



1510 – B Third Street
Tillamook, Oregon 97141
www.tillamook.or.us
Building (503) 842-3407
Planning (503) 842-3408
Sanitation (503) 842-3409
FAX (503) 842-1819
Toll Free 1(800) 488-8280

Land of Cheese, Trees and Ocean Breeze

NON-CONFORMING MINOR REVIEW
#851-21-000340-PLNG: WEBER

*NOTICE TO MORTGAGEE, LIENHOLDER, VENDOR OR SELLER:
ORS 215 REQUIRES THAT IF YOU RECEIVE THIS NOTICE,
IT MUST BE PROMPTLY FORWARDED TO THE PURCHASER*

NOTICE OF ADMINISTRATIVE REVIEW
Date of Notice: October 25, 2021

Notice is hereby given that the Tillamook County Department of Community Development is considering the following:

#851-21-000340-PLNG: A Non-Conforming Minor Review request to allow the alteration of an existing non-conforming single-family dwelling to add a breezeway from the residence to the garage and raising the garage roof by two (2) feet. The subject property is located at 237 University Ave., located on University Avenue, a City of Manzanita road. The subject property is located within the Neahkahnie Unincorporated Community and is designated as Tax Lot 9000 in Section 20CD of Township 3 North, Range 11 West of the Willamette Meridian, Tillamook County, Oregon. The subject property is zoned Neahkahnie Residential NK-15. The applicant and property owner is Robert & Vivian Weber.

Written comments received by the Department of Community Development prior to 4:00pm on November 9, 2021 will be considered in rendering a decision. Comments should address the criteria upon which the Department must base its decision.

Notice of the application, a map of the subject area, and the applicable criteria are being mailed to all property owners within 250 feet of the exterior boundaries of the subject property for which an application has been made and other appropriate agencies at least 14 days prior to this Department rendering a decision on the request. A decision will be made no sooner than the next business day, November 10, 2021.

A copy of the application, along with a map of the request area and the applicable criteria for review are available for inspection on the Tillamook County Department of Community Development website:
<http://www.co.tillamook.or.us/gov/ComDev/planning/default.htm> and is also available for inspection at the Department of Community Development office located at 1510-B Third Street, Tillamook, Oregon 97141.

If you have any questions about this application, please call the Department of Community Development at 503-842-3408 x 3317 or claws@co.tillamook.or.us

Sincerely,


Christopher S. Laws, Planner II

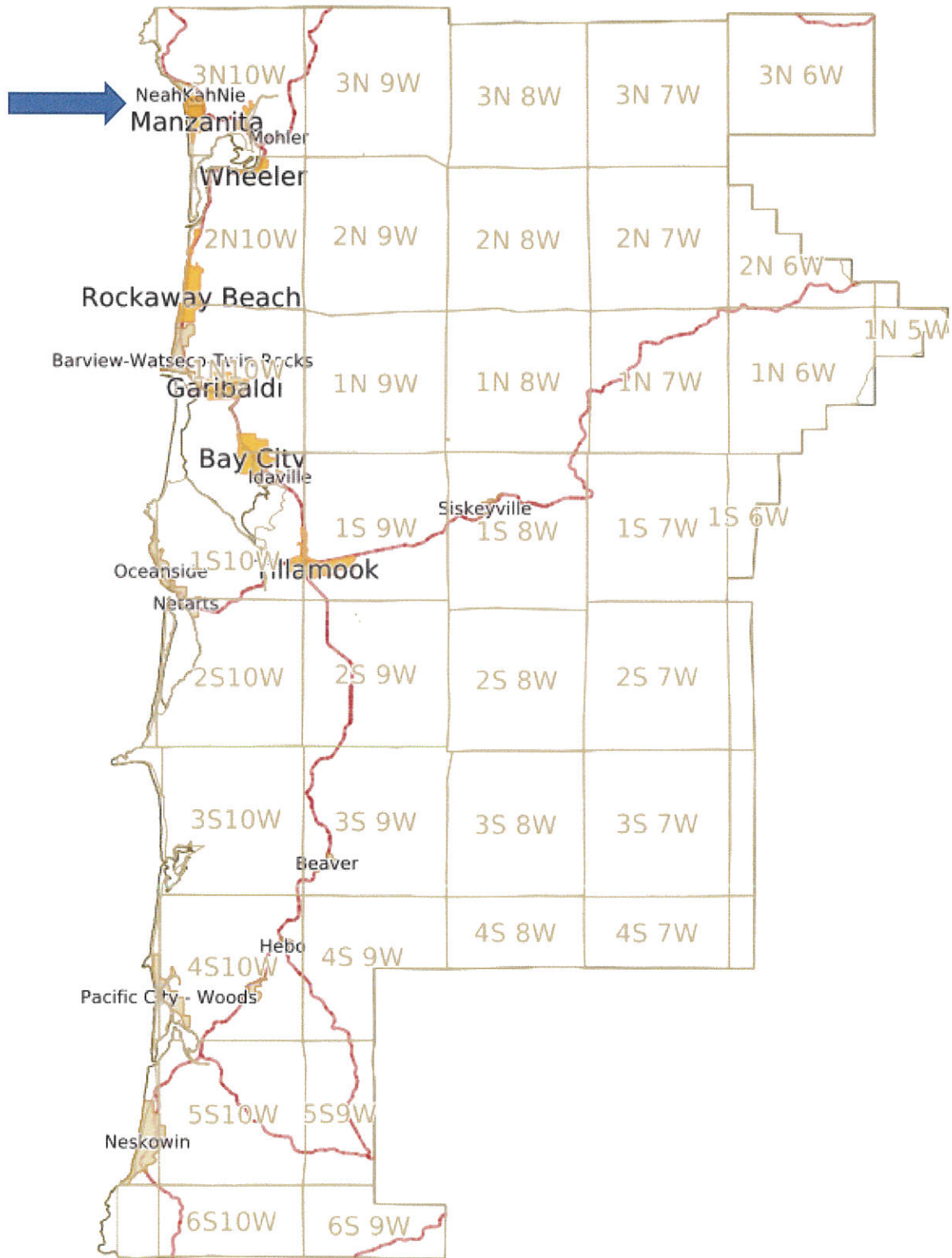

Sarah Absher, CFM, Director

REVIEW CRITERIA

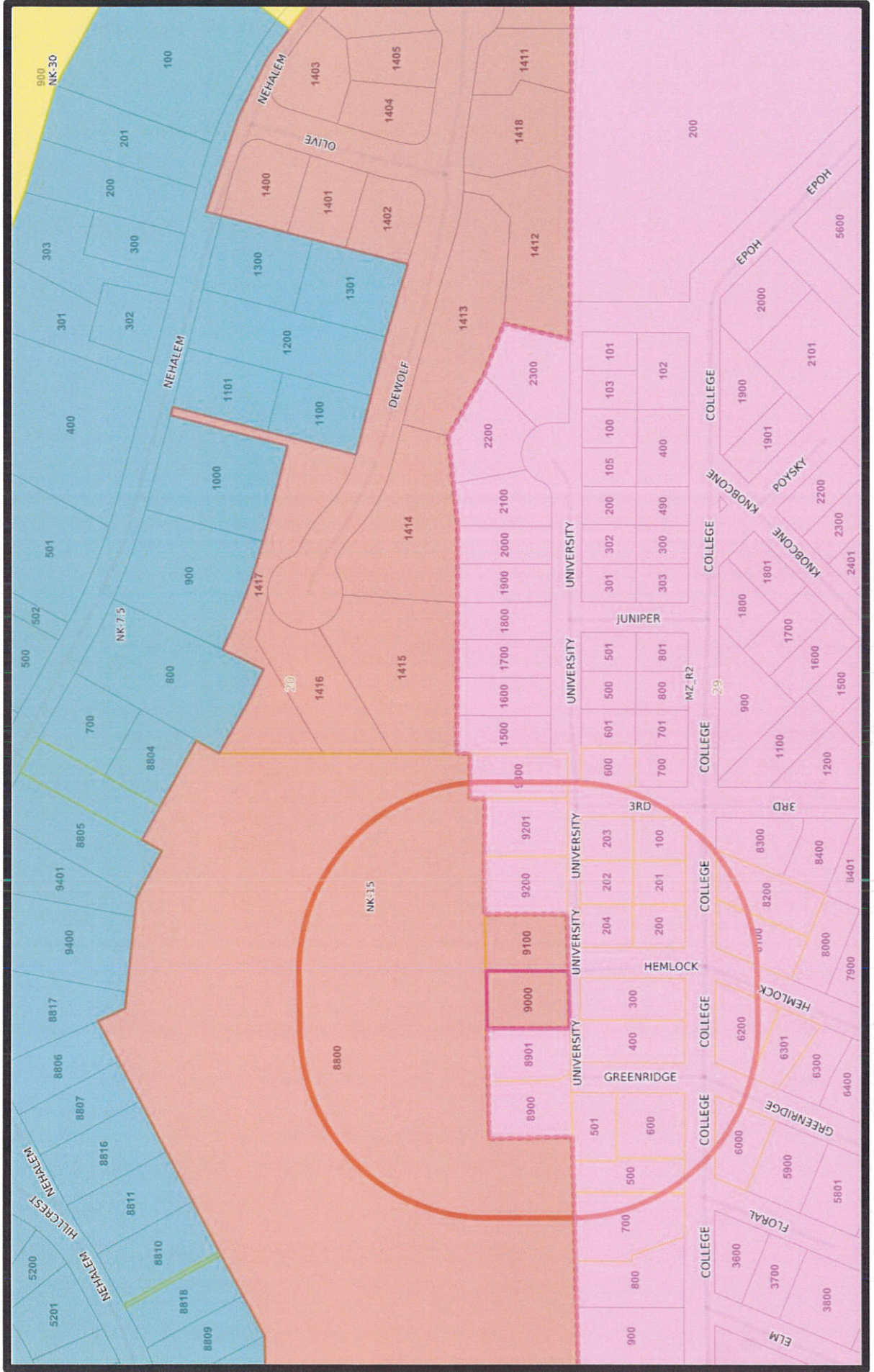
TCLUO SECTION 7.020: NONCONFORMING USES AND STRUCTURES

