



Land of Cheese, Trees and Ocean Breeze

**VARIANCE REQUEST #851-22-000139-PLNG
WARREN**

STAFF REPORT

Decision: APPROVED

Staff Report Date: September 6, 2022

Report Prepared By: Sarah Absher, CFM, Director

I. GENERAL INFORMATION:

Request: Variance request to reduce the required 30-foot front and rear yard combination setback to a (zero) 0-foot front yard setback and to further reduce the 50% lot coverage allowance for the construction of new stairs to provide egress to the existing single-family dwelling. *The new stairs will be located 4-feet into Aster Street road right-of-way and inside of the retaining wall as approved by the Tillamook County Public Works Department (Permit #5563). The retaining wall was replaced in 2021.* (Exhibit B).

Location: Located in the Unincorporated Community of Oceanside at 5480 Aster Street, a County road, zoned Residential Oceanside Zone (ROS) and designated as Tax Lot 2500 of Section 30BC, Township 1 South, Range 10 West, W.M., Tillamook County, Oregon.

Zone: Residential Oceanside Zone (ROS).

Applicant &

Property Owner: Terri Warren, 8477 SW 69th Place, Portland, OR 97223

Property & Vicinity Description: The subject property is 0.07 acres in size (approximately 3,049 square feet); is landscaped and covered with grass; is irregular in shape and developed with a single-family dwelling (Exhibits A & B). Topography of the site is sloped and benched with retaining wall structures, and generally slopes in a downward direction to the west, towards Tillamook Avenue. The subject property is bordered by residential properties to the north, west and east, and Aster Street, a County road, to the south (Exhibit A).

County records indicate the single-family dwelling was constructed in 1968 (Exhibit A). Tillamook County Public Works issued an encroachment permit (#5563) for the retaining wall in August 2020 (Exhibit B & C).

In addition to reconstructing the retaining wall as permitted under Tillamook County Public Works encroachment permit (#5563), Applicant desires to address two additional safety hazards- rebuilding and reconfiguring the existing stairway so that a landing can be built in front of the entry door to the dwelling and creating an egress path between the stairway and dwelling for emergency access to an existing bedroom located on the bottom floor. Applicant also plans to then replace the existing bedroom window with a new window that meets bedroom ingress/egress requirements. Applicant explains the stairway must be moved at least two feet from the house to provide an egress path for the new window (Exhibit B). Reconstruction of the retaining wall was completed in June of 2021 (Exhibit B).

County records indicate the dwelling footprint is located on the southerly property line along Aster Street and does not meet the front yard setback requirement of the Residential Oceanside (ROS) zone (Exhibit D). Due to the location of the dwelling building footprint, Variance approval is required for construction and reconfiguration of the stairway (Exhibit B).

The subject property is located within an area of residential properties also zoned Residential Oceanside (ROS) to the north, south, east and west that are also developed with single-family dwellings. Properties zoned Commercial Oceanside (COS) are located further to the west and include eating and drink establishments. Oceanside State Beach Park and other recreational amenities are also in this vicinity and are zoned Park Oceanside (POS) (Exhibit A).

There are no known wetland or riparian features identified on the subject property. The subject property is located outside of the Tsunami Hazard Overlay zone and the Flood Hazard Overlay zone per FEMA Flood Insurance Rate Map (FIRM) Panel #41057C0555F dated September 28, 2018 (Exhibit A). The subject property is within an area of known geologic hazard and within the Beach and Dune Overlay (BD) zone.

Development within areas of geologic hazard and the Beach and Dune Overlay zone is subject to applicable development standards outlined in TCLUO Section 4.130: Development Requirements for Geologic Hazard Areas and Section 3.530: Beach and Dune Overlay zone, respectively. Due to the scope of the project, reconstruction of the stairway is exempt from the requirement of a geologic hazard assessment review and a Dune Area Development Permit.

Public facilities and services in the area include the Oceanside Water District, Netarts-Oceanside Sanitary District and the Netarts-Oceanside Fire District.

II. APPLICABLE ORDINANCE AND COMPREHENSIVE PLAN PROVISIONS:

The desired use is governed through the following Sections of the Tillamook County Land Use Ordinance (TCLUO). The suitability of the proposed use, in light of these criteria, is discussed in Section III of this report:

- A. Section 3.310: Residential Oceanside (ROS) Zone
- B. Article VIII: Variance Procedure and Criteria

III. ANALYSIS:

A. Section 3.310: Residential (ROS) Zone

PURPOSE: The purpose of the ROS zone is to designate areas for low-density one and two-family residential development and other, compatible, uses. Suitability of land for low-density uses is

determined by the availability of public sewer services, and limitations to density such as geologic and flood hazards, shoreline erosion, and the aesthetic or resource values of nearby natural features. Where any provision of the ROS zone imposes a restriction on the use of land greater than is provided by other ordinance provisions, then the ROS zone shall prevail.

1. **Section 3.310 (2) Uses Permitted Outright**

(a) *Single-family dwelling*

2. **Section 3.310(4) Standards**

...

(d) *The minimum front yard setback shall be 20 feet.*

...

(i) *Structures shall not occupy more than 50% of the lot area.*

Findings: The Applicant is seeking relief through the Variance process to reduce the front yard setback along the southerly property line to 0-feet to replace and reconfigure the existing stairway. Applicant states that the existing stairway does not meet building code requirements. Applicant also desires to replace an existing window of a bedroom to a window that is large enough to meet ingress/egress fire and life safety requirements (Exhibit B). Replacement of the window and current building code requirements necessitate reconfiguration of the stairway (Exhibit B).

Staff finds Variance approval is required to permit the new stairway configuration (Exhibit B).

