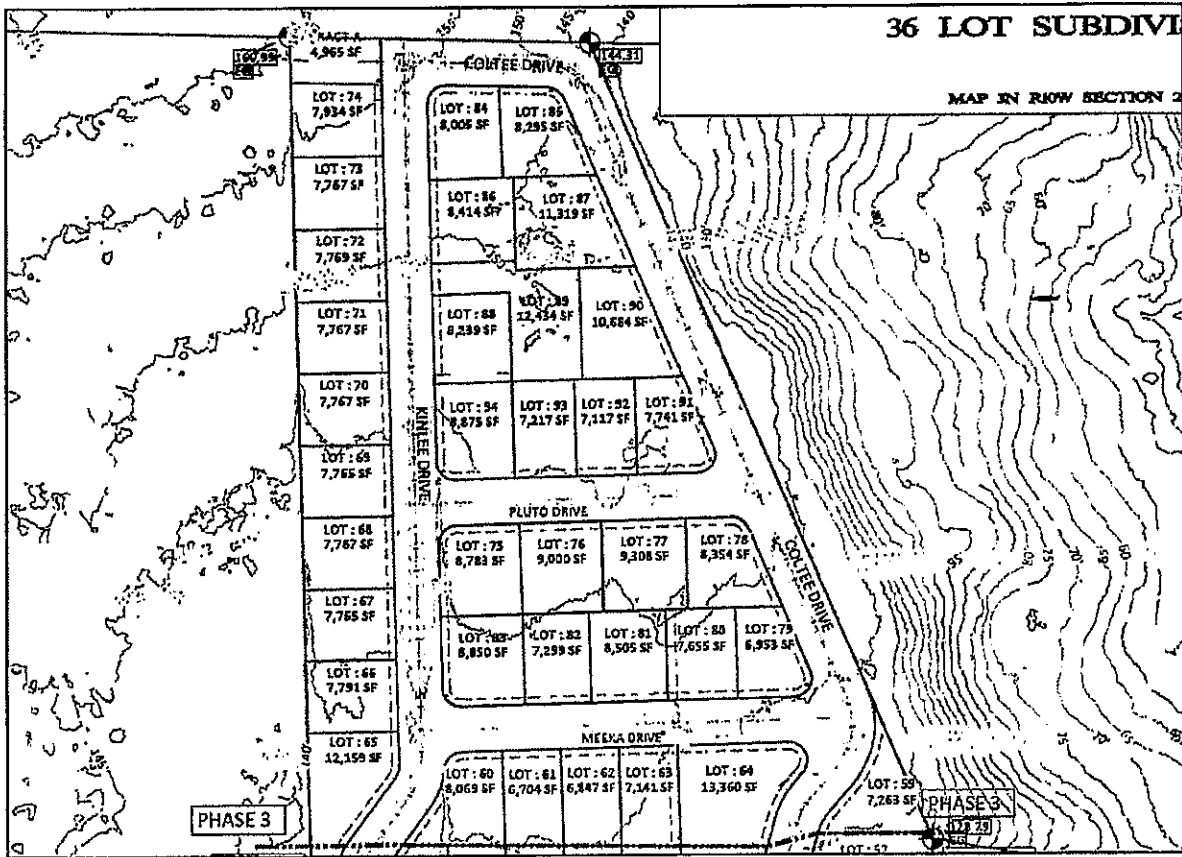


Figure 2- Portion of topographic plan and tentative lot plan, Riverview Meadows Phase 3, prepared by Morgan Civil Engineering, Inc.

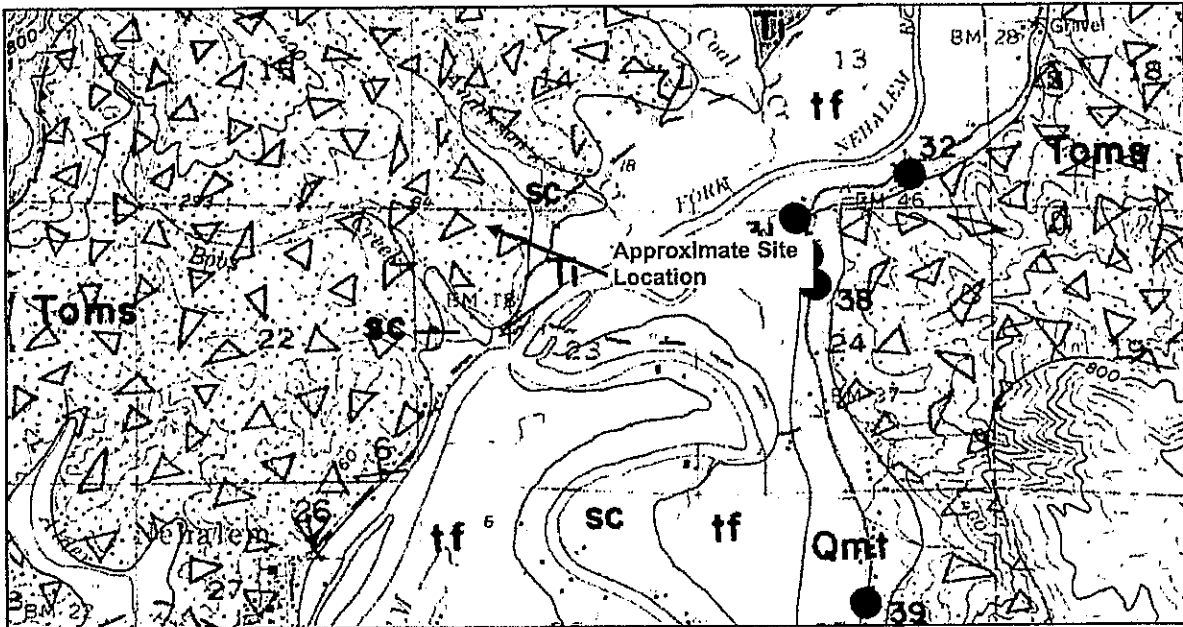


Figure 3- Portion of Geologic Map of Nehalem Quadrangle, DOGAMI Bulletin 74 (1972).

### Soils and Geology

Surface soils in the project area are mapped by the USDA NRCS Web Soil Survey of Tillamook County, Oregon as Chitwood-Hebo complex, 0 to 5 percent slopes. This soil is derived from mixed alluvium and/or fluvio-marine deposits derived from sedimentary rock. The USDA describes the contact with underlying bedrock at a depth of about 5 feet below the ground surface. Soil on the slope to the east of the subject property is mapped as Templeton-Ecola medial silt loams, 30 to 60 percent slopes. This soil is derived from slope colluvium and residuum of sedimentary rock.

DOGAMI geologic mapping in the 1970s, Figure 3, shows the subject property is located on uplands composed of Tertiary age sedimentary deposits of Tertiary, Oligocene to Miocene age siltstone, geologic map symbol **Toms**. The blue triangle and stippled overprint pattern on the **Toms** geologic map unit indicates ancient landslide topography. The **Toms** tuffaceous siltstone is typically highly weathered to completely decomposed. It has closely spaced joints and fractures from tectonic forces. Intact sedimentary bedding or bedrock dip angles are rarely observed. In the landslide terrain, it is unlikely that sedimentary bedding would be intact for any significant areal extent. Younger Quaternary fluvial silt and clay deposits (**SC**) are mapped in stream courses eroded in the older sedimentary rock at Bob's Creek, Anderson Creek, and other drainages in the lower Nehalem Valley.

USGS geologic mapping, Figure 4, the project site lies in an area of Tertiary Alsea Formation (**Tal**) tuffaceous siltstone of Lower Miocene to Oligocene age. The upper part of this unit is generally massive but has thin feldspathic sandstone interbeds. The USGS does not map the project area as landslide terrain, but the sedimentary strike and dip symbols shown on the geologic map vary substantially in orientation and dip angles, suggesting disturbance of the bedded marine sedimentary layers. As with the DOGAMI mapping, Nehalem River valley and tributary creeks are covered by younger Quaternary fluvial and estuarine (**Qf**) fine-grained sedimentary deposits.