- (11) MINOR REVIEW: Application is made under the fee and procedures for a Type II Administrative Review and is reviewed using the following review criteria. A request may be permitted if:
- (a) The request will have no greater adverse impact on neighboring areas than the existing use or structure when the current zoning went into effect, considering:
 - i. A comparison of existing use or structure with the proposed change using the following factors:
 1. Noise, vibration, dust, odor, fumes, glare, or smoke detectable at the property line or off-site;
 2. Numbers and kinds of vehicular trips to the site;
 3. Amount and nature of outside storage, loading and parking;
 4. Visual impact;
 5. Hours of operation;
 6. Effect on existing vegetation;
 7. Effect on water drainage and water quality;
 8. Service or other benefit to the use or structure provides to the area; and
 9. Other factors relating to conflicts or incompatibility with the character or needs of the area.
 - ii. The character and history of the use and of development in the surrounding area.
 - (b) The request shall maintain a minimum separation of six feet between structures, and comply with the clear vision area of Section 4.010.

AREA MAP



Map





PLANNING APPLICATION

OFFICE USE ONLY	
Date Stamp	RECEIVED
	AUG 24 2021
	BY: <u>Counter</u>
<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Received by: <u>MT</u>	
Receipt #: <u>121723</u>	
Fees: <u>843.00</u>	
Permit No: <u>851-21-000340-PLNG</u>	

Applicant (Check Box if Same as Property Owner)

Name: Robert & Vivian Weber Phone: 425.890.1418
 Address: 237 UNIVERSITY AVE
 City: MANZANITA State: OR Zip: 97130
 Email: Rweber1418@outlook.com

Property Owner

Name: Robert & Vivian Weber Phone: 425.890.1418
 Address: 333 11th place
 City: KIRKLAND State: WA Zip: 98033
 Email: rweber1418@outlook.com

MAILING

Request: EXTEND VERTICAL EXTENSION OF GARAGE, BRIZZUOLI,
LOWER LEVEL ADDITION Value = 178,882.95

- | | | |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>Type II</p> <ul style="list-style-type: none"> <input type="checkbox"/> Farm/Forest Review <input type="checkbox"/> Conditional Use Review <input type="checkbox"/> Variance <input type="checkbox"/> Exception to Resource or Riparian Setback <input checked="" type="checkbox"/> Nonconforming Review (Major or Minor) <input type="checkbox"/> Development Permit Review for Estuary Development <input type="checkbox"/> Non-farm dwelling in Farm Zone <input type="checkbox"/> Fore-dune Grading Permit Review <input type="checkbox"/> Neskowin Coastal Hazards Area | <p>Type III</p> <ul style="list-style-type: none"> <input type="checkbox"/> Appeal of Director's Decision <input type="checkbox"/> Extension of Time <input type="checkbox"/> Detailed Hazard Report <input type="checkbox"/> Conditional Use (As deemed by Director) <input type="checkbox"/> Ordinance Amendment <input type="checkbox"/> Map Amendment <input type="checkbox"/> Goal Exception | <p>Type IV</p> <ul style="list-style-type: none"> <input type="checkbox"/> Appeal of Planning Commission Decision <input type="checkbox"/> Ordinance Amendment <input type="checkbox"/> Large-Scale Zoning Map Amendment <input type="checkbox"/> Plan and/or Code Text Amendment |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

Location:

Site Address: 237 UNIVERSITY AVE, MANZANITA OR 97130
 Map Number: 3N1020CD09000 3N 10W 9000
Township Range Section Tax Lot(s)

Clerk's Instrument #: _____

Authorization

This permit application does not assure permit approval. The applicant and/or property owner shall be responsible for obtaining any other necessary federal, state, and local permits. The applicant verifies that the information submitted is complete, accurate, and consistent with other information submitted with this application.

	Vivian Weber	04 July 2021
Property Owner Signature (Required)		Date
	Robert Weber	04 July 2021
Applicant Signature		Date

ARTICLE VII: MINOR REVIEW CRITERIA- Weber, 237 University Ave, Manzanita

(11) MINOR REVIEW: Application is made under the fee and procedures for a Type TI Administrative Review and is reviewed using the following review criteria. A request may be permitted if:

- (a) The request will have no greater adverse impact on neighboring areas than the existing use or structure when the current zoning went into effect, considering:
1. A comparison of existing use or structure with the proposed change using the following factors:
 1. Noise, vibration, dust, odor, fumes, glare, or smoke detectable at the property line or off-site; **There is no change for any listed items.**
 2. Numbers and kinds of vehicular trips to the site; **There will be no change in vehicular use or trips.**
 3. Amount and nature of outside storage, loading and parking; **This project will result in no additional outside storage or loading. The existing parking will be upgraded so water drainage will flow away from the home rather than towards it.**
 4. Visual impact: **The look of the existing structure will be maintained. The garage walls will be taller but the exiting roof lines will be maintained. Very minimal visual impact.**
 5. Hours of operation; **No change**
 6. Effect on existing vegetation; **Minimal vegetation impact occurs onlu with the 165 sq ft outdoor deck addition.**
 7. Effect on water drainage and water quality; **This will be improved. We are adding a French drain along the entire south side of the existing house foundation wall. Currently there is significant rainwater runoff from the public road (Hemlock and University) that flow down the driveway and flood the garage on a continuing and regular basis. We will be installing additional driveway drainage to capture this water and redirect in a safe and appropriate manner.**
 8. Service or other benefit to the use or structure provides to the area; and **The building is an existing single-family residential structure and will remain the same.**
 9. Other factors relating to conflicts or incompatibility with the character or needs of the area. **No issues.**
 11. The character and history of the use and of development in the surrounding area. **The overall footprint of this house and garage will remain the same. The look and feel will remain the same. So, there is no impact to the character and history.**
- (b) The request shall maintain a minimum separation of six feet between structures and comply with the clear vision area of Section 4.010. **Compliance is maintained.**

The Department may require the applicant to submit a site survey or similar information to assist in making these determinations.

BASIS OF BEARING

THE LINE BETWEEN FOUND MONUMENTS (202) AND (203) BEARS SOUTH 88°41'31" WEST. THE RECORD VALUE FROM BOUNDARY SURVEY PERFORMED BY THIS FIRM IN OCTOBER, 2020.

NOTES

THIS MAP DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE SUBJECT PROPERTY AS DESCRIBED IN INSTRUMENT #2019-03068, TILLAMOOK COUNTY SURVEY RECORDS. FOR BOUNDARY INFORMATION, SEE THE BOUNDARY SURVEY PERFORMED BY THIS FIRM IN OCTOBER, 2020. THE PURPOSE OF THIS MAP IS TO SHOW SPOT ELEVATIONS AND TOPOGRAPHIC FEATURES ON THE PORTION THE SUBJECT PROPERTY SHOWN HEREON. NO LARGE CONIFEROUS TREES EXIST ON THE SUBJECT PROPERTY. THE FIELD WORK FOR THIS SURVEY WAS COMPLETED ON OCTOBER 19, 2020.