B. Article VIII: Variance Procedure and Criteria; including Section 4.005 Residential and Commercial Zone Standards

The purpose of a VARIANCE is to provide relief when a strict application of the dimensional requirements for lots or structures would cause an undue or unnecessary hardship by rendering the parcel incapable of reasonable economic use. No VARIANCE shall be granted to allow a use of property not authorized by this Ordinance.

Article VIII of the Tillamook County Land Use Ordinance governs the applications of Variances within the County. Section 4.005 lists the purposes of the land use standards in each of the residential and commercial zones.

1. **Section 8.020** requires public notice in accordance with TCLUO Section 10.070 which requires notification of the request to be published in a newspaper of local distribution and mailed to landowners within 250 feet of the subject property.

Findings: Notice of Variance request #851-22-000139-PLNG was mailed to property owners within 250-feet and affected agencies on May 23, 2022. Public comments received to date are included as “Exhibit C”. Comments are summarized below and are addressed in this report:

- Concern of traffic and proximity to County Road Right-of-Ways.
- Stairway does not need to be reconfigured.
- Concern that stairway will impede views.
- Question of valid need for Variance.
 - Reconfiguration of stairway and window modification are preferred but not necessary.
 - This is a self-created issue.
 - Applicant fails to demonstrate there are no reasonable alternatives.

2. **Section 8.030** states that a Variance may be authorized if the applicants/property owners adequately demonstrate that the proposed use satisfies all relevant requirements, including all four review criteria in Section 8.030. These criteria, including Section 4.005 Residential and Commercial Zone Standards, along with Staff's findings and conclusions are indicated below:

(1) Circumstances attributable either to the dimensional, topographical, or hazardous characteristics of legally existing lot, or to the placement of structures thereupon, would effectively preclude the enjoyment of a substantial property right enjoyed by the majority of landowners in the vicinity, if all applicable standards were to be met. Such circumstances may not be self-created.

Findings: Applicant states the placement of the existing stairway creates a hazardous condition for the following reasons: absence of a landing at the top of the stairs creates safety issues when entering and exiting the dwelling due to lack of a landing and the current placement of the stairway blocks the ability to provide access to the window of one of the existing bedrooms (Exhibit B). Applicant explains that relocation and alteration of the stairway to include a landing at the top of the stairway creates a space in between the stairway and the building footprint affording access to the existing bedroom (Exhibit B). Relocation of the stairway also allows the Applicant to replace the existing bedroom window with a window that meet building code dimensions for bedroom ingress and egress (Exhibit B).

The subject property, like many properties in this vicinity, do not meet lot coverage and front yard setback standards due to small lot sizes and dimensional constraints. Development of residential structures with stairways and other accessory appurtenances (i.e. deck) is the primary outright allowed use in the ROS zone. Staff finds there are a significant portion of properties in the vicinity improved with structures resulting in little or no front yard setback with retaining walls, stairways and decks as common appurtenances encroaching into front yard setbacks and into County road right of way (Exhibit A).

Staff also finds that given the location of the existing building footprint of the dwelling, replacement and alteration of the stairway could not be constructed in a manner to meet the ROS zone 20-foot front yard setback requirement or meet one of the exceptions afforded in Article 4 of the TCLUO.

Staff finds that this criterion has been met due to property rights enjoyed by a majority of landowners within the vicinity. Staff find that the variance request for a zero (0) foot front yard setback is a property right enjoyed by a majority of property owners within the vicinity given small lot sizes, the placement of structures as well as dimensional and topographical constraints. Given the date the dwelling was constructed, Staff also finds the existing location of the dwelling building footprint and stairway is not a self-created circumstance.

(2) A variance is necessary to accommodate a use or accessory use on the lot which can be reasonably expected to occur within the zone or vicinity.

Findings: Applicant states this criterion does not apply (Exhibit B). On the contrary, Staff finds the requested Variance accommodates use of the property for single family dwelling purposes- a use reasonably expected to occur in the area and one of the few outright permitted uses in the ROS zone (Exhibit B).

Development of single-family dwellings is expected to occur within the vicinity, and dimensional and topographic constraints are shared by properties in the vicinity for residential improvements- namely location of dwellings and appurtenances such as stairways and decks.

Staff concludes that this criterion has been met.

(3) *The proposed variance will comply with the purposes of relevant development standards as enumerated in Section 4.005 and will preserve the right of adjoining property owners to use and enjoy their land for legal purposes.*

Section 4.005: Residential and Commercial Zone Standards of the Tillamook County Land Use Ordinance lists the purposes of the land use standards in each of the residential and commercial zones as follows:

- (1) *To ensure the availability of private open spaces;*
- (2) *To ensure that adequate light and air are available to residential and commercial structures;*
- (3) *To adequately separate structures for emergency access;*
- (4) *To enhance privacy for occupants or residences;*

Findings: The current placement of the entry stairs does not provide space for a landing and does not allow space for an egress path for the bedroom window (Exhibit B). Applicant states that moving the stairs will allow them to meet current development standards and building codes (providing a landing and allowing for addition of an egress window) (Exhibit B). Applicant adds there is no impact to adjoining property owners to use and enjoy their land for legal purposes (Exhibit B).

In response to the four standards listed above, Applicant states there is a 30-foot view easement along the rear of the property and the proposed stairway as reconfigured to meet building code requirements does not impact the existing view easement and the availability of private open space (Exhibit B). Applicant states the variance improves light and air to a lower bedroom due to a much larger egress window. Applicant adds there is no impact to privacy for occupancy of residences (Exhibit B).