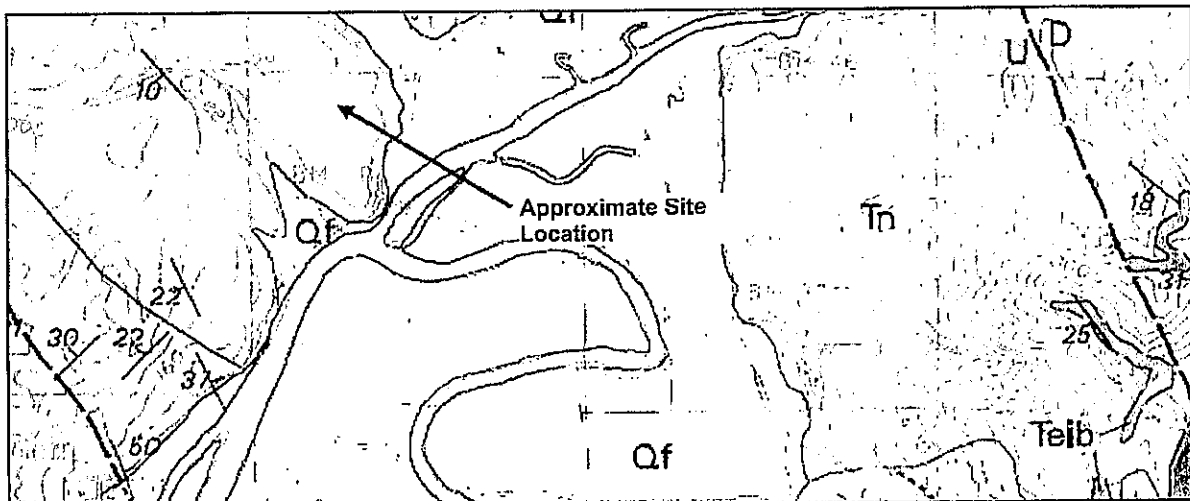
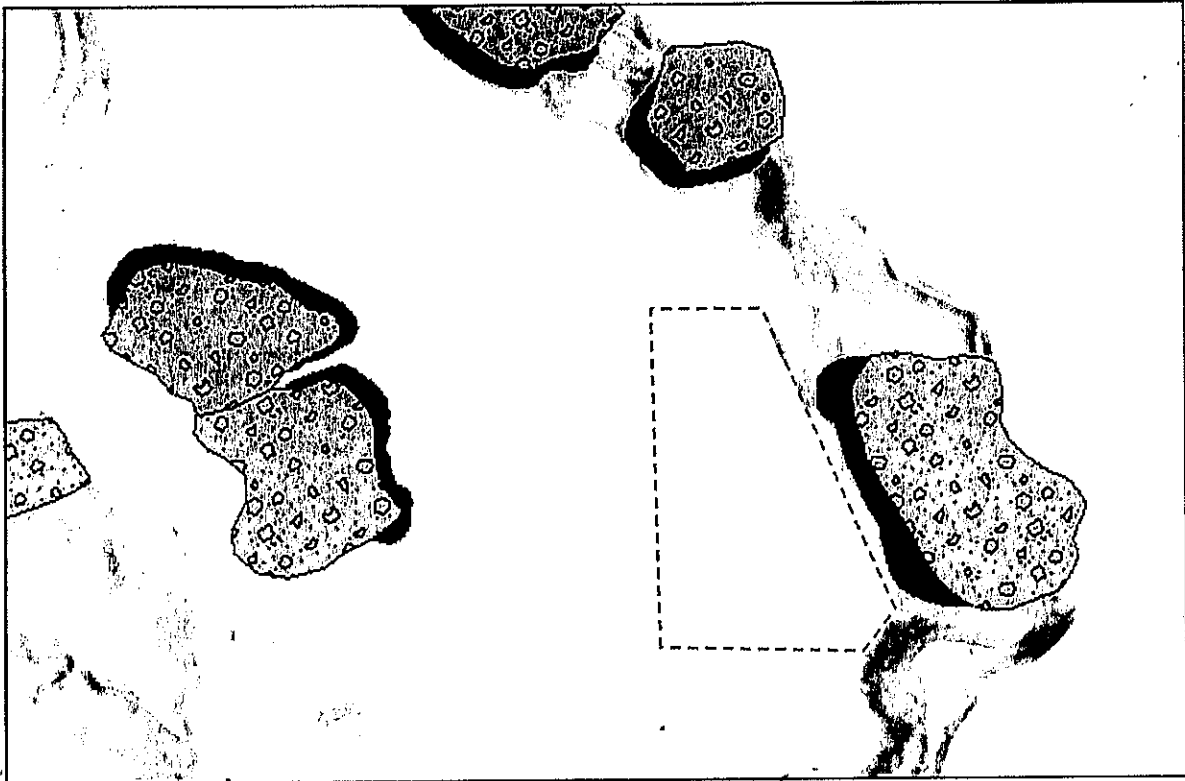


Figure 4 - Portion of Geologic Map of the Tillamook Highlands, Northwest Oregon Coast Range, USGS, Open File Report 94-21, 1994.



**Figure 5** – Landslides mapped in DOGAMI Statewide Landslide Inventory Database of Oregon. Riverview Meadows Phase 3 approximate project boundary shown in dashed red outline.

Recent landslide mapping by DOGAMI in Figure 5 shows distinct landslides on the steep slope of the eastern adjacent property, and elsewhere on the margins of the Bobs Creek and Anderson Creek drainages.

### **Seismic Setting**

The Cascadia Subduction Zone (CSZ) is an active tectonic plate boundary fault zone located approximately 50 miles to 60 miles off the Oregon coast. This active offshore thrust fault system has potential for earthquakes large enough to cause significant ground shaking throughout the Pacific Northwest region. Geologic research has shown that the CSZ fault system has repeatedly produced large earthquakes in the geologic past. CSZ earthquake recurrence intervals vary from about 200 to 700 years. Historic Japanese tsunami records along with dendrochronology (tree ring dating techniques) have established that the most recent strong CSZ earthquake occurred in January of 1700 AD. Based on the geologic record of CSZ earthquakes, the next CSZ earthquake is potentially overdue and may occur within future decades. In 2008 the United States Geologic Survey (USGS) estimated a 10% probability of occurrence that a magnitude 8-9 Cascadia Subduction Zone earthquake may occur within 30 years. Although scientists and engineers do not agree on the likely magnitude of the next CSZ earthquake, it is widely believed that earthquakes of moment magnitude ( $M_w$ ) 8.5 to 9.5 are possible. The duration of strong ground shaking is estimated at greater than 4 to 5 minutes,

with minor shaking lasting several minutes longer. Possible aftershocks of magnitude 7 or greater may follow for hours or days after a major Cascadia Subduction Zone seismic rupture.

Other potential earthquake sources in this region include fault ruptures deep within the subducting oceanic plates and within the overlying continental crustal tectonic plate. However, the CSZ earthquake is considered the greatest seismic hazard to the region, and the seismic source that dictates building code design requirements for permitted structures.

### **Conclusions and Recommendations**

The principal geologic hazard concern throughout western Oregon is an earthquake on the Cascadia Subduction Zone, CSZ. During a CSZ earthquake, the local area would experience a few minutes of very intense ground shaking. Steeper slopes on the eastern margin of the Phase 3 parcel may experience slope instability or landslide reactivation under seismic conditions. Static or seismically induced landslide risk to the Riverview Meadows Phase 3 parcel is considered low because of the mild slope. It is our interpretation that the landslide topography mapped by DOGAMI in Figure 3 likely formed many millennia ago. In my opinion, the Riverview Meadows Phase 3 subdivision site has no landslide or rapidly moving debris flow hazards.

Release of storm water runoff from impermeable surface should be carefully managed such that concentrated stormwater does not flow over the steep slope east of the Phase 3 parcel.

In my opinion, firm, undisturbed native soil or decomposed sedimentary bedrock is considered satisfactory for support of shallow spread foundations. Structure design according to prescriptive building code methods outlined in the adopted edition of the Oregon Structural Specialty Code (OSSC), Chapter 18 - Soils and Foundations is considered appropriate for homes on the Phase 3 building lots. Any organic debris, topsoil or manmade fill should be removed from foundation areas.

Grading recommendations in OSSC Appendix J- Grading are considered generally appropriate for excavation and earthwork construction on the Phase 3 lots building lots and roadways.

It is recommended that the Civil Engineer or Engineering Geologist be requested to observe and document roadway soil subgrade and aggregate base fill placement and compaction, structure foundation subgrade, and installation of drainage improvements.