ELEVATION DATUM

ELEVATIONS ON THIS MAP ARE BASED UPON THE CENTERLINE INVERT ELEVATION OF MANHOLE 14+91.1, MAIN U, NEHALEM BAY WASTEWATER AGENCY ASBUILT PLANS. ELEVATION OF SAID INVERT = 134.60'.

BUILDING HEIGHT

PER TILLAMOOK COUNTY LAND USE ORDINANCE 11.030, GRADE IS DEFINED AS THE AVERAGE ELEVATION OF THE EXISTING GROUND AT THE CENTERS OF ALL WALLS OF A BUILDING. PER COUNTY PLANNING DEPARTMENT, WALLS MUST BE A MINIMUM OF 2' LONG TO FACTOR INTO THE AVERAGE. FOUR GROUND ELEVATIONS EACH WERE UTILIZED AS SHOWN BELOW TO CALCULATE GRADE FOR THE HOUSE AND GARAGE. THE 4 GROUND ELEVATIONS USED TO CALCULATE EACH GRADE ARE SHOWN BELOW.

HOUSE GRADE: $134.0' + 129.1' + 132.8' + 142.3' = 538.2' / 4 = 134.5'$

GARAGE GRADE: $135.5' + 133.1' + 138.5' + 142.4' = 549.5' / 4 = 137.4'$

PER TILLAMOOK COUNTY LAND USE ORDINANCE 11.030, BUILDING HEIGHT IS DEFINED AS THE VERTICAL DISTANCE OF A BUILDING MEASURED FROM GRADE TO THE HIGHEST POINT OF THE ROOF. THE SUBJECT PROPERTY IS LOCATED IN THE NE-15 ZONE. PER TILLAMOOK COUNTY LAND USE ORDINANCE 3.300 (4) G, THE MAXIMUM BUILDING HEIGHT SHALL BE 17 FEET WEST OF THE LINE SHOWN ON THE ZONING MAPS AND 24 FEET EAST OF THAT LINE. (THAT LINE IS APPROXIMATELY 500 FEET EAST OF THE BEACH ZONE LINE). THE SUBJECT PROPERTY IS LOCATED BEYOND 500' OF SAID BEACH ZONE LINE. THEREFORE, THE MAXIMUM BUILDING HEIGHT IS 24' ABOVE GRADE.

CURRENT HOUSE BUILDING HEIGHT = 157.8' (RIDGE) - 134.5' (GRADE) = 23.2'

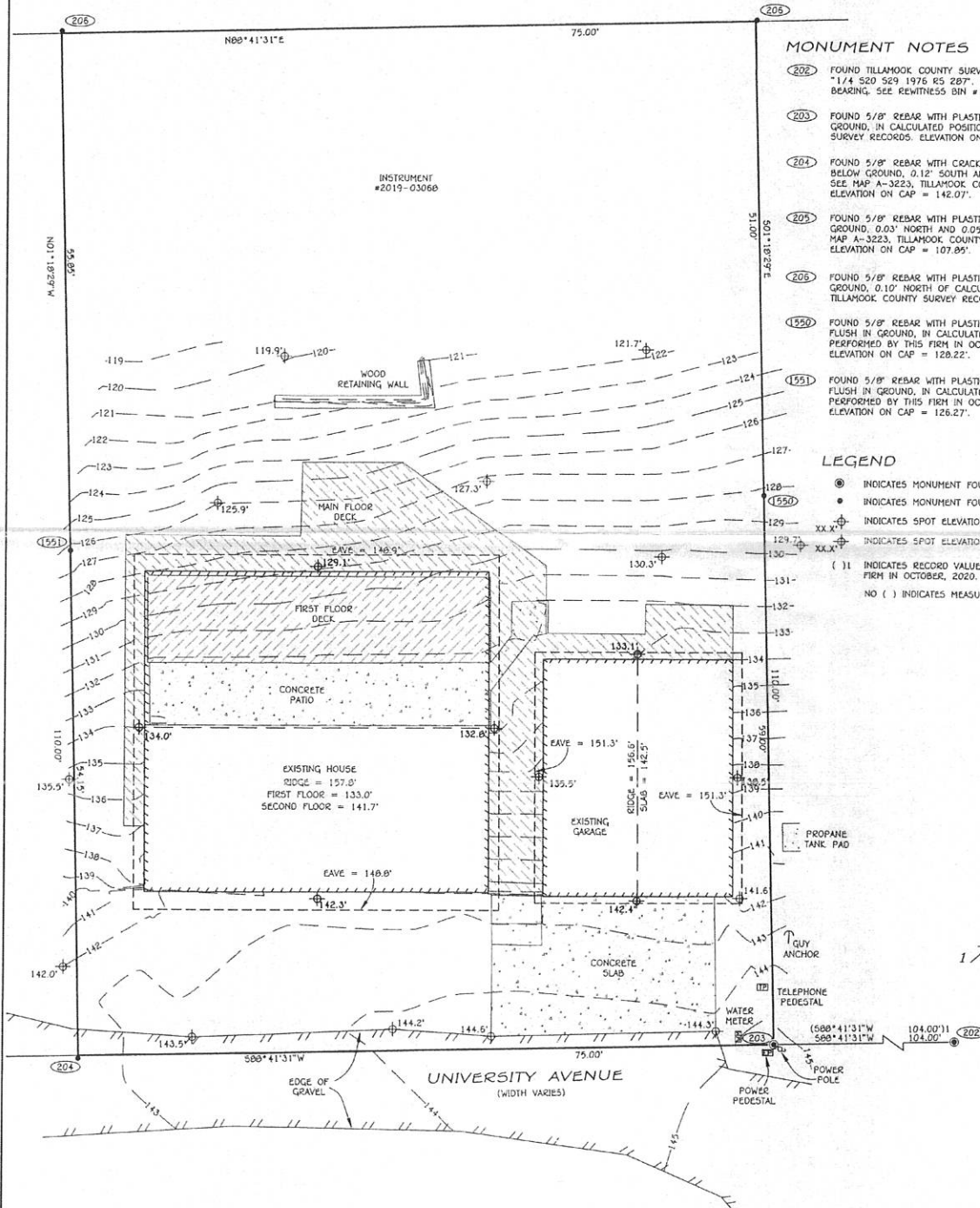
CURRENT GARAGE BUILDING HEIGHT = 156.6' (RIDGE) - 137.4' (GRADE) = 19.2'

MONUMENT NOTES

- (202) FOUND TILLAMOOK COUNTY SURVEYOR BRASS CAP IN CONCRETE STAMPED "1/4 S20 529 1976 R5 287". HELD FOR POSITION AND BASIS OF BEARING. SEE REWITNESS BIN #131, TILLAMOOK COUNTY SURVEY RECORDS.
- (203) FOUND 5/8" REBAR WITH PLASTIC CAP STAMPED "PE 3510" 0.2' BELOW GROUND, IN CALCULATED POSITION. SEE MAP A-3223, TILLAMOOK COUNTY SURVEY RECORDS. ELEVATION ON CAP = 145.40'.
- (204) FOUND 5/8" REBAR WITH CRACKED UNSEALABLE PLASTIC CAP 0.8' BELOW GROUND, 0.12' SOUTH AND 0.02' WEST OF CALCULATED POSITION. SEE MAP A-3223, TILLAMOOK COUNTY SURVEY RECORDS. ELEVATION ON CAP = 142.07'.
- (205) FOUND 5/8" REBAR WITH PLASTIC CAP STAMPED "PE 3510" 0.2' BELOW GROUND, 0.03' NORTH AND 0.05' EAST OF CALCULATED POSITION. SEE MAP A-3223, TILLAMOOK COUNTY SURVEY RECORDS. ELEVATION ON CAP = 107.85'.
- (206) FOUND 5/8" REBAR WITH PLASTIC CAP STAMPED "PE 3510" FLUSH IN GROUND, 0.10' NORTH OF CALCULATED POSITION. SEE MAP A-3223, TILLAMOOK COUNTY SURVEY RECORDS.
- (1550) FOUND 5/8" REBAR WITH PLASTIC CAP STAMPED "ONION PEAK DESIGN" FLUSH IN GROUND, IN CALCULATED POSITION. SEE BOUNDARY SURVEY PERFORMED BY THIS FIRM IN OCTOBER, 2020. ELEVATION ON CAP = 129.22'.
- (1551) FOUND 5/8" REBAR WITH PLASTIC CAP STAMPED "ONION PEAK DESIGN" FLUSH IN GROUND, IN CALCULATED POSITION. SEE BOUNDARY SURVEY PERFORMED BY THIS FIRM IN OCTOBER, 2020. ELEVATION ON CAP = 126.27'.