Staff finds that the stairway as proposed to be altered and expanded is uncovered and unenclosed and is located within the permitted encroachment area of the property. Staff finds the stairway as altered and expanded would improve emergency access to the dwelling, maintains existing privacy and adequate access to air, light and open space for the subject property and the surrounding properties.

- (5) *To ensure that all private land uses that can be reasonably expected to occur on private land can be entirely accommodated on private land, including but not limited to dwellings, shops, garages, driveway, parking, areas for maneuvering vehicles for safe access to common roads, alternative energy facilities, and private open spaces;*
- (6) *To ensure that driver visibility on adjacent roads will not be obstructed;*
- (7) *To ensure safe access to and from common roads;*

Findings: Applicant states the proposed stairway will be constructed entirely within a small portion of this Tillamook County Public Works Department approved encroachment area and the site plan indicates the stairway will be located approximately 6-feet from the edge of the retaining wall (Exhibit B). Applicant adds the proposed stairway has no impact on driver visibility, does not create an obstruction for those traveling along Aster Street and has no impact to access on any roadway (Exhibit B).

The Tillamook County Public Works Department provided comments supporting approval of the Variance request (Exhibit C).

Staff finds that access to adjacent properties will not be impacted by the proposed stairway and that driver visibility will not be obstructed. The stairway will be located wholly within the area between the retaining wall structure and the building footprint of the dwelling and will be set back 6-feet from the edge of the retaining wall (Exhibit B). Staff finds that these criteria have been met.

(8) *To ensure that pleasing view are neither unreasonably obstructed nor obtained;*

Findings: Applicant states the new stairway will match the design of the house, the retaining wall top fence and the railings. Applicant states there is no impact to views as the placement will be in the same approximate location as the existing non-compliant stairs (Exhibit B).

The County regulates views through compliance with building height requirements. The stairway is proposed to be uncovered and unenclosed and is not anticipated to exceed the allowed 35-foot height maximum of the ROS zone.

(9) *To separate potentially incompatible land uses;*

Findings: Applicant states this standard does not apply to the Variance request (Exhibit B).

A single-family dwelling is allowed outright in the ROS zone. Similarly constructed dwellings with appurtenances such as stairways and decks are located throughout the vicinity. Staff finds that the criterion in Section 4.005(9) has been met.

(10) *To ensure access to solar radiation for the purpose of alternative energy production.*

Findings: Applicant states this standard does not apply to the Variance request (Exhibit B). County records do not indicate any such facilities are in the vicinity of the subject property. Staff finds that the stairway as altered and expanded does not unreasonably shadow or otherwise inhibit access to solar radiation on adjacent properties and finds that the criterion in Section 4.005(10) has been met.

(4) *There are no reasonable alternatives requiring either a lesser or no variance.*

Findings: Applicant explains why there are no reasonable alternatives for replacement or alteration of the stairway- concluding that if a landing was added to the existing stairway location, both the front entry and garage entry would become unusable (Exhibit B).

Staff finds that the lot dimensions and placement of the existing dwelling limit the buildable area of the subject property and limits sufficient area for replacement and alteration of the stairway to be done in a manner that meets the Applicant's objective of constructing a code compliant stairway that also affords ingress/egress to an existing bedroom. Staff finds there are no reasonable alternatives and the criterion in Section 8.030(4) has been met.

IV. DECISION: APPROVED WITH CONDITIONS

Staff concludes, based on the findings of fact and other relevant information in the record, that the applicant has satisfied/or is able to satisfy the applicable ordinance requirements through the Conditions of Approval, and therefore, approves the request subject to the provisions in Section V below.

By accepting this approval the applicants/property owners agree to indemnify, defend, save and hold harmless Tillamook County, and its officers, agents, and employees from any claim, suit, action or activity undertaken under this approval, including construction under a Building Permit approved subject to this approval. The applicants/property owners shall obtain all of the necessary local, state, and federal permits and comply with all applicable regulations for the proposed building site.

This decision may be appealed to the Tillamook County Planning Commission, who will hold a public hearing. Forms and fees must be filed in the office of this Department before **4:00 PM on September 19, 2022.**

V. CONDITIONS OF APPROVAL:

Section 8.060: COMPLIANCE WITH CONDITIONS and Section 8.070: TIME LIMIT requires compliance with approved plans and conditions of this decision, and all other ordinance provisions, and allows 24 months for compliance with Conditions and start of construction. Failure to comply with the Conditions of Approval and ordinance provisions could result in nullification of this approval.

1. Applicant/Property Owner shall obtain all Federal, State, and Local permits, as applicable.
2. The proposed stairway shall be constructed as depicted on the submitted site plan (Exhibit B). Stairway shall remain uncovered and unenclosed.
3. Development of the property shall adhere to all applicable development standards of the Residential Oceanside (ROS) Zone, TCLUO Section 3.310.
4. The stairway shall be sited as shown on the site plan included in "Exhibit B". Applicant/Property Owner shall submit a to-scale site plan at the time of consolidated Zoning and Building Permit application submittal identifying the location of the stairway in relation to the front property line and permitted encroachment area.
5. Applicant/Property Owner shall submit an updated fire letter from the Netarts-Oceanside Fire District at the time of consolidated Zoning and Building Permit application submittal.
6. This approval shall be void on September 6, 2024, unless construction of approved plans has begun, or an extension is requested from, and approved by this Department.