### **Limitations**

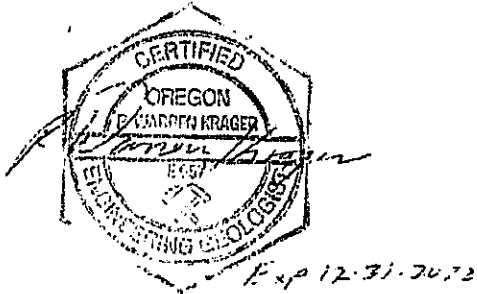
The engineering geologic reconnaissance and geologic hazard review performed for the proposed residential subdivision have been conducted with that level of care and skill ordinarily exercised by members of the profession currently practicing in this discipline and area under similar budget and time constraints. No warranty, expressed or implied, is made regarding the interpretations and conclusions of this report.

This report may be used only by the client and their authorized agents for the purposes stated, within a reasonable time from its issuance. Land use, site conditions (both on- and off-site), or

other factors may change over time and could materially affect our findings. Therefore, this report should not be relied upon after 24 months from its date of issue. If the project is delayed by more than 24 months from the date of this report, I would be happy to review site conditions and project design plans and revise this report if appropriate.

If you have any questions regarding the information presented in this report, please do not hesitate to contact me at 360-903-4861 or warrenkrager@gmail.com.

Sincerely,



R. Warren Krager, R.G., C.E.G.  
Oregon Licensed Engineering Geologist E-957



# MORGAN CIVIL ENGINEERING, INC.

PO Box 358, Manzanita, OR 97130

ph: 503-801-6016

[www.morgancivil.com](http://www.morgancivil.com)

May 12, 2022

Riverview Meadows Development, LLC

Alex Reverman

[areverman@gmail.com](mailto:areverman@gmail.com)

**RE: Addendum No. 1 to Geologic Hazard Report for Road and Utility Development of a portion of Tax Lot 3600, Map 03N 10W 23B, Nehalem, Tillamook County, Oregon (Riverview Meadows, Phase 2)  
Project #19-10-Riv**

Dear Mr. Reverman:

At your request, I have prepared this addendum report in order to update the Geologic Hazard Report for this project, referenced above. The original report was completed by Morgan Civil Engineering, Inc. on February 4, 2021, and Warren Krager, Certified Engineering Geologist, dated February 25, 2020.

Since those reports were prepared, the lot numbering has been revised. On page 7 of his report, Mr. Krager referred to Lots 39 through 47 has requiring additional investigations at the time of development. These lots are now designated as Lots 43 through 52.

The 2021 report from Morgan Civil Engineering specifically states that for construction within 30 feet of a steep slope, an individual site-specific geologic hazard report should be prepared. This is the requirement that I recommend be incorporated with the subdivision Conditions of Approval. The only lots which contain a steep slope are 43 through 52. The remaining properties in the development are practically flat.

RIVERVIEW MEADOWS DEVELOPMENT, LLC May 12, 2022,

MORGAN CIVIL ENGINEERING, INC.

*GHR Addendum*

*Riverview Meadows, Phase 2*

*Nehalem, Tillamook County, Oregon*

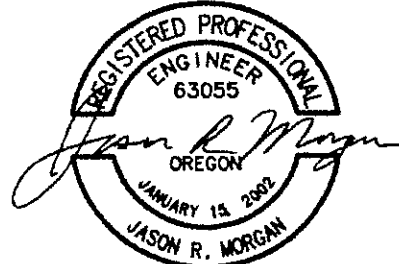
If you have any questions, please contact me at [jason@morgancivil.com](mailto:jason@morgancivil.com) or 503-801-6016.

Sincerely,

**MORGAN CIVIL ENGINEERING, INC.**



Jason R. Morgan, PE  
*Professional Engineer*



RENEWAL DATE: DECEMBER 31, 2022

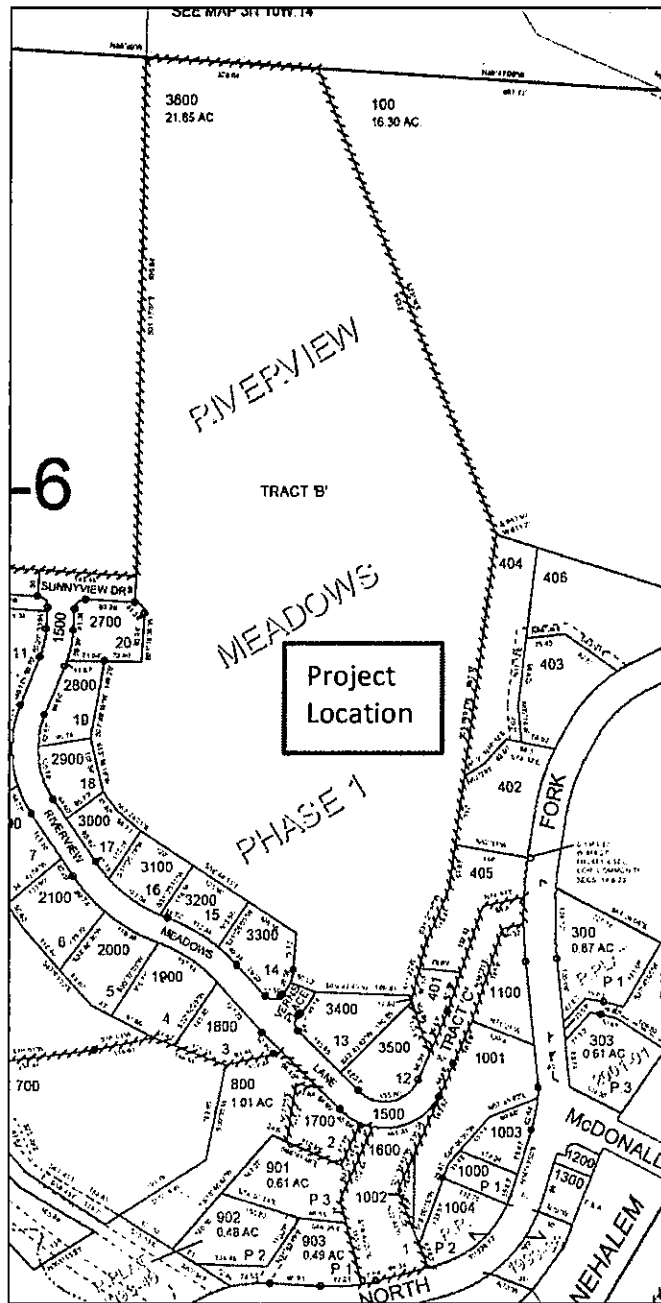
cc: Project File #19-10-Riv

<V:\19-10-Riv\Reports\Riverview Meadows-2 addendum.doc>

GHR Addendum

Riverview Meadows, Phase 2

Nehalem, Tillamook County, Oregon



**Tax Lot 3800, Map 3N 10W 23B  
RIVERVIEW MEADOWS PHASE 2  
Nehalem, Tillamook County Oregon**

**R. Warren Krager, R.G., C.E.G.  
Consulting Engineering Geologist  
Oregon CEG #E957  
Washington LEG #314**

February 25, 2020

Alex Reverman

In care of Morgan Civil Engineering, Inc.  
Phone: 503-801-6016  
Email: jason@morgancivil.com

**Subject:       Engineering Geologic Hazard Report  
                  Tax Lot 3600 Map 3N 10 23B  
                  Proposed Riverview Meadows Subdivision, Phase 2  
                  Tillamook County, Oregon**

Dear Mr. Reverman and Mr. Morgan:

As requested, I am pleased to submit my engineering geologic site investigation report for the proposed land division of Phase 2 of the Riverview Meadows residential subdivision. This geologic hazard report has been prepared in general accordance with the Tillamook County Land Use Ordinance (TCLUO) Section 4.130, Development Requirements for Geologic Hazard Areas. The property is mapped in inactive landslides, landslide topography and mass movement topography and has greater than 19 percent slope.

R. Warren Krager, R.G., C.E.G. (Oregon Licensed Engineering Geologist E-957) conducted the initial site visit with Jason Morgan, P.E. on Friday February 14, 2020. Approximately 2 hours was spent observing site conditions and discussing primarily the proposed building lots located on the break in slope along the eastern row of Lot 39 through 48. We discussed general slope setback considerations for home on lots, as well as allowances for specifically engineered foundation for homes that might use a daylight basement or other foundation system involving slopes. We observed exposed surface soils near slope crest areas and general drainage of existing manmade and natural soil drainage in internal roadway areas to be constructed to serve Phase 2 street access.