LEGEND

- INDICATES MONUMENT FOUND AS NOTED HEREON, HELD FOR CONTROL.
- INDICATES MONUMENT FOUND AS NOTED HEREON.
- XX.X' INDICATES SPOT ELEVATION.
- XX.X' INDICATES SPOT ELEVATION UTILIZED FOR GRADE CALCULATIONS.
- () INDICATES RECORD VALUE FROM BOUNDARY SURVEY PERFORMED BY THIS FIRM IN OCTOBER, 2020.
- NO () INDICATES MEASURED VALUE.



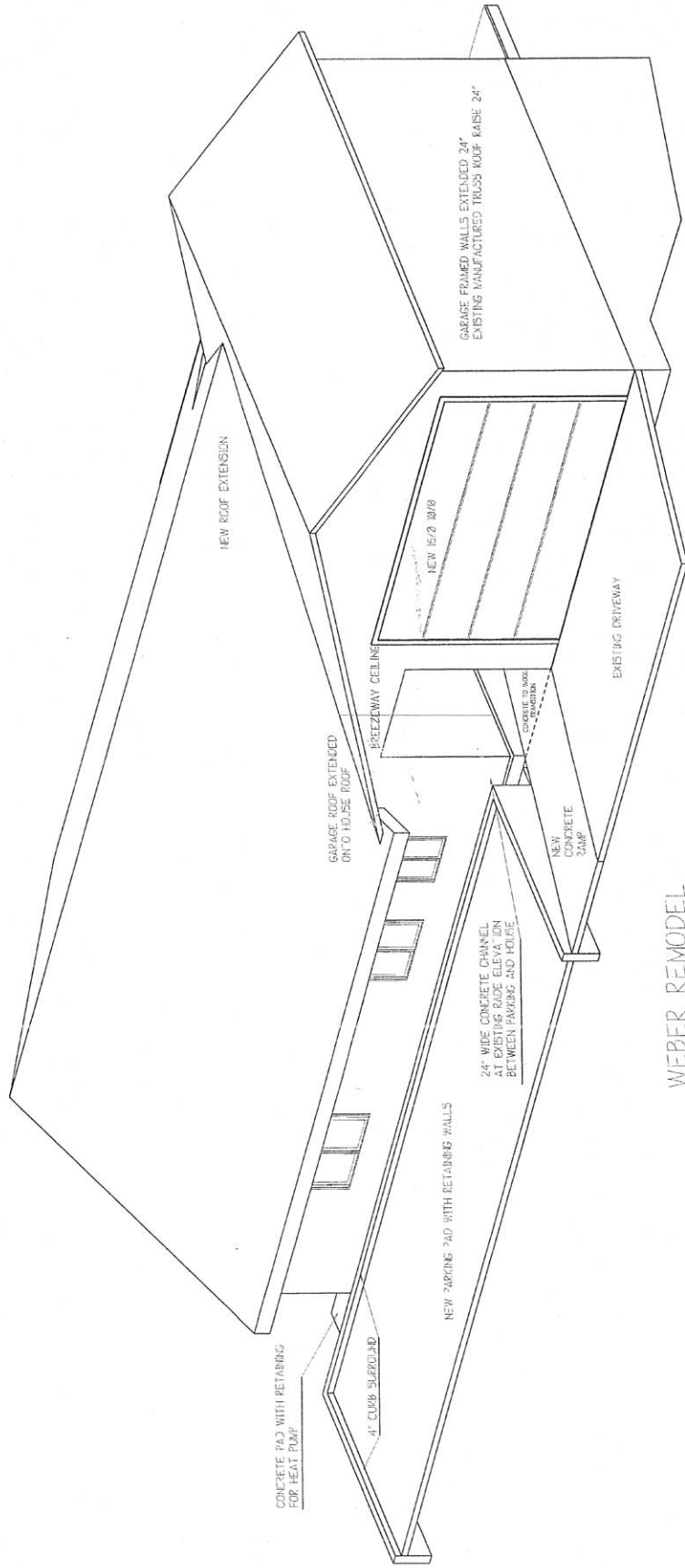
ONION PEAK DESIGN
 PO BOX 326
 NEHALEM, OR 97131
 (503) 368-6102
 FAX (503) 368-6102

TOPOGRAPHIC SURVEY FOR:
ROBERT M. & VIVIAN WEBER, TRUSTEES
WEBER MANZANITA TRUST

A TRACT OF LAND AS DESCRIBED IN
 INSTRUMENT #2019-03068,
 TILLAMOOK COUNTY DEED RECORDS.
 SE 1/4, SW 1/4, SECTION 20, T3N, R10W, W.M.
 TILLAMOOK COUNTY
 NOVEMBER 12, 2020

REGISTERED
 PROFESSIONAL
 LAND SURVEYOR
Erick M. White
 OREGON
 APRIL 28, 2014
 ERICK M. WHITE
 78572
 RENEWS 6/30/2022

NEBES #A2020
 WEBER2011-10WG



NEW ROOF EXTENSION

GARAGE FRAMED WALLS EXTENDED 24"
EXISTING MANUFACTURED TRUSS ROOF KAISE 24"

NEW 15/20 30/30

EXISTING DRIVEWAY

GARAGE ROOF EXTENDED
ON TO HOUSE ROOF

BREEZEWAY CEILING

CONCRETE RAMP

NEW
CONCRETE
RAMP

24" WIDE CONCRETE CHANNEL
AT EXISTING RADE ELEVATION
BETWEEN PARKING AND HOUSE

NEW PARKING PAD WITH RETAINING WALLS

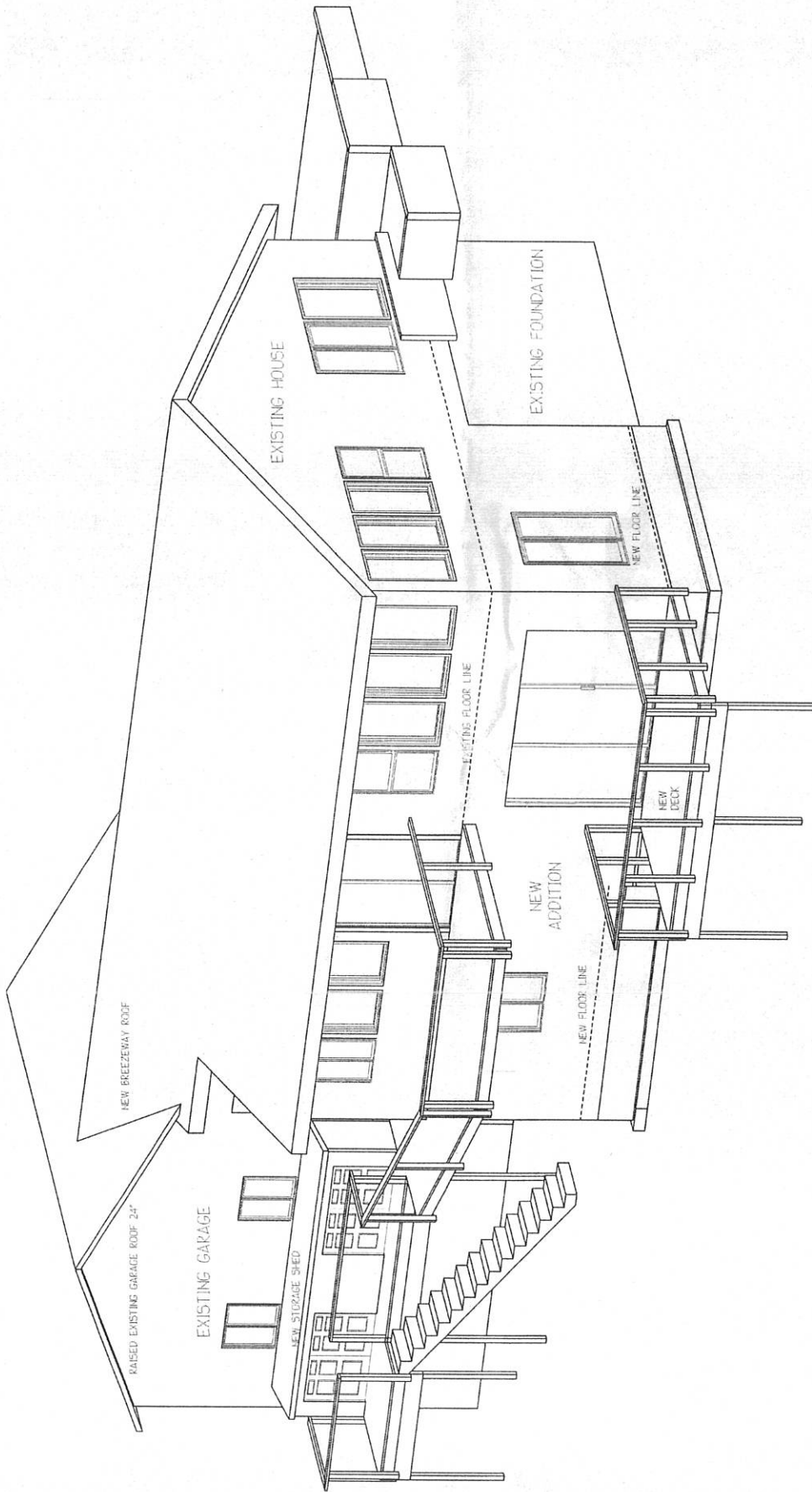
CONCRETE PAD WITH RETAINING
FOR HEAT PUMP