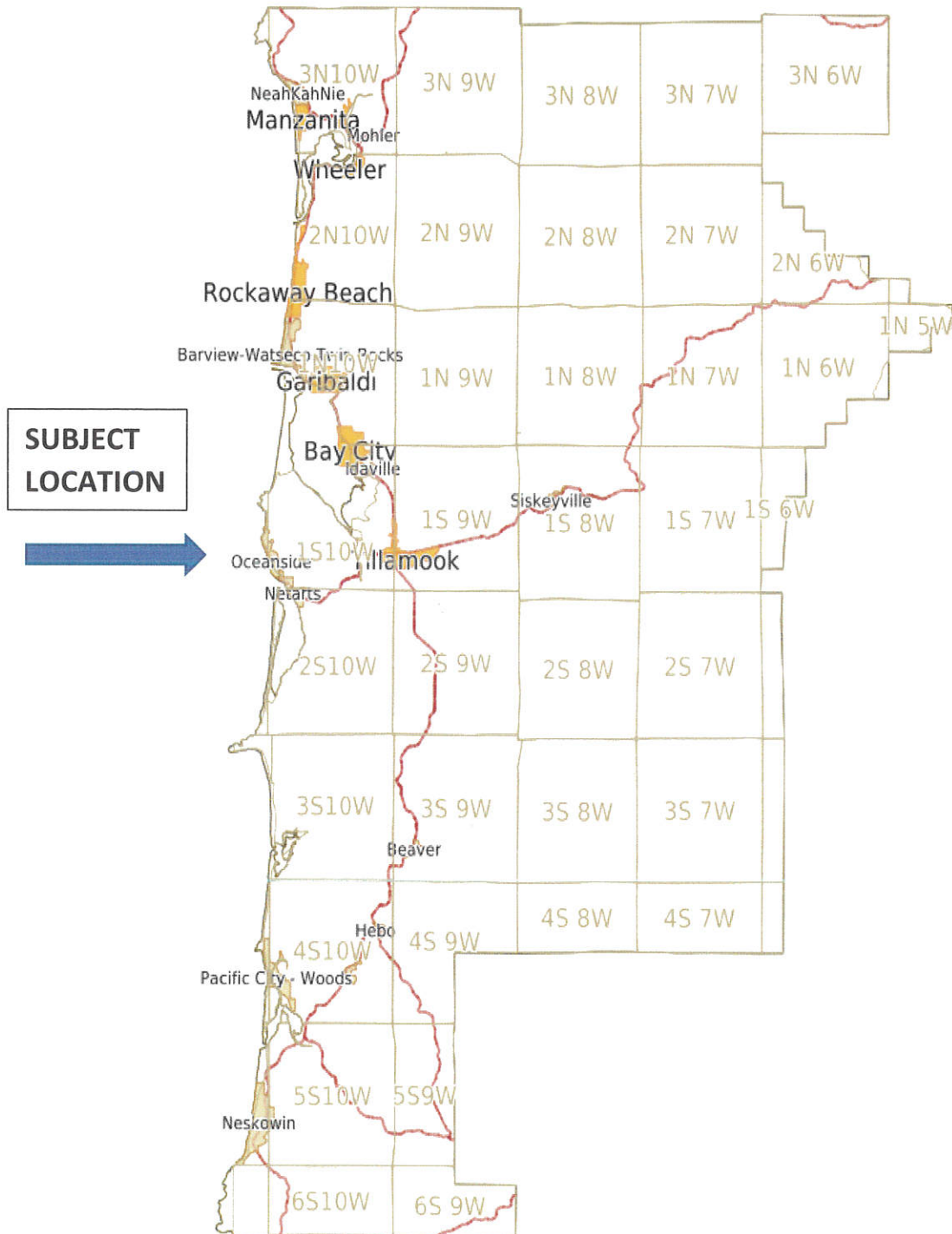
VI. EXHIBITS

All Exhibits referred to herein are, by this reference, made a part hereof:

- A. Location map, Assessor map, Zoning map, Aerial Vicinity Map, Assessor's Summary Report, DOGAMI Hazard Map, FEMA FIRM, NWI Map, Tsunami Overlay Zone Map
- B. Applicant's submittal
- C. Public Comments
- D. County Records for 5480 Aster Street, Oceanside