In preparing this report, available geologic hazard maps and reports, tax lot maps, design concept sketches and available topographic data and aerial photographic images were reviewed for detailed information pertinent to the subject property and vicinity. The following geologic reports, maps, aerial photos and other information were reviewed and used in preparation this report:

- Tillamook County Land Use Ordinance, Article 4, Section 4.130 Development Requirements for Geologic Hazard Areas.
- Environmental Geology of the Coastal Region of Tillamook and Clatsop Counties, Oregon, Oregon Department of Geology and Mineral Industries (DOGAMI), Bulletin 74, 1972.

- Evaluation of Coastal Erosion Hazard Zones Along Dune and Bluff Backed Shorelines in Tillamook County, Oregon: Cascade Head to Cape Falcon, Oregon Department of Geology and Mineral Industries (DOGAMI), Open File Report O-01-03, 2001.
- Geologic Map of the Tillamook Highlands, Northwest Oregon Coast Range (Nehalem, 15-minute Quadrangle), United States Geological Survey (USGS), Open File Report 94-21, 1994.
- Google Earth Aerial photographs of the Nehalem area, photo dates: September 3, 1994, July 29, 2000, June 15, 2003, June 29, 2005, December 12, 2005, August 1, 2011, July 6, 2012, July 30, 2014, August 23, 2016, and June 22, 2017.
- Topographic survey and tentative Lot Plan, Riverview Meadows Phase 2 and 3, prepared by Morgan Civil Engineering, Inc. for the Dorado Group, LLC.
- Oregon Department of Geology and Mineral Industries, DOGAMI LIDAR Viewer <http://www.oregongeology.org/lidar/dataviewer/>.

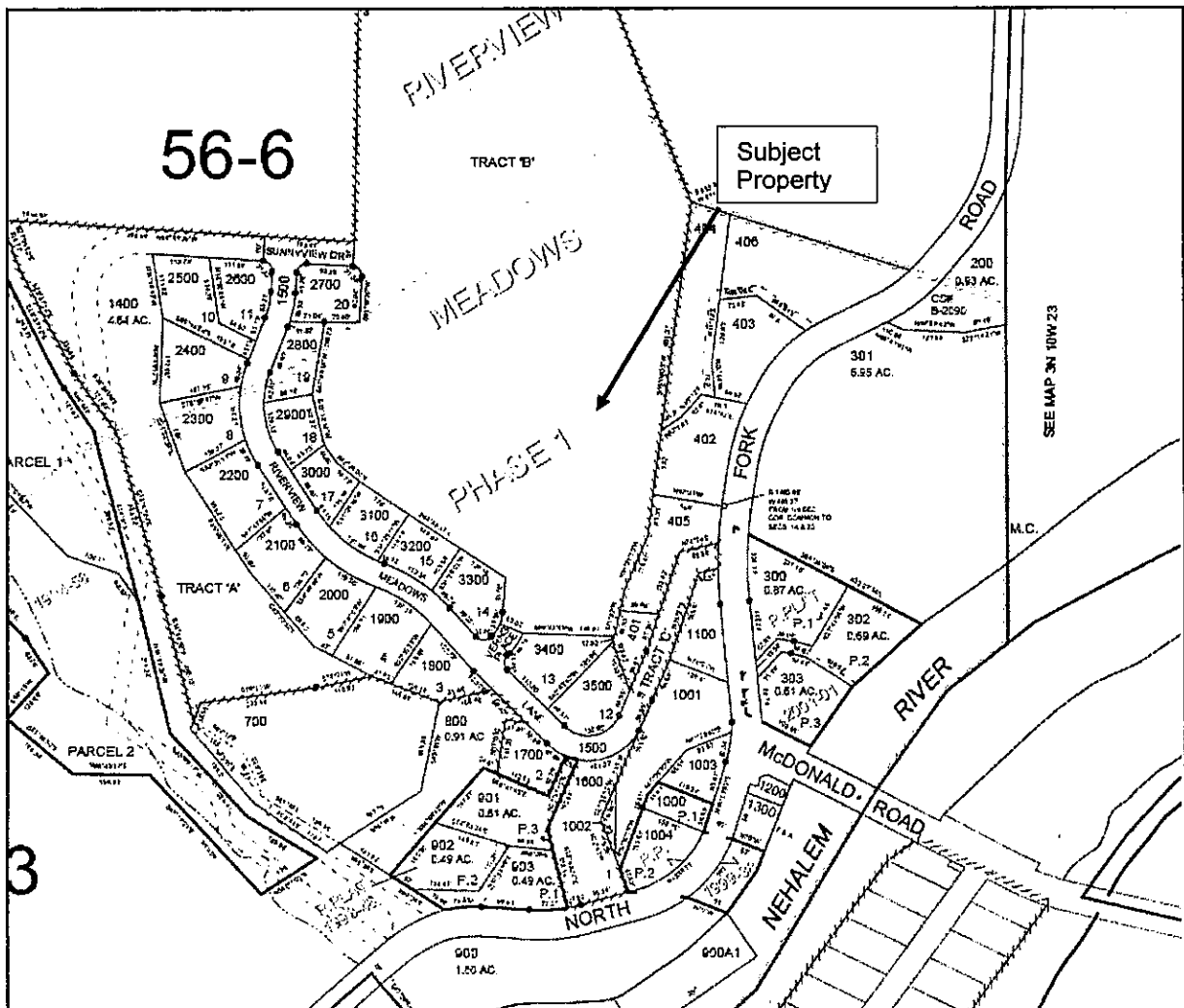


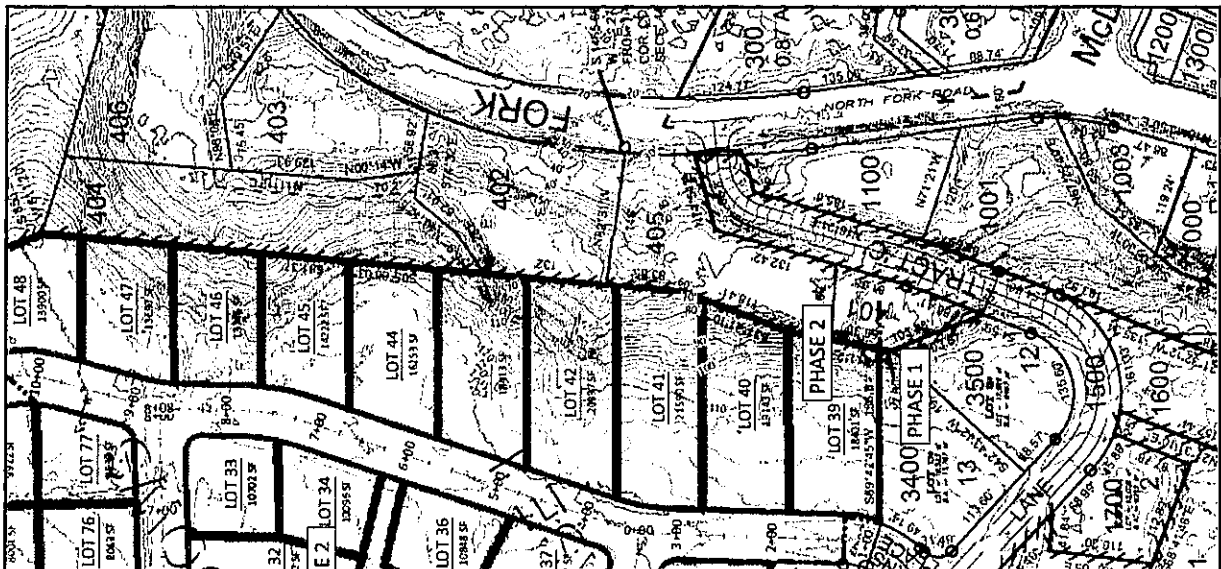
Figure 1- Portion of Tillamook County Tax Map 3N10W23B

## Site Location and Project Description

The general location of the subject property is level-topped foothill located north of the confluence of main stem of the Nehalem River and the North Fork of the Nehalem River, east of in Tillamook County, Oregon. The subject property consists of Tract B, Lot 3600 of the Riverview Meadows Phase 1 Subdivision, Figure 1. It is my understanding that the vacant, undeveloped land in Tract B, will be further divided into approximately 33 new single-family residential building lots, ranging in size from about 8,000 to 14,000 square feet in area. The proposed land division will include construction of new paved streets and underground utilities.

## Slope and Topography

Most of the proposed new phase of residential subdivision lies on a relatively level natural terrace at about 130 feet above mean sea level. Only along the eastern margins of proposed Lots 39 through 48 are slopes present that would create concern for slope instability or potential influence on home site location. Most of these proposed lots appear to have ample level area for conventional homes with shallow foundations to be placed well away from the crests of steep descending slopes. However, Lots 45, 46, and 47 are smaller and maybe limited in home footprint selection or foundation method because of steep slopes.