4" CURB SURROUND

WEBER REMODEL
1/4"=1' RD 7/12/21

CLIENT: WEBER
OWNER: WEBER

JCS AND DESIGN
DANA@JCSANDDESIGN.COM
503.314.6633

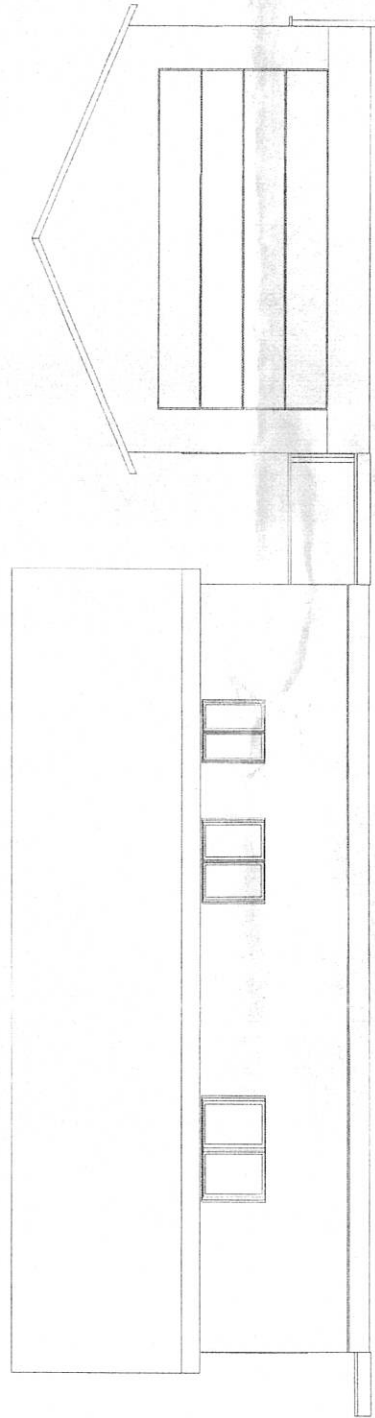


WEBER BACK RIGHT VIEW

1/4"=1' RD 8/17/21

CLIENT: WEBER
OWNER: WEBER

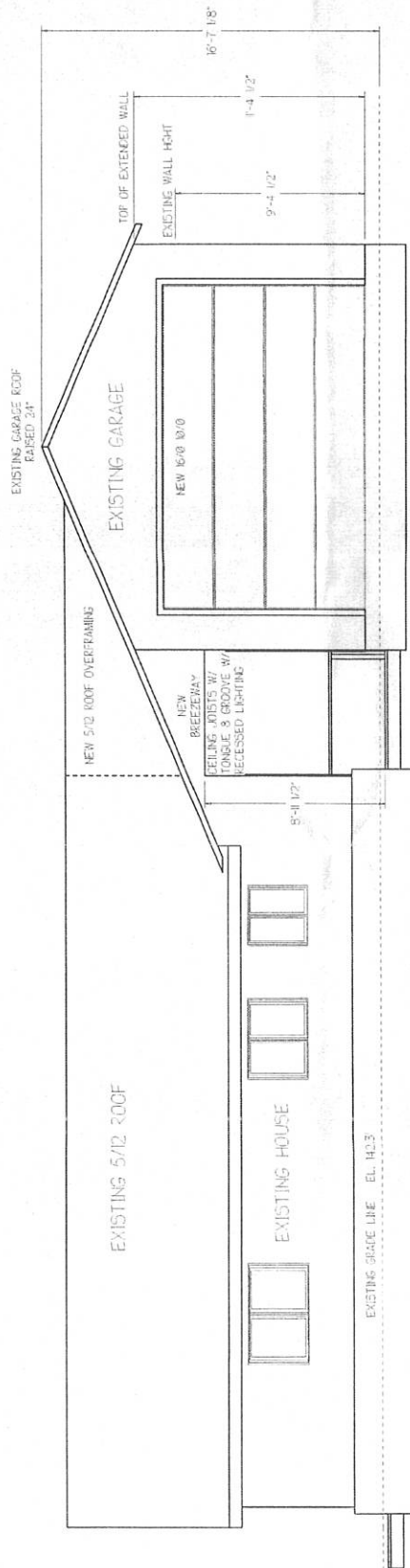
OCB AND DESIGN
DANAYES@OCBMAIL.COM
503-344-0635



EXISTING ROOFS
1/4"=1' RD 8/17/21

OCB AND DESIGN
DANWEBER@GMAIL.COM
505-316-0653

CLIENT: WEBER
OWNER: WEBER



ALL DIMENSIONS ARE MEASURED TO ROUGH FINISHES. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

EXISTING 5/12 ROOF

EXISTING GARAGE

EXISTING GARAGE ROOF RAISED 24'

NEW 5/12 ROOF OVERFRAMING

TOP OF EXTENDED WALL

EXISTING WALL HIGHT

NEW 16'0" W/O

NEW BREEZEWAY

CEILING JOISTS W/ TONGUE & GROOVE W/ RECESSED LIGHTING

EXISTING HOUSE

EXISTING BRICK LIME PL. 14.3

8'-11 1/2"

9'-4 1/2"

1'-4 1/2"

16'-7 1/8"

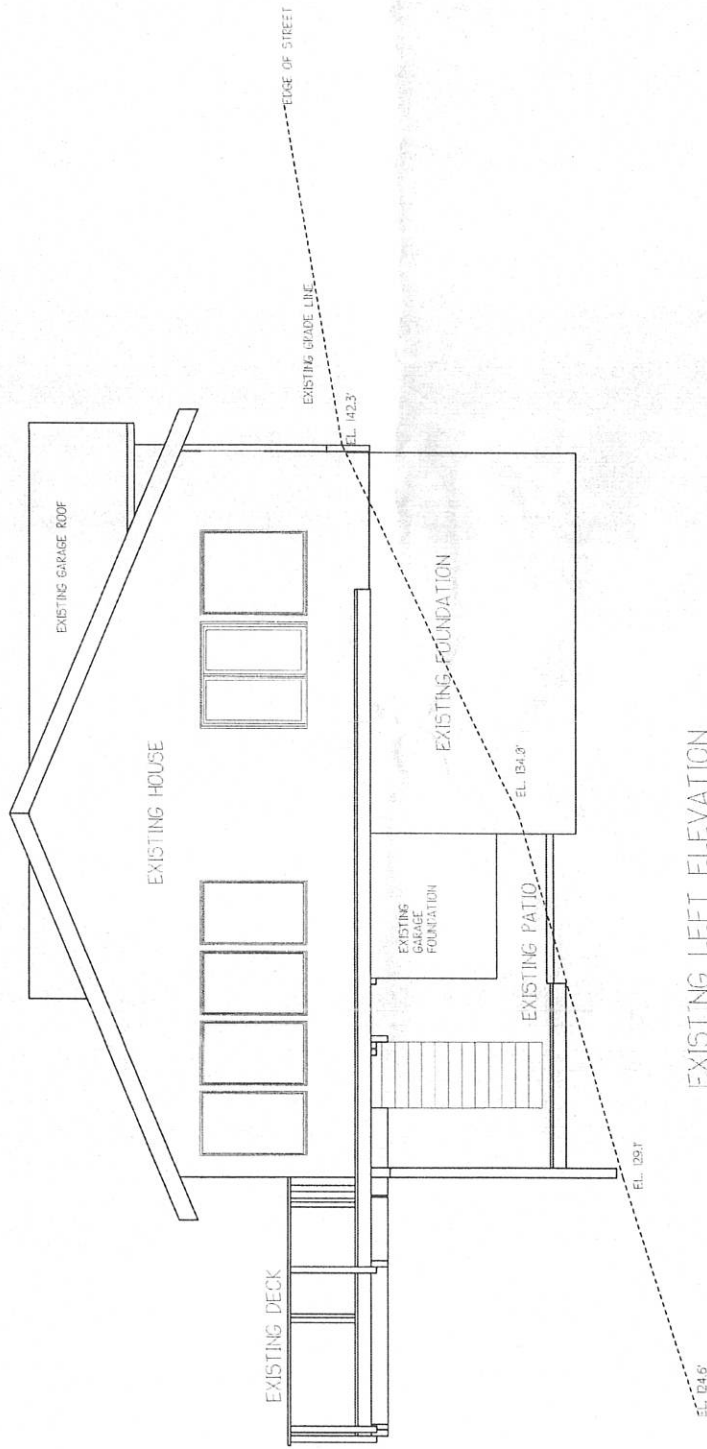
HEIGHT CALC:

HOUSE FRONT	- 16'-7 7/8"
GARAGE FRONT	- 16'-7 1/8"
HOUSE BACK	- 29'-6"
GARAGE BACK	- 25'-6"
LEFT	- 24'-10 3/4"
RIGHT	- 20'-1 3/16"
TOTAL	- 133'-2 3/16"
AVERAGE	- 22'-2 3/8"

CLIENT: WEBER
OWNER: WEBER

FRONT ELEVATION
1/4"=1' RD 8/17/21

OCB AND DESIGN
DANAVER5023@GMAIL.COM
503-314-0653

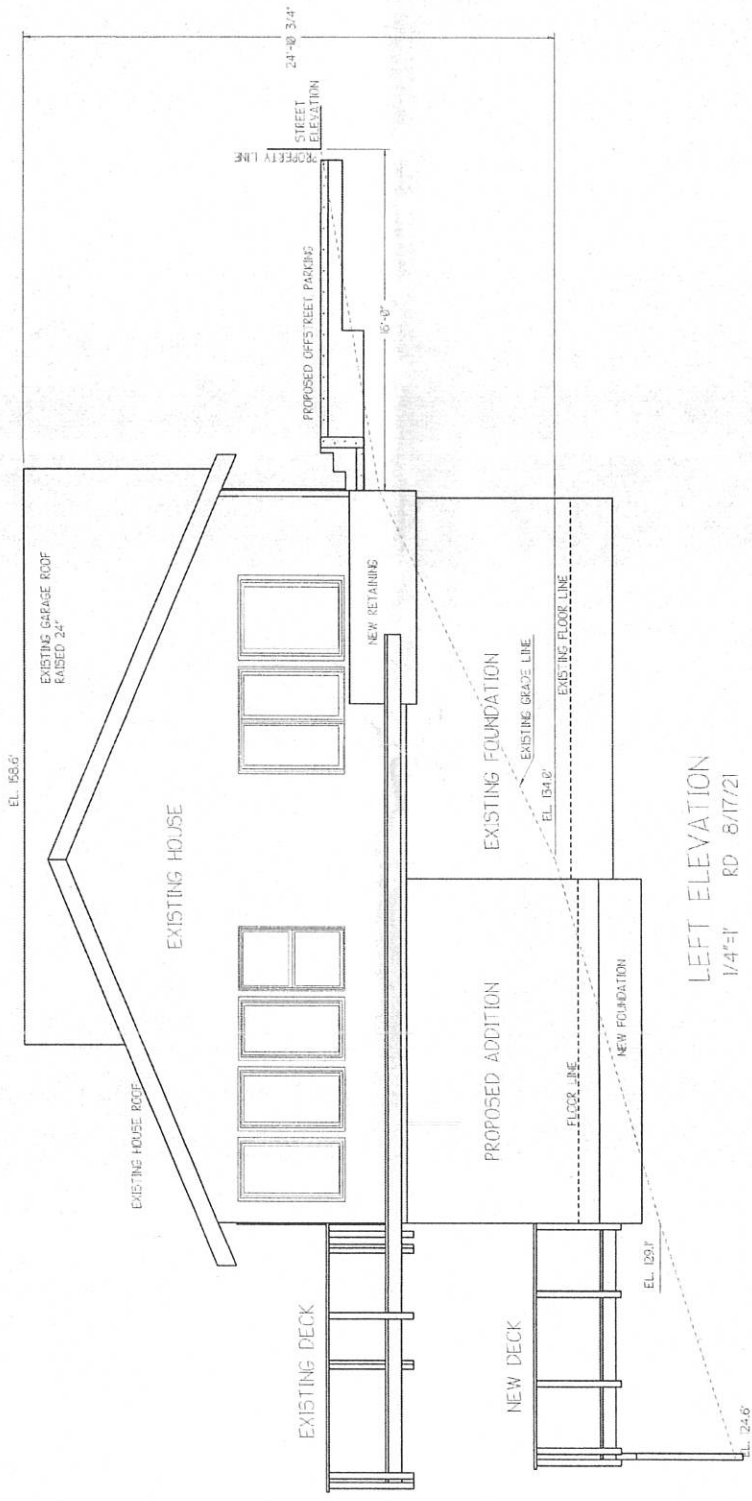


EXISTING LEFT ELEVATION

1/4"=1' RD 6/17/21

CLIENT: WEBER
OWNER: WEBER

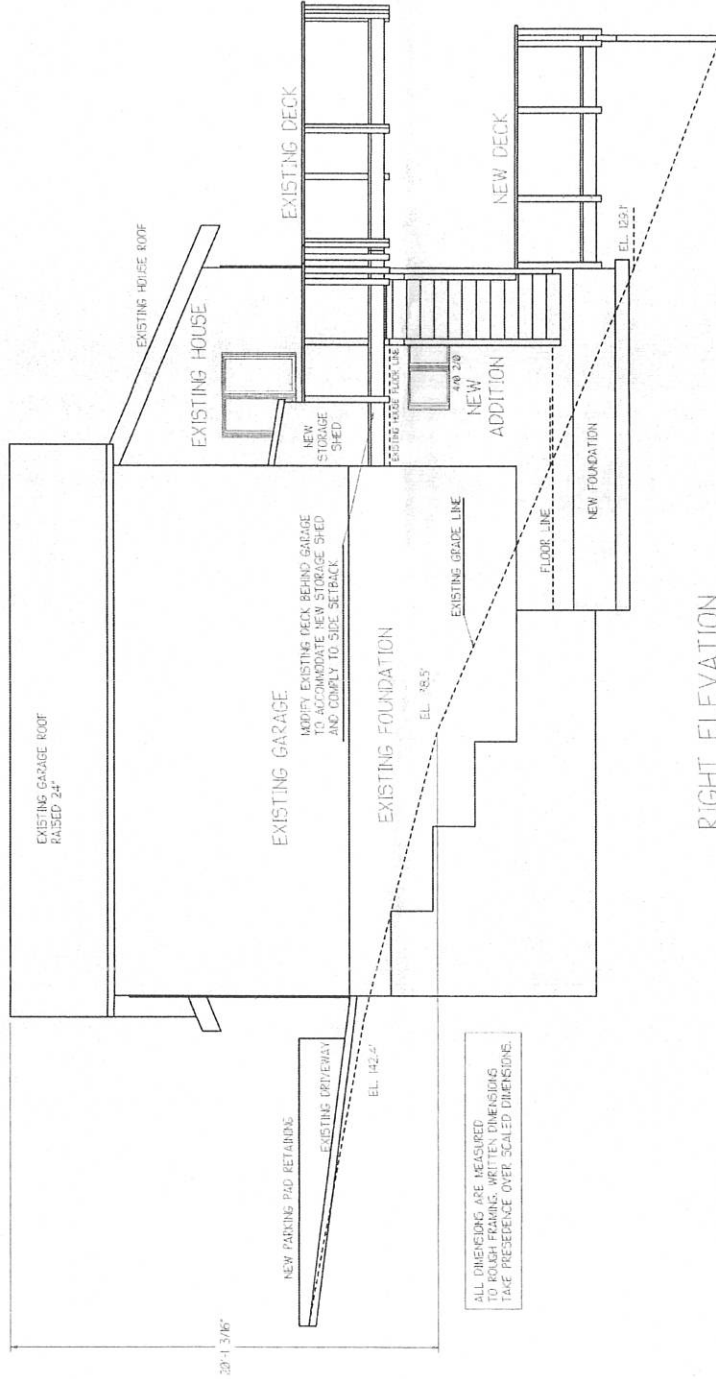
OCB AND DESIGN
DAN@OCBDESIGN.COM
503-314-0653