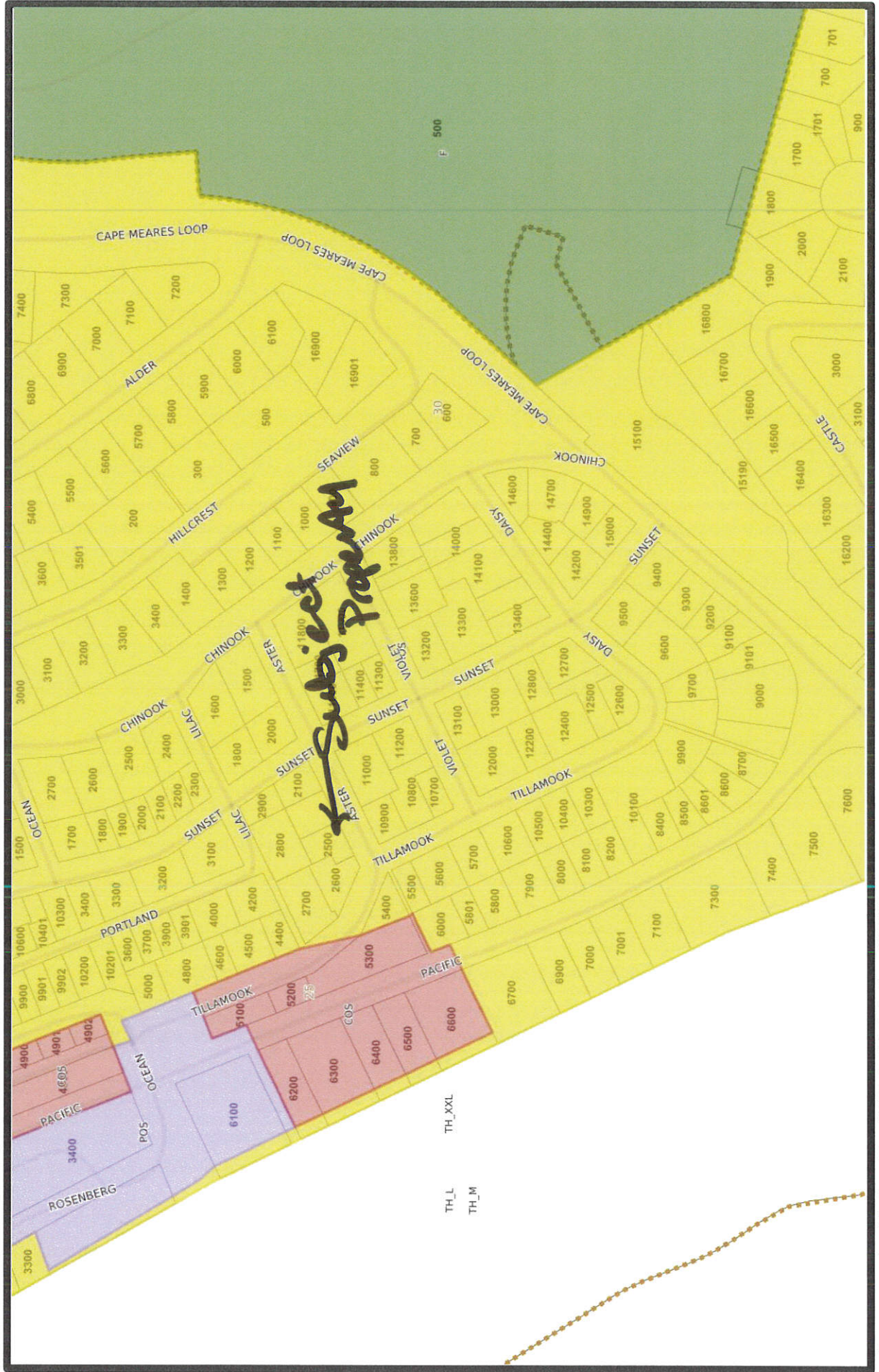
EXHIBIT A

VICINITY MAP



#851-22-00139-PLNG: WARREN

Map





Aerial Vicinity Map

TILLAMOOK County Assessor's Summary Report

Real Property Assessment Report

FOR ASSESSMENT YEAR 2021

September 6, 2022 1:34:38 pm

Account # 192623
 Map # 1S1030BC02500
 Code - Tax # 0921-192623

Tax Status ASSESSABLE
 Acct Status ACTIVE
 Subtype NORMAL

Legal Descr See Record

Mailing Name WARREN, TERRI J TRUSTEE

Deed Reference # 2007-3333

Agent

Sales Date/Price 04-17-2007 / \$0.00

In Care Of

Appraiser EVA FLETCHER

Mailing Address 8477 SW 69TH PL
 PORTLAND, OR 97223

Prop Class 101 MA SA NH Unit
 RMV Class 101 08 OV 805 20752-1

Situs Address(s)	Situs City
ID# 1 5480 ASTER ST	COUNTY

Code Area	RMV	MAV	Value Summary AV	RMV Exception	CPR %
0921 Land	222,560			Land	0
Impr.	195,630			Impr.	0
Code Area Total	418,190	272,120	272,120		0
Grand Total	418,190	272,120	272,120		0

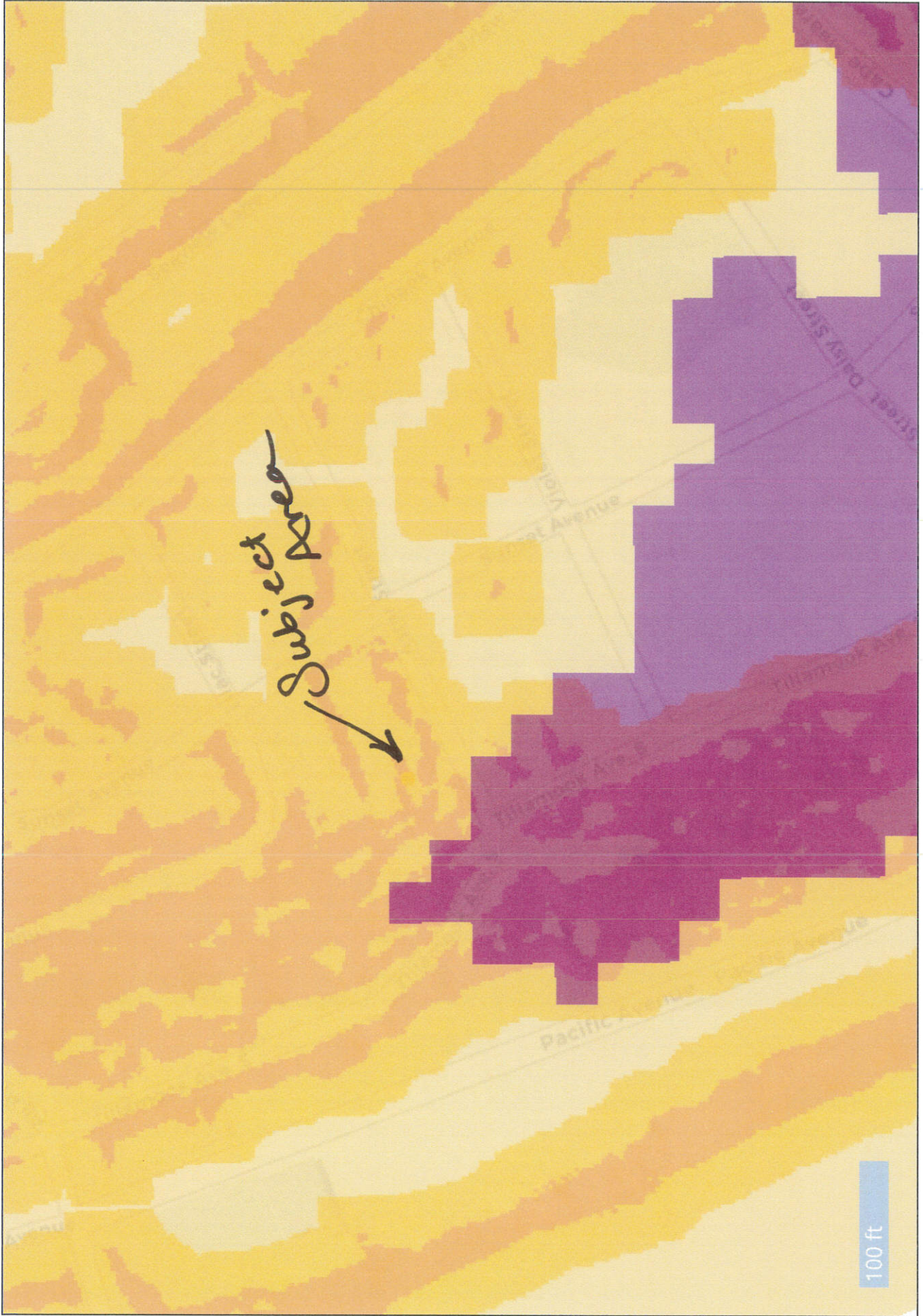
Code Area	ID#	RFPD	Ex	Plan Zone	Land Breakdown				Trended RMV
					Value Source	TD%	LS	Size	
0921					LANDSCAPE - GOOD	100			2,500
0921	1	<input checked="" type="checkbox"/>		ROS	Market	110	A	0.06	200,660
0921					OSD - AVERAGE	100			19,400
Grand Total								0.06	222,560