**Figure 2** – North to left view, Sloped topography of proposed Riverview Meadows Phase 2 Subdivision. Site plan and LIDAR-based topography Provided by Morgan Civil Engineering, Inc.

From the level meadow, the eastern slope breaks abruptly downward at generally over 50 percent and as steep as 80 to 100 percent locally, based on the DOGAMI light detection and ranging (Lidar) derived topography, shown in Figure 2. The lowest elevations on the eastern margins of the lot are about 60 to 70 feet above sea level. The extremely steep slope gradients are generally at lower elevations. There appear to be several small block slide slope failures visible from near the crest of the slope. Trails from residences at the base of the steep slope to the upper level meadow follow slump block slope terrain. During our slope reconnaissance, we

could hear but could not locate what sounded like springs or cascading drainage issuing from near the base of the steepest slopes.

### **Soils and Geology**

Surface soils in the near level portion of the project area are mapped by the USDA NRCS Web Soil Survey of Tillamook County, Oregon as Chitwood-Hebo complex, 0 to 5 percent slopes. This soil is derived from mixed alluvium and/or fluvio-marine deposits derived from sedimentary rock. The USDA describes the contact with underlying bedrock at a depth of about 5 feet below the ground surface. The sloped soils at the eastern margin of the subject property are mapped as Templeton-Ecola medial silt loams, 30 to 60 percent slopes derived from colluvium and residuum of sedimentary rock.

Based on the DOGAMI geologic mapping, Figure 3, the subject property is located on a southern slope of coast range uplands composed of Tertiary age sedimentary deposits of Oligocene to Miocene age siltstone, geologic map symbol **Toms**. The blue triangle and stippled overprint pattern on the **Toms** geologic map unit indicates ancient landslide topography mapped by DOGAMI. The **Toms** tuffaceous siltstone geologic unit is typically highly weathered to decomposed and with closely spaced joints and fractures from the landsliding. Intact sedimentary bedding or bedrock dip angles are rarely observed in the hill slope colluvium. There were no apparent signs of sedimentary bedding in the hand auger explorations. In the landslide terrain it is unlikely that sedimentary bedding would be intact for any significant areal extent.

Younger Quaternary fluvial silt and clay deposits (**SC**) are present in embayments eroded into the older sedimentary rock at Bob's Creek, Anderson Creek and other drainages in the lower Nehalem Valley.

According to the USGS geologic mapping, Figure 4 , the project site lies in an area of Tertiary Alsea Formation (**Tal**) tuffaceous siltstone of Lower Miocene to Oligocene age. The upper part of this unit is generally massive but has thin feldspathic sandstone interbeds. The USGS does not map the project area as landslide terrain, but the sedimentary strike and dip symbols shown on the map vary substantially in orientation and dip angles, suggesting substantial disturbance of the originally horizontally bedded marine sedimentary deposit. As with the DOGAMI mapping, Nehalem River valley and tributary creeks are covered by younger Quaternary fluvial and estuarine (**Qf**) fine-grained sedimentary deposits.

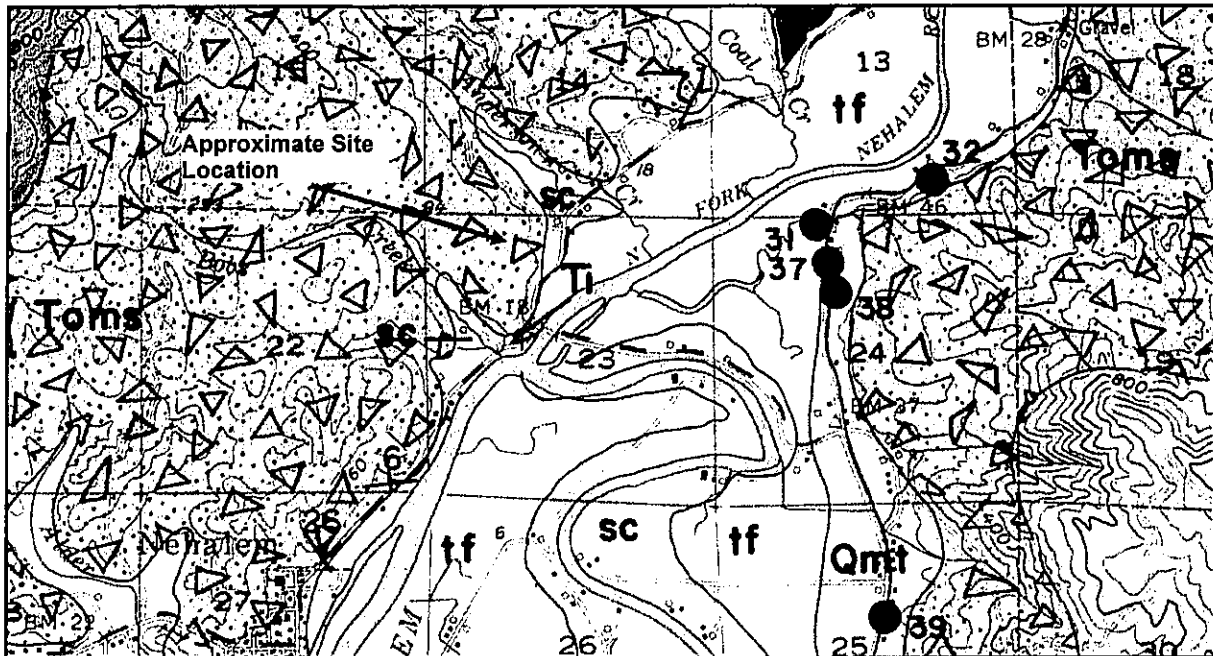


Figure 3- Portion of Geologic Map of Nehalem Quadrangle, DOGAMI Bulletin 74 (1972).

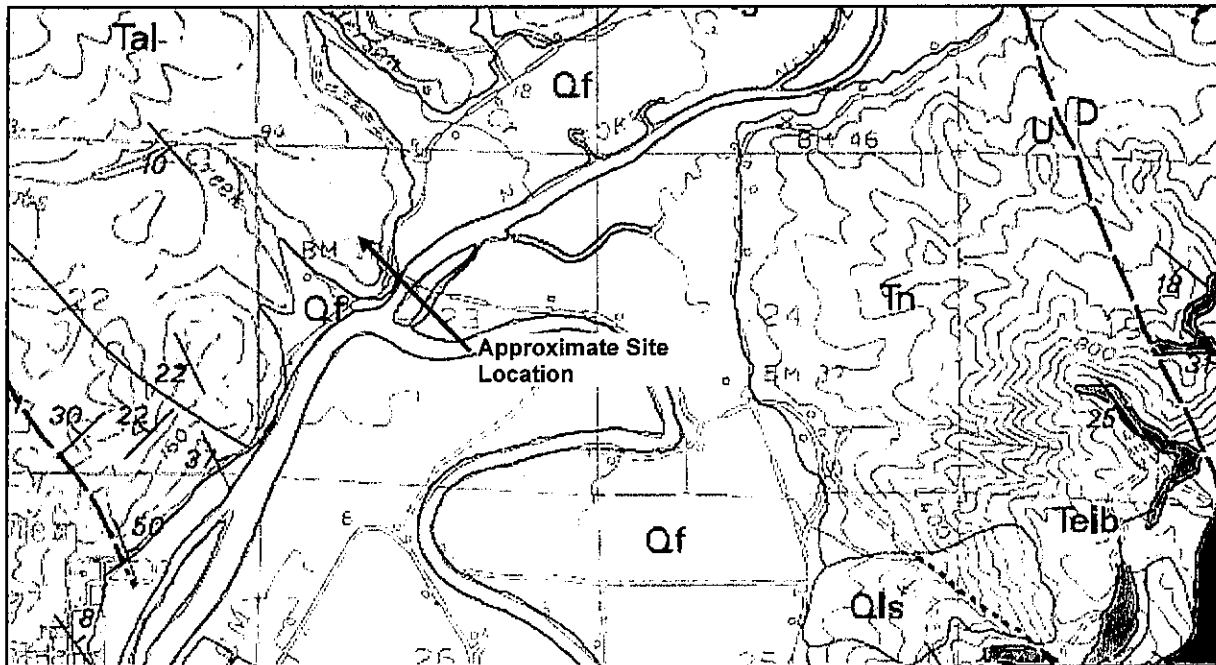


Figure 4 - Portion of Geologic Map of the Tillamook Highlands, Northwest Oregon Coast Range (Nehalem, 15-minute Quadrangle), United States Geological Survey (USGS), Open File Report 94-21, 1994.