LEFT ELEVATION
1/4"=1' RD 8/17/21

CLIENT: WEBER
OWNER: WEBER

OCB AND DESIGN
DANAYE@OCBANDDESIGN.COM
503-314-0653



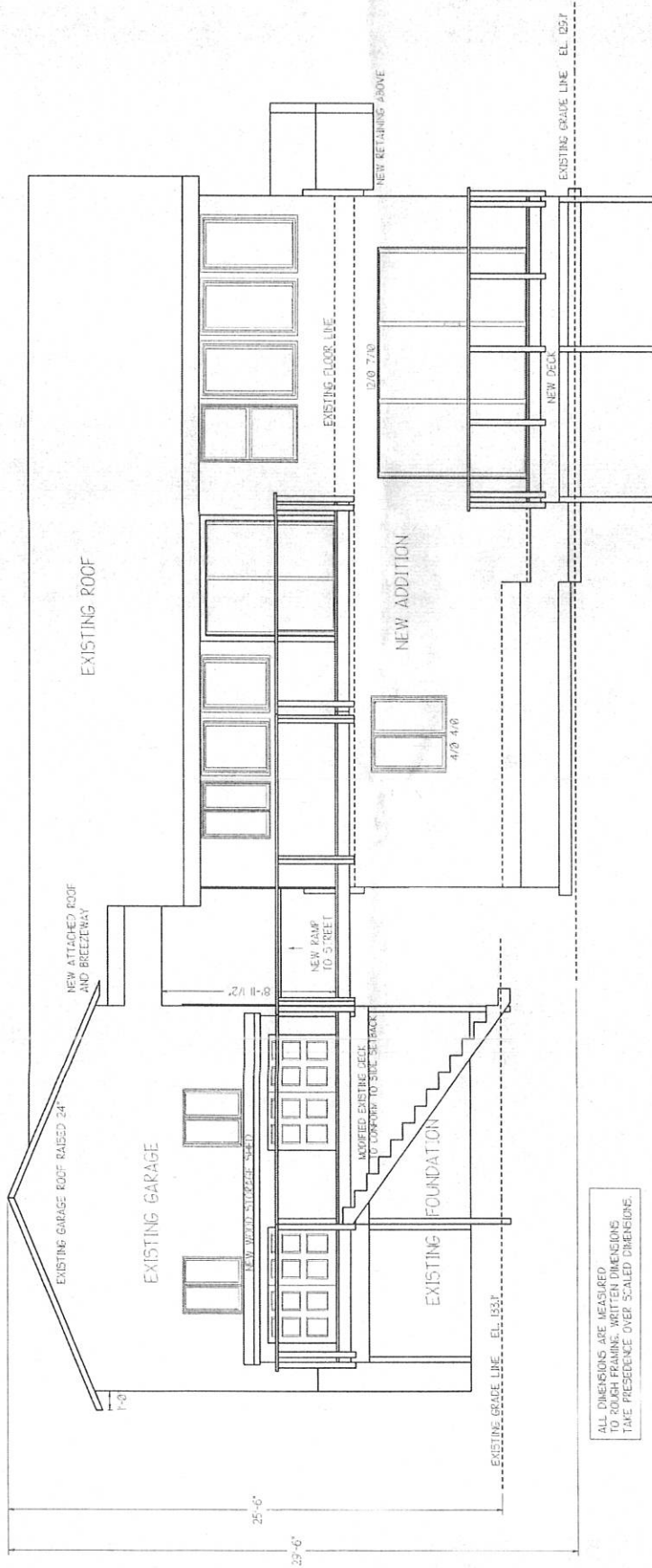
ALL DIMENSIONS ARE MEASURED TO ROUGH FRAMING. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

RIGHT ELEVATION

1/4"=1' RD 8/17/21

CLIENT: WEBER
OWNER: WEBER

OUR AND DESIGN
DANAYENSOZ@GMAIL.COM
503-344-0653



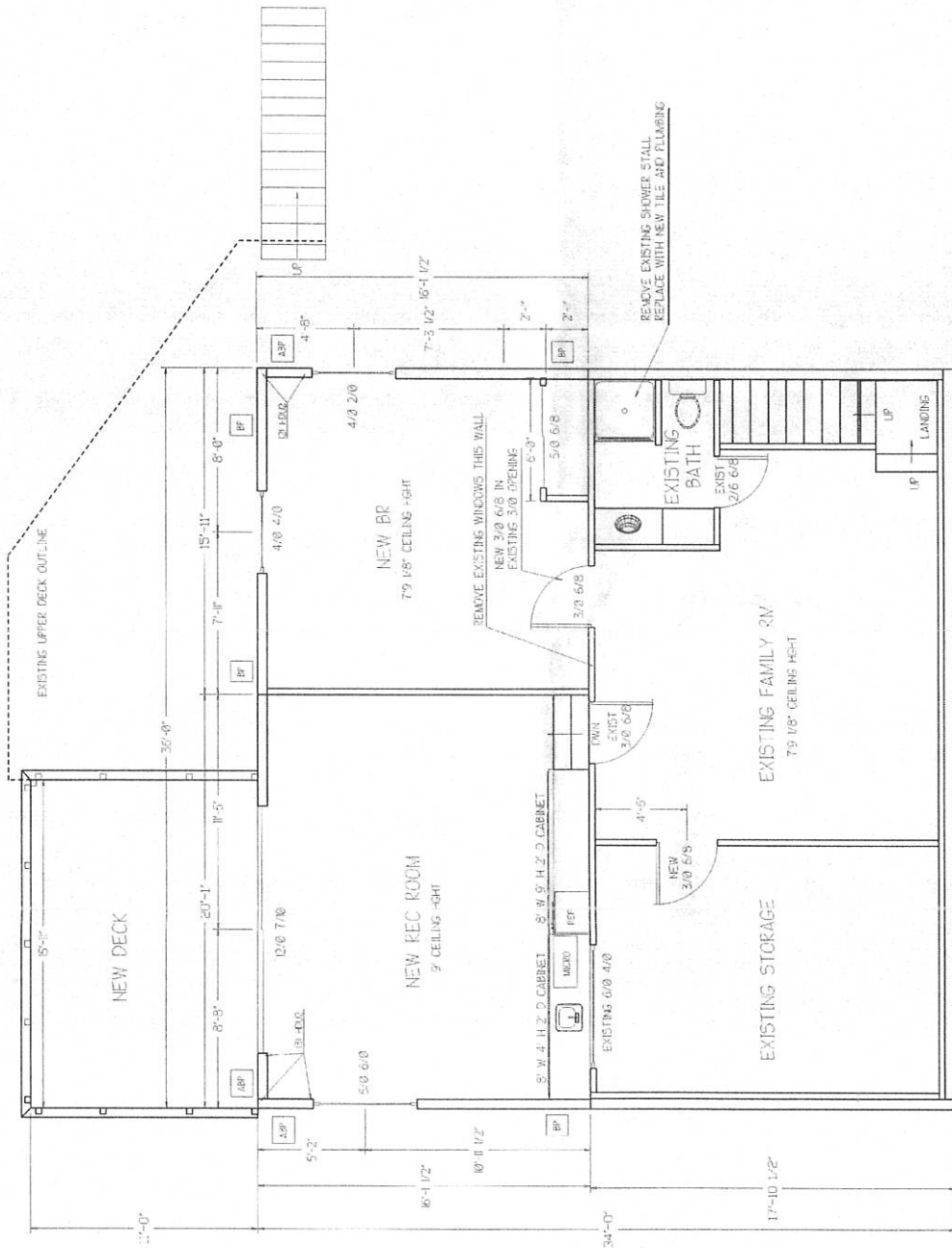
BACK ELEVATION

1/4"=1' RD 8/17/21

CLIENT: WEBER
OWNER: WEBER

DC3 AND DESIGN
DANA@DC3D.COM
803-518-8625

ALL DIMENSIONS ARE MEASURED TO ROUGH FRAMING. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.