Code Area	ID#	Yr Built	Stat Class	Description	Improvement Breakdown			Trended RMV
					TD%	Total Sq. Ft.	Ex% MS Acct #	
0921	1	1968	132	One story with basement	121	1,486	195,630	
Grand Total							1,486	195,630

Exemptions / Special Assessments / Potential Liability										
Code Area 0921										
SPECIAL ASSESSMENTS:										
■ SOLID WASTE					Amount	12.00	Acres	0	Year	2021

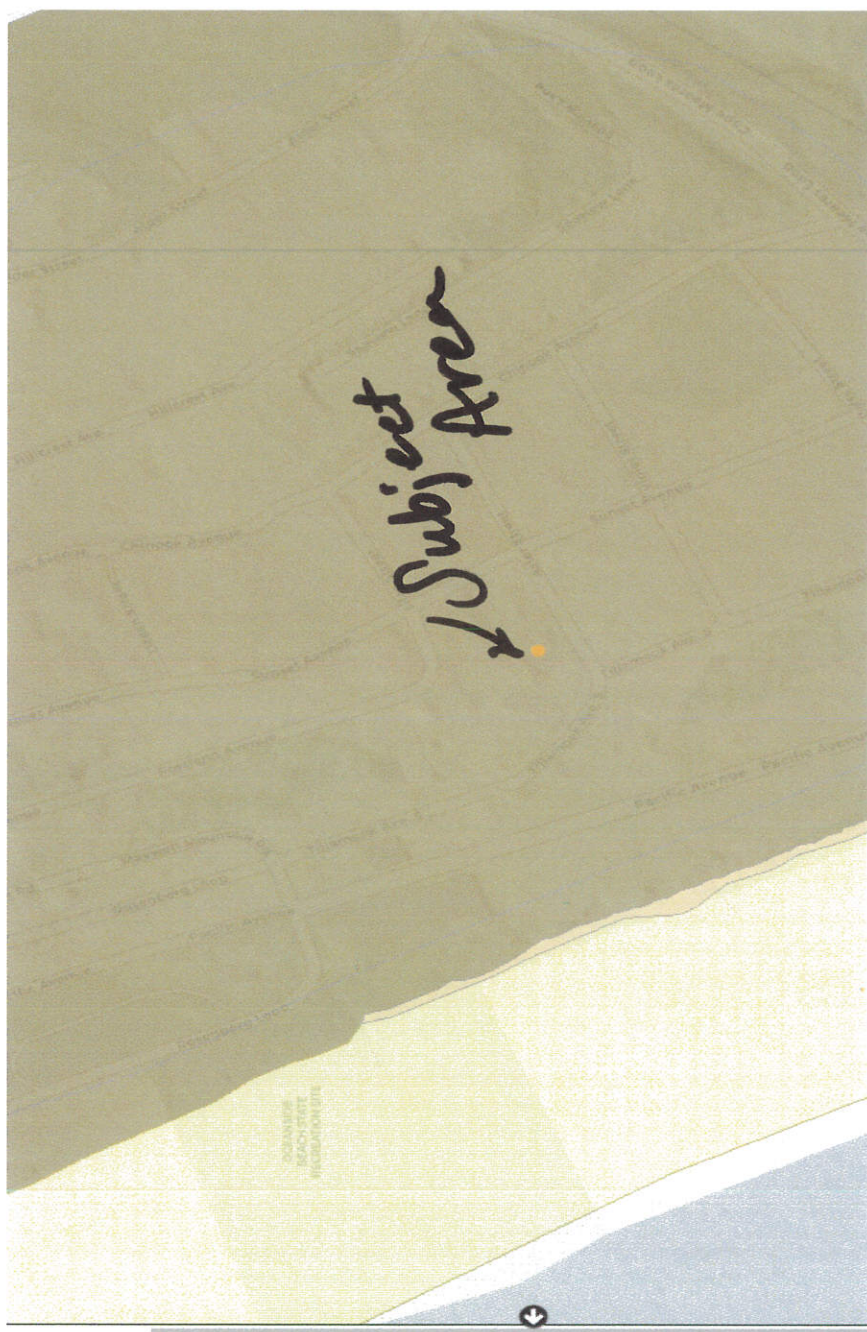
Comments: 1/17/12 Land re-appraisal, tabled land. EJ.
 1/6/17 Updated inventory for Property Appraisal conversion.LM
 03/12/21 Updated EYB for exterior GOMAR. Added new deck and landscaping - Applied exception.ef