### Seismic Setting

The Oregon Coast is located near the western margin of the North American continental tectonic plate. The Pacific and Juan de Fuca Tectonic plates that form the ocean floor off the

northwest coast are converging and being subducted beneath the western edge of the North American Continental Plate. This zone of tectonic plate convergence, called the Cascadia Subduction Zone, has created a complex set of stress regimes that influence the tectonic and volcanic activity of the Pacific Northwest.

The Cascadia Subduction Zone, (CSZ), located approximately 50 miles to 60 miles off the Oregon coast, represents an immense thrust fault that has potential for earthquakes large enough to cause significant ground shaking throughout the Pacific Northwest Region. Geologic research over the past decades has shown that this offshore thrust fault zone has repeatedly produced large earthquakes every 300 to 700 years. Research of ancient Japanese tsunami records along with dendrochronology (tree ring dating techniques) have established that the last large CSZ earthquake occurred in January of 1700 AD. Although researchers do not agree on the likely magnitude of the next Cascadia Subduction Zone thrust fault earthquake, it is widely believed that earthquakes of moment magnitude ( $M_w$ ) 8.5 to 9.5 are possible. The duration of strong ground shaking is estimated to be greater than 4 to 5 minutes, with minor shaking lasting several minutes longer. Possible aftershocks of magnitude 7 or greater may occur for hours or days after a major Cascadia Subduction Zone seismic rupture.

Other potential earthquake sources in this region include fault ruptures deep within the subducting oceanic plates and within the overlying continental crustal tectonic plate. However, the CSZ thrust fault earthquake mechanism is considered the greatest seismic hazard to the region and the seismic source which dictates building code design requirements for permitted habitable structures.

### **Geologic and Seismic Hazard Summary**

The principal geologic hazard concern throughout western Oregon is an earthquake on the Cascadia Subduction Zone, CSZ. Based on the geologic record of CSZ Earthquake recurrence intervals, the next CSZ earthquake is potentially overdue and may occur within many of our lifetimes. In 2008 the United States Geologic Survey (USGS) released results of research that estimated 10% probability that a magnitude 8-9 Cascadia Subduction Zone earthquake would occur within 30 years.

During a CSZ earthquake, the local area will very likely experience a few minutes of very intense ground shaking. Steeper slopes on the eastern margin of the subdivision's Phase 2 lots may experience slope instability or landslides under seismic conditions.

### **Conclusions and Recommendations**

It is our interpretation that the landslide topography likely formed many millennia ago when the lower Nehalem River Valley had greater topographic relief, steeper slopes and the river was actively eroding or cutting the base level. In general, the conditions that formed this mapped landslide topography are no longer active. However, in areas of steep slopes along the eastern margin of the project, the ancient landslide topography may be reactivated by heavy rainfall, changes in grading, drainage, or tree removal, or severe seismic ground motion.

Homes with shallow foundations should be designed with adequate slope setback for long-term slope stability and support of foundation soils. Any portions of proposed home footprints or site grading, including foundation backfill, on Lots 39 through 42 that extend east of the existing 110-foot elevation contour shown on Morgan Civil Engineering plans should be reviewed by an Engineering Geologist or Civil or Geotechnical Engineer for slope stability concerns. Similarly, any portions of proposed home sites on Lots 43 through 47 that extend east of the existing 120-foot elevation should be reviewed for slope stability concerns.

For home footprints that are designed specifically to extend east of the break in slope elevations noted above, it is expected that such homes would have either stepped or deep foundations and engineered retaining foundation walls. Release of storm water runoff from impermeable surface should be carefully managed such that concentrated stormwater does not flow over the crests of steep slopes.

In my opinion, firm, undisturbed silty clay soil or decomposed sedimentary bedrock is considered suitable for support of shallow spread foundations and retaining walls designed according to prescriptive building code methods outlined in the 2014 Oregon Structural Specialty Code (OSSC), Chapter 18 - Soils and Foundations. An allowable soil bearing capacity of 1,500 pounds per square foot would be appropriate for firm native undisturbed silty clay soil according to table 1806.2 of the OSSC. Any organic debris or fill should be removed from foundation areas.

Grading recommendations in accordance with OSSC Appendix J- Grading are considered generally appropriate for the general excavation and grading expected for construction on the generally level residential lots. The pertinent building code and sections should be referenced on final foundation construction plans for homes, noting assumed soil parameters used in the design.

For homes planned east of the 110-foot to 120-foot elevation contours slopes described above, It is recommended that the engineering geologist, civil engineer, or structural engineer be retained to observe and document foundation subgrade preparation, installation of drainage improvements, construction of engineered retaining walls, and structural fill placement and compaction.

### **Limitations**

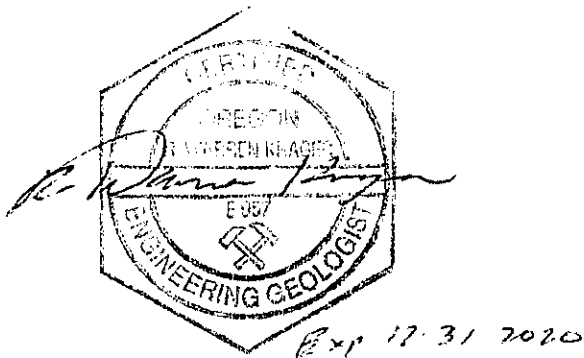
The engineering geologic reconnaissance and geologic hazard review performed for the proposed residential land partition have been conducted with that level of care and skill ordinarily exercised by members of the profession currently practicing in this discipline and area under similar budget and time constraints. No warranty, expressed or implied, is made regarding the interpretations and conclusions of this report.

This report may be used only by the client and their authorized agents for the purposes stated, within a reasonable time from its issuance. Land use, site conditions (both on- and off-site), or other factors may change over time and could materially affect our findings. Therefore, this report should not be relied upon after 24 months from its date of issue. If the project is delayed

by more than 24 months from the date of this report, I would happy to review site and design conditions and revise this report if appropriate or provide detailed site investigation reports for future lots and proposed homes.

If you have any questions regarding the information presented in this report, please do not hesitate to contact me at 360-903-4861 or warrenkrager@gmail.com.

Sincerely,



R. Warren Krager, R.G., C.E.G.  
Oregon Licensed Engineering Geologist E-957

**CONDITIONAL USE  
REQUEST**

**# 851-26-000139-PLNG**



## PLANNING APPLICATION

**Applicant**  (Check Box if Same as Property Owner)

Name: **Carey Sheldon** Phone: **503-805-8741**

Address: **23765 SE Highway 212**

City: **Damascus** State: **OR** Zip: **97089**

Email: **careysheldon17@yahoo.com**

### Property Owner

Name: **Riverview Meadows Development LLC** Phone:

Address: **same as applicant**

City: State: Zip:

Email:

OFFICE USE ONLY	
Date Stamp	<b>MAR 30 2026</b> <i>County - Apt. SS</i>
<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Received by:	<b>SS</b>
Receipt #:	<b>147968</b>
Fees:	<b>2100.00</b>
Permit No:	<b>851-24-00039-PLNG</b>

Request: **Conditional Use Permit to allow a road encroachment into the 15-foot riparian buffer along Bob's Creek.**

~~buffer along Bob's Creek.~~

### Type II

- Farm/Forest Review
- Conditional Use Review
- Variance
- Exception to Resource or Riparian Setback
- Nonconforming Review (Major or Minor)
- Development Permit Review for Estuary Development
- Non-farm dwelling in Farm Zone
- Fore-dune Grading Permit Review
- Neskowin Coastal Hazards Area

### Type III

- Detailed Hazard Report
- Conditional Use (As deemed by Director)
- Ordinance Amendment
- Map Amendment
- Goal Exception
- Nonconforming Review (As deemed by Director)
- Variance (As deemed by Director)

### Type IV

- Ordinance Amendment
- Large-Scale Zoning Map Amendment
- Plan and/or Code Text Amendment

### Location:

Site Address: **Riverview Drive**

Map Number: **3N**

**10W**

**23B**

**503**

Township

Range

Section

Tax Lot(s)

Clerk's Instrument #: \_\_\_\_\_

### Authorization

This permit application does not assure permit approval. The applicant and/or property owner shall be responsible for obtaining any other necessary federal, state, and local permits. The applicant verifies that the information submitted is complete, accurate, and consistent with other information submitted with this application.