ALL DIMENSIONS ARE MEASURED TO ROUGH FRAMING. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

ADDITION - 580 SQ FT
DECK - 175 SQ FT

LOWER FLOOR PLAN

1/4"=1' RD 7/25/21

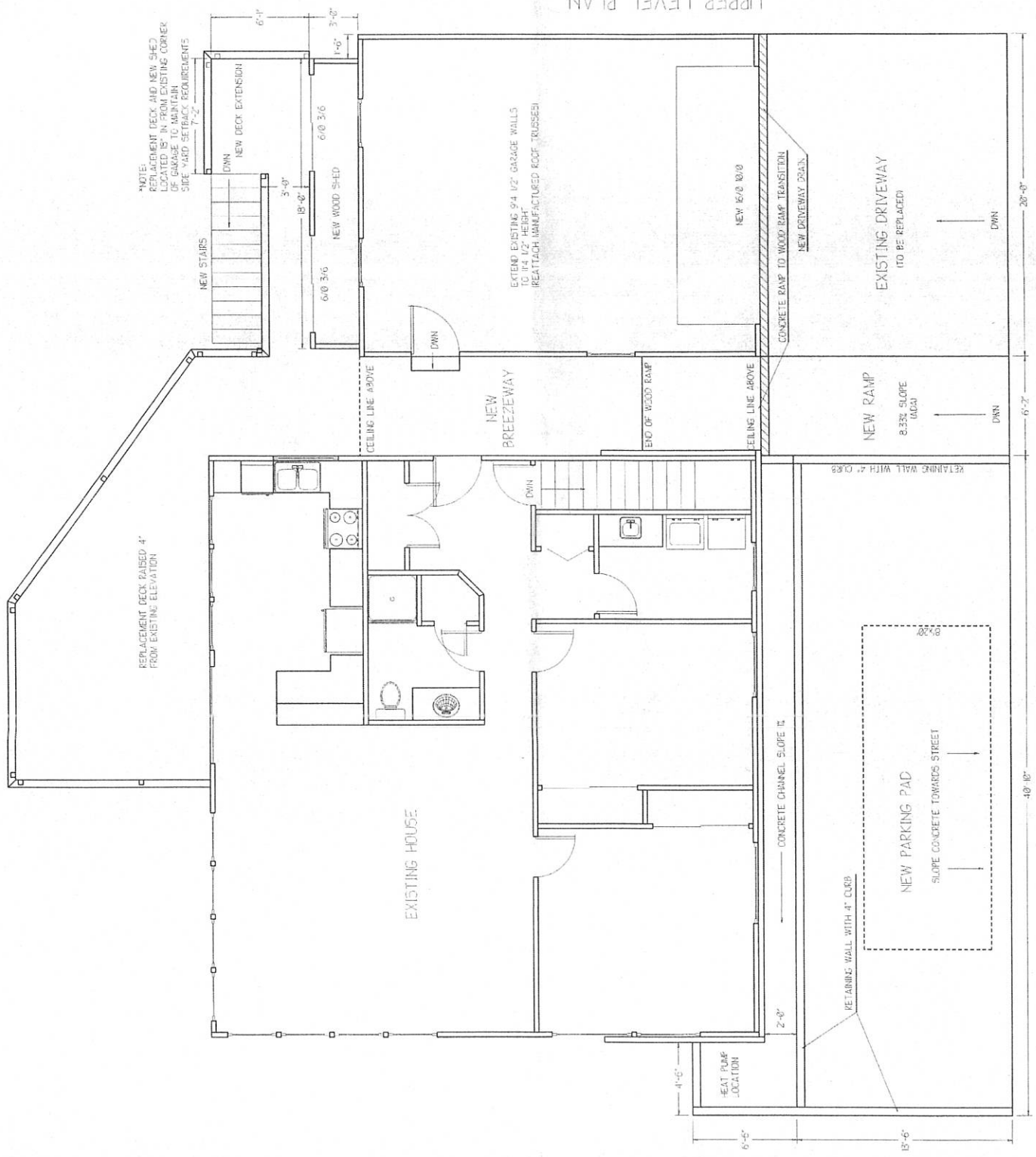
CLIENT: WEBER
OWNER: WEBER

DCB AND DESIGN
DAN@DCBDESIGN.COM
303-314-8863

OC3 AND DESIGN
 505-314-0653
 DAVE@OC3ANDDESIGN.COM

CLIENT: WEBER
 OWNER: WEBER

UPPER LEVEL PLAN
 1/4"=1' RD 7/26/21



*NOTE: REPLACEMENT DECK AND NEW SHED
 OPERATED BY THE EXISTING CORNER
 OF THE HOUSE. SEE ARCHITECTURAL
 SIDE YARD SETBACK REQUIREMENTS

REPLACEMENT DECK RAISED 4"
 FROM EXISTING ELEVATION

EXTEND EXISTING 6/4 1/2" GARAGE WALLS
 RE-ATTACH MANUFACTURED ROOF (TRUSSES)

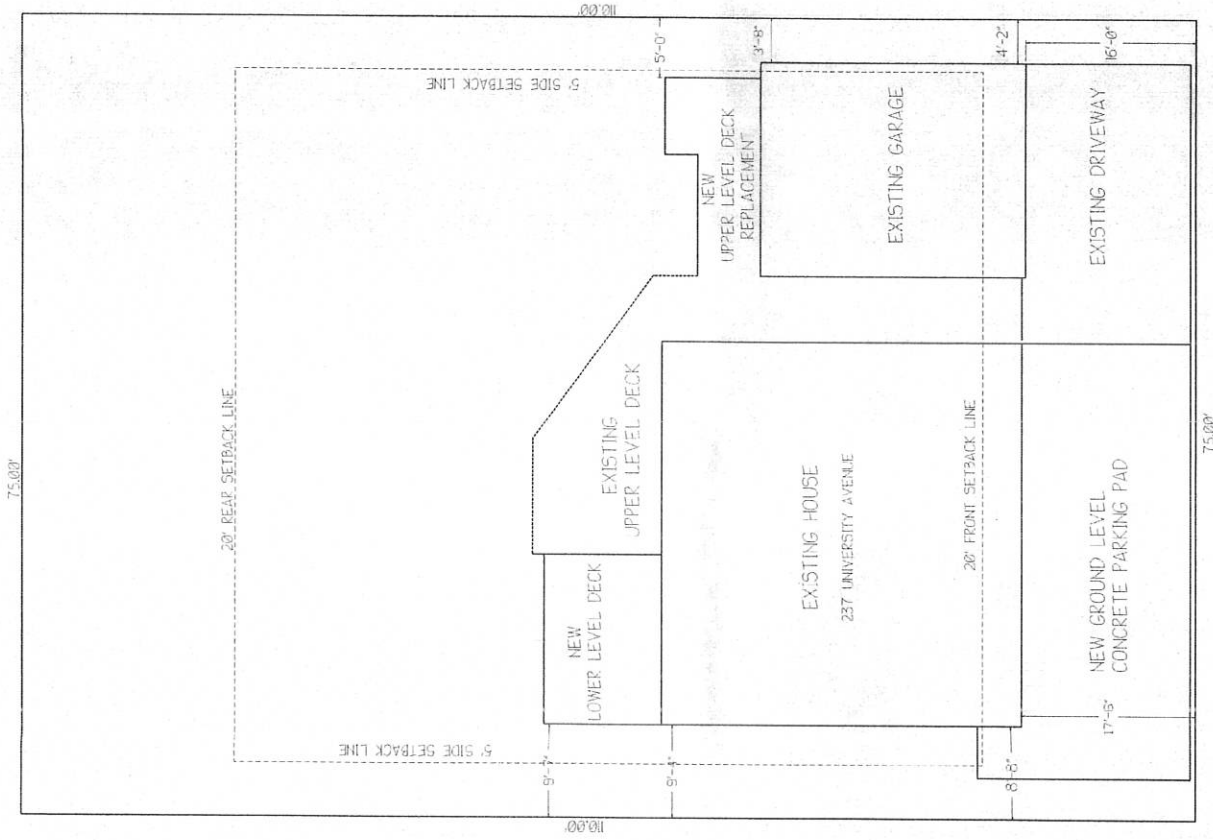
NEW RAMP
 8.33% SLOPE
 (0.03)

EXISTING DRIVEWAY
 TO BE REPLACED

NEW PARKING PAD
 SLOPE CONCRETE TOWARDS STREET

ALL DIMENSIONS ARE MEASURED
 TO CENTERLINES UNLESS OTHERWISE
 WRITTEN. DIMENSIONS
 TAKE PRECEDENCE OVER SCALED DIMENSIONS.

UNIVERSITY AVE.



249 UNIVERSITY AVENUE

20' TO PROPERTY LINE

235 UNIVERSITY AVENUE

14' TO PROPERTY LINE

UNIVERSITY AVENUE

SITE PLAN

1/8"=1' RD 8/17/21

CLIENT: WEBER
OWNER: WEBER

OCB AND DESIGN
DANVERS023@GMAIL.COM
503 34 0253