Landslide Susceptibility



Disclaimer: The spatial information hosted at this website was derived from a variety of sources. Care was taken in the creation of these themes, but they are provided "as is." The state of Oregon, or any of the data providers cannot accept any responsibility for errors, omissions, or positional accuracy in the digital data or underlying records. There are no warranties, expressed or implied, including the warranty of merchantability or fitness for a particular purpose, accompanying any of these products. However, notification of any errors would be appreciated. The data are clearly not intended to indicate the authoritative location of property boundaries, the precise shape or contour of the earth or the precise location of fixed works of humans.

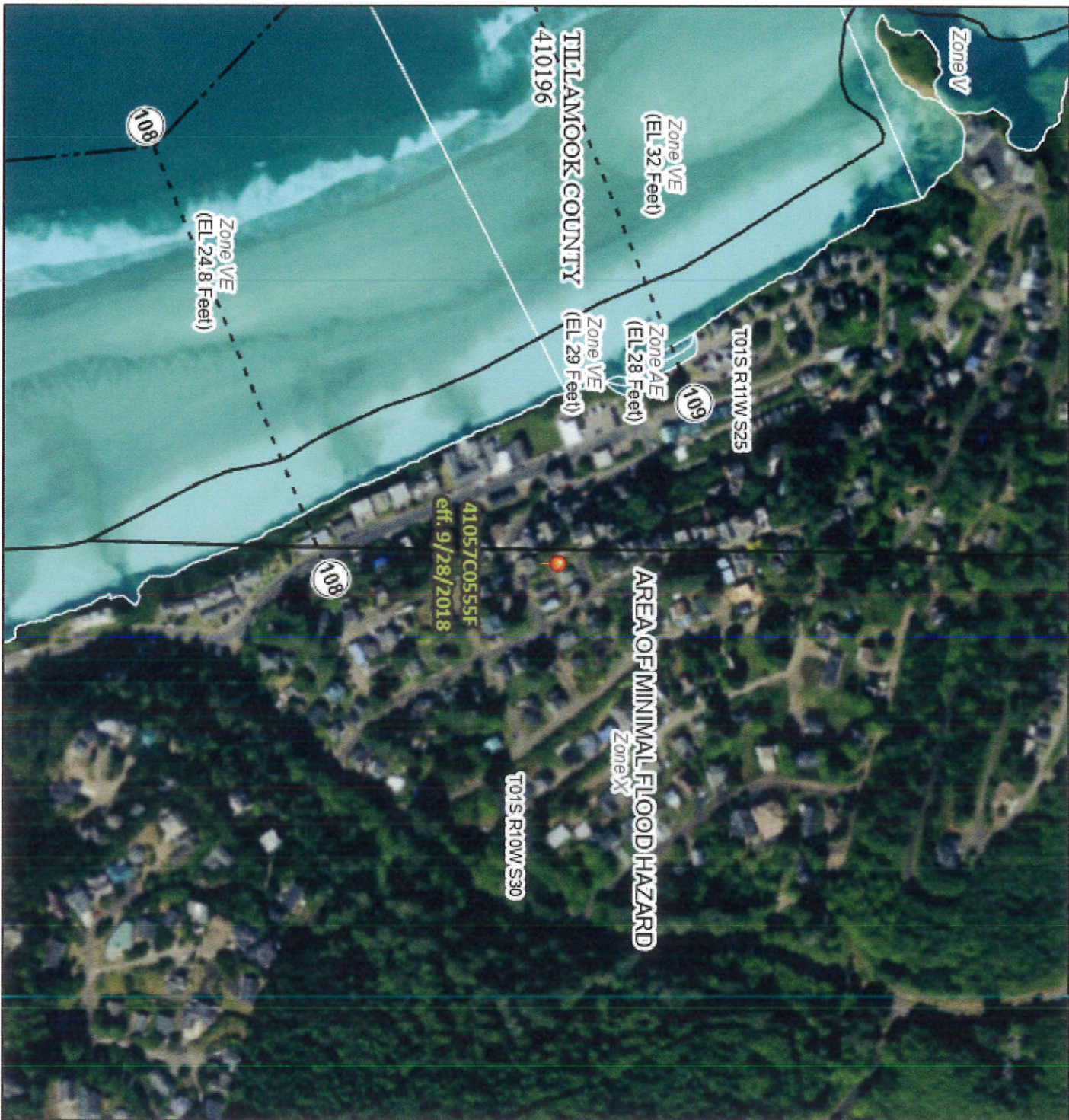
- Susceptibility**
- [Proposed] Rapidly Moving Landslides
 - [Proposed] Beaches and Dunes
- Overlay Zone**
- B - Beach
 - FDA - Active foredune
 - AFDA - Artificial dune
 - FD (W) - Reactivated, erosion/flooding
 - H - Hummocks, active
 - FD - Stabilized foredune
 - IFD - Inland foredune
 - DC - Dune complex
 - DC (W) - wet
 - DS - Dune, younger stabilized
 - ODS - Dune, older stabilized
 - OS - Open sand
 - W - Interdune
 - WMF - Wet mountain front
 - WDP - Wet deflation plain
 - WL - Wetland
 - WSP - Wet surge plain
 - WFP - Wet flood plain
 - LK - Lake
 - CT - Coastal terrace
 - LD - Landslide
 - FED - Fluvial, estuary deposit



Beach & Dune Overlay Zone

National Flood Hazard Layer FIRMette

123°58'24"W 45°27'48"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE)
- Zone A, V, AE, AR
- With BFE or Depth (Zone AE, AO, AH, VE, AR)
- Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD

- 0.2% Annual Chance Flood Hazard. Area of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile (Zone X)
- Future Conditions 1% Annual Chance Flood Hazard (Zone X)
- Area with Reduced Flood Risk due to Levee. See Notes, Zone X
- Area with Flood Risk due to Levee (Zone D)

OTHER AREAS

- NO SCREEN
- Area of Minimal Flood Hazard (Zone X)
- Effective LOMRS
- Area of Undetermined Flood Hazard (Zone X)

GENERAL STRUCTURES

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

OTHER FEATURES

- 20.2 Cross Sections with 1% Annual Chance
- 17.5 Water Surface Elevation
- 8 Coastal Transect
- 57 Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

MAP PANELS

- Digital Data Available
- No Digital Data Available
- Unmapped

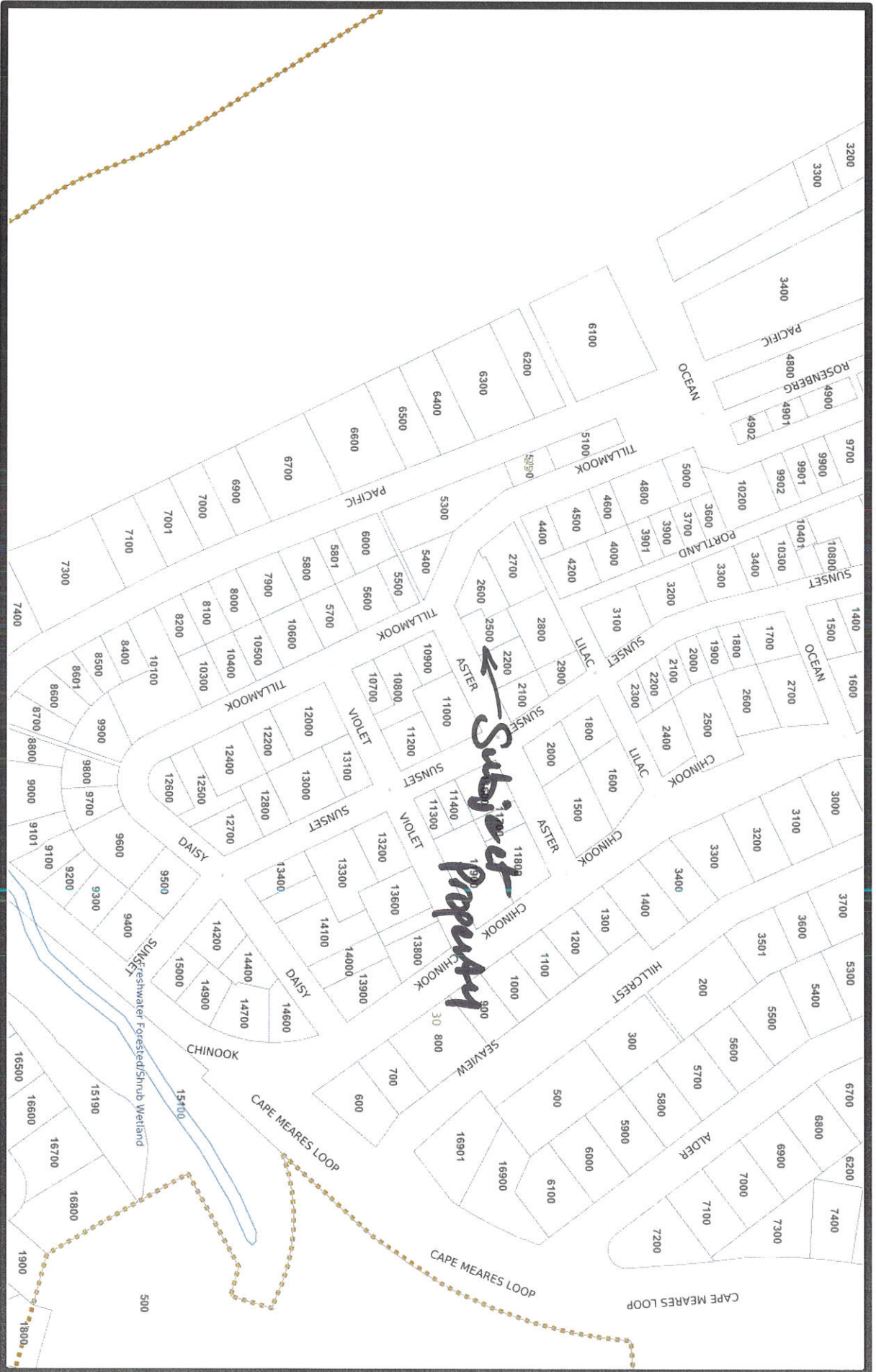
The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 9/6/2022 at 3:31 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRW panel number, and FIRW effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Map



Map