Property Owner Signature (Required)

*Carey Sheldon*

**RVM LLC**

**3-17-24**

Date

Applicant Signature

*Carey Sheldon*

**3-17-24**

Date

**Narrative  
Riverview Meadows Subdivision Phase 2  
Riparian Buffer  
Conditional Use Permit**

**I. Introduction**

The applicant has submitted an application with Tillamook County to develop the Riverview Meadows Phase 2 Subdivision. The subject property is located within the Nehalem Urban Growth Boundary but is currently outside the city limits. With this application, Riverview Meadows Development, LLC requested land use approval to construct Phase 2 of the Riverview Meadows Subdivision, consisting of a total of 74 residential lots.

The applicant has constructed a new public access road, "Riverview Drive," intersecting with Northfork Road, west of Riverview Meadows Lane constructed to serve Phase 1 to serve as the primary access to the development. Tillamook County Public Works granted Approach Permit #7005 to allow connection of this road with Northfork Road.

Bob's Creek, a fish bearing stream, runs parallel to the proposed road and carries a 15-foot riparian buffer. Given existing conditions of the site, including steep slopes and private property to the east and Bob's Creek to the west, construction of Riverview Drive resulted in approximately 45 square feet (3 feet by 15 feet) of these improvements encroaching within the 15-foot riparian creek buffer.

**II. Application Approval Requests**

The applicant requests the following approvals with this application:

- Conditional Use Permit

**III. Items Submitted With This Application**

Exhibit A - Land Use Application

Exhibit B - Project Narrative

Exhibit D - Tillamook County Approach Permit (submitted as Exhibit O)

Exhibit C - Mitigation Plan (submitted as Exhibit P)

**IV. Review of Applicable Approval Criteria**

Subdivision applications are required to comply with the code criteria found in the City of Nehalem Subdivision Ordinance and Zoning Ordinance. Each of the relevant code sections are reviewed below. Each relevant code section is written in regular text followed by a response written in italics.

**City of Nehalem**

**157.442 - Special Buffers and Setbacks**

**157.442.01 - Riparian vegetation and small streams**

- (A) Riparian vegetation along small streams shall be protected by a 15-foot riparian zone for all creeks. This zone shall be run parallel to the mean high-water line of the subject creek.
- (B) Any development within the 15-foot riparian zone, including the removal or replacement of vegetation, shall require a conditional use application pursuant to § [157.508](#) of this chapter. In addition to the conditional use criteria in § [157.508](#) of this chapter, a conditional use permit within the riparian vegetative area shall indicate how:
- (1) The proposal will not affect the following factors;
  - (2) The proposal can be mitigated in some manner to minimize or eliminate potential harmful impacts regarding the following factors; or
  - (3) The factors do not apply to the request. The factors include:
    - (a) Development or improvements shall be directed away from adjacent streams and drainage corridors to the greatest possible extent.
    - (b) The development, change, or intensification of use shall provide the maximum possible landscaped area, open space, or vegetation between the activity and adjacent streams or drainage corridors.
    - (c) The fringe along streams and drainage corridors shall be maintained to the maximum extent practical in order to assure scenic quality, protection of wildlife habitat, and protection from erosion.
    - (d) Areas of annual flooding, flood plains, and wetlands shall be preserved in their natural state to the maximum possible extent to protect water retention, overflow and other natural functions. The development shall comply with the floodplain or floodway development requirements of this chapter.

*Response: Bob's Creek is located adjacent to the proposed Riverview Drive requiring a 15-foot wide riparian buffer. As shown on submitted plans, about 45 square feet (3 feet x 15 feet) of these improvements encroach into this buffer. Accordingly, a mitigation plan has been prepared in coordination with an Oregon Department of Fish and Wildlife (ODFW) fish biologist. This proposed Mitigation Plan includes two primary planting areas: one at the location of the riparian buffer encroachment where a significant number of native trees and shrubs are proposed including 14 Western red cedar trees and a second area up the road at the location of a former manufactured home. No areas of existing riparian vegetation will be removed and only un-vegetated areas are proposed to be planted. The proposed road has also been designed to shed water to the opposite side of the road from Bob's Creek so that this water can be treated to being discharged into the creek. No areas of annual flooding, flood plains, and wetland will be affected by this encroachment or the road improvements.*

## **157.508 - Conditional Use**

### **157.508.05 - Decision criteria**

A conditional use shall be approved if the applicant provides supporting evidence that all the requirements of this chapter relative to the proposed use are satisfied, and demonstrates that the proposed use also satisfies the following criteria:

- A. The use is listed as a conditional use in the underlying district and complies with the development requirements of the underlying zone.

*Response: Section 157.442.01(B) specifies that “Any development within the 15-foot riparian zone, including the removal or replacement of vegetation, shall require a conditional use application pursuant to §157.08 of this chapter.” A Conditional Use Permit application has been submitted with this request.*

- B. The characteristics of the site are suitable for the proposed use considering size, shape, location, topography, and location of improvements and natural features

*Response: The subject property is zoned for residential development and this is the proposed use. The proposed Riverview Drive access road is intended to serve as the primary access to the serve the proposed development. On February 5, 2026, Tillamook County Public Works approved Road Approach Permit #7005 to allow the proposed road connection with Northfork Road, a County road. The proposed road meets all other applicable standards, except for the 45 square foot encroachment into the 15-foot riparian buffer required by Section 157.442.01(A) as reviewed above.*

- C. The proposed development is timely, considering the adequacy of transportation systems, public facilities and services, existing or planned for the area affected by the use.

*Response: The proposed road has been previously approved and is needed to serve the proposed development as reviewed in the applicant’s submitted traffic impact studies prepared by a registered Transportation Engineer.*

- D. The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs, or precludes the use of surrounding properties for the primary uses listed in the underlying zone.

*Response: The proposed encroachment and the mitigation is intended to enhance the stream corridor in this location and will not alter the character of the surrounding area or limit the use of surrounding properties.*

- E. Decision criteria for special buffers are found in § 157.442 of this chapter.

*Response: A review of these criteria are included above.*



# Oregon

Tina Kotek, Governor

## Department of Fish and Wildlife

West Region  
4907 3<sup>rd</sup> Street  
Tillamook, OR 97141  
(503) 842-2741  
Fax (503) 842-8385  
[www.odfw.com](http://www.odfw.com)



March 27, 2026

Riverview Meadows Development LLC  
Attn: Carey Sheldon  
PO Box 883  
Fairview, OR 97024

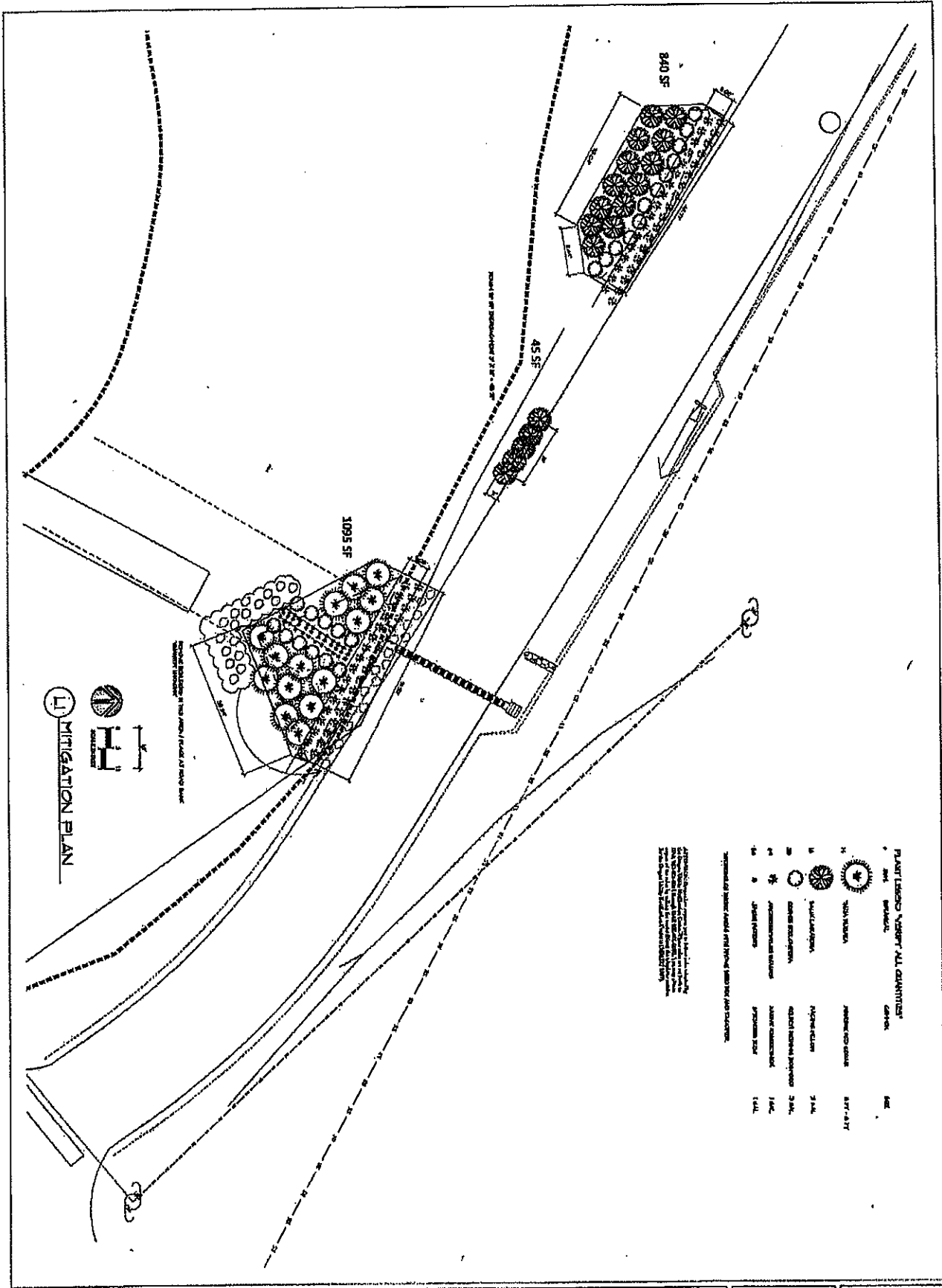
Dear Carey:

The Oregon Department of Fish and Wildlife's (ODFW) North Coast Watershed District has reviewed the mitigation planting you submitted for our review (attached). ODFW finds this plan to be sufficient to meet the mitigation requirements required in your permit from Tillamook County.

Sincerely,

Robert W. Bradley  
District Fish Biologist  
North Coast Watershed District

Rev. #2



MITIGATION PLAN

PLANT TYPES: NUMBER ALL QUANTITIES

NO.	SYMBOL	PLANT TYPE	QUANTITY	DATE
1	(Symbol)	WATER BIRCH	100	8/17-8/18
2	(Symbol)	WATER SPICE	100	8/17-8/18
3	(Symbol)	WATER DOGWOOD	100	8/17-8/18
4	(Symbol)	WATER PINE	100	8/17-8/18
5	(Symbol)	WATER SWEETGUM	100	8/17-8/18
6	(Symbol)	WATER CYPRESS	100	8/17-8/18
7	(Symbol)	WATER OAK	100	8/17-8/18
8	(Symbol)	WATER HICKORY	100	8/17-8/18
9	(Symbol)	WATER Sycamore	100	8/17-8/18
10	(Symbol)	WATER Elm	100	8/17-8/18
11	(Symbol)	WATER Ash	100	8/17-8/18
12	(Symbol)	WATER Magnolia	100	8/17-8/18
13	(Symbol)	WATER Redwood	100	8/17-8/18
14	(Symbol)	WATER Douglas Fir	100	8/17-8/18
15	(Symbol)	WATER Fir	100	8/17-8/18
16	(Symbol)	WATER Spruce	100	8/17-8/18
17	(Symbol)	WATER Hemlock	100	8/17-8/18
18	(Symbol)	WATER Larch	100	8/17-8/18
19	(Symbol)	WATER Pine	100	8/17-8/18
20	(Symbol)	WATER Fir	100	8/17-8/18
21	(Symbol)	WATER Spruce	100	8/17-8/18
22	(Symbol)	WATER Hemlock	100	8/17-8/18
23	(Symbol)	WATER Larch	100	8/17-8/18
24	(Symbol)	WATER Pine	100	8/17-8/18
25	(Symbol)	WATER Fir	100	8/17-8/18
26	(Symbol)	WATER Spruce	100	8/17-8/18
27	(Symbol)	WATER Hemlock	100	8/17-8/18
28	(Symbol)	WATER Larch	100	8/17-8/18
29	(Symbol)	WATER Pine	100	8/17-8/18
30	(Symbol)	WATER Fir	100	8/17-8/18
31	(Symbol)	WATER Spruce	100	8/17-8/18
32	(Symbol)	WATER Hemlock	100	8/17-8/18
33	(Symbol)	WATER Larch	100	8/17-8/18
34	(Symbol)	WATER Pine	100	8/17-8/18
35	(Symbol)	WATER Fir	100	8/17-8/18
36	(Symbol)	WATER Spruce	100	8/17-8/18
37	(Symbol)	WATER Hemlock	100	8/17-8/18
38	(Symbol)	WATER Larch	100	8/17-8/18
39	(Symbol)	WATER Pine	100	8/17-8/18
40	(Symbol)	WATER Fir	100	8/17-8/18
41	(Symbol)	WATER Spruce	100	8/17-8/18
42	(Symbol)	WATER Hemlock	100	8/17-8/18
43	(Symbol)	WATER Larch	100	8/17-8/18
44	(Symbol)	WATER Pine	100	8/17-8/18
45	(Symbol)	WATER Fir	100	8/17-8/18
46	(Symbol)	WATER Spruce	100	8/17-8/18
47	(Symbol)	WATER Hemlock	100	8/17-8/18
48	(Symbol)	WATER Larch	100	8/17-8/18
49	(Symbol)	WATER Pine	100	8/17-8/18
50	(Symbol)	WATER Fir	100	8/17-8/18

1

DATE	2/24/11
REVISION	1
DESCRIPTION	
BY	
CHECKED	
DATE	
BY	
DATE	
BY	

# Bob's Creek Nehalem

Carrey Sheldon

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT  
 CARREY S. SHELDON  
 1000 NE 10TH AVE, SUITE 100  
 PORTLAND, OREGON 97232  
 (503) 255-1111  
 www.carreyseldon.com

# EXHIBIT C

## Sarah Thompson

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**From:** Sarah Absher  
**Sent:** Wednesday, May 27, 2026 2:09 PM  
**To:** Sarah Thompson  
**Subject:** Riverview Meadows Recommended Conditions of Approval - Public Works

Sarah,

Please include as "Exhibit C" of the staff report for Riverview Meadows Phase 2.

Thank You,



**Sarah Absher**, CBO, CFM, Director  
TILLAMOOK COUNTY | Community Development  
1510-B Third Street  
Tillamook, OR 97141  
Phone (503) 842-3408 x3412  
[Sarah.Absher@tillamookcounty.gov](mailto:Sarah.Absher@tillamookcounty.gov)

**From:** Chris Laity <Chris.Laity@tillamookcounty.gov>  
**Sent:** Wednesday, May 27, 2026 8:15 AM  
**To:** Brian Olle <brian.olle@tillamookcounty.gov>; Sarah Absher <Sarah.Absher@tillamookcounty.gov>  
**Subject:** Riverview Meadows Conditions of Approval - Public Works

Sarah,

For inclusion in the conditions of approval.

1. The record drawings shows that a portion of the newly constructed storm line between lots 68 & 69 (near the intersection with Pluto Drive & Kinlee Drive) indicates that the line is very close to the proposed easement. The applicant needs to modify the drainage easement between the two lots or provide a letter that the drainage pipe can be maintained without working outside of the easement.
2. Submit a detailed stormwater management plan to TCPW for review and approval. This document should be added to the CC&R's as an appendix.
3. Submit a detailed road management plan to TCPW for review and approval. This document should be added to the CC&R's as an appendix.
4. The Declaration of Covenant, Conditions, and Restrictions need to address road and stormwater facilities maintenance.
5. Submit road testing results to TCPW for acceptance prior to plat approval.

Note the pdf page 263 states that the City of Nehalem approved the construction plans on December 10, 2023 (county did not approve the construction plans). June 2025 rocked and proof rolled (we need testing results). Road paving completed on August 8, 2025 (we need testing results).

**Chris Laity, P.E.** | Director  
**TILLAMOOK COUNTY** | Public Works  
Phone (503) 842-3419  
[Chris.Laity@tillamookcounty.gov](mailto:Chris.Laity@tillamookcounty.gov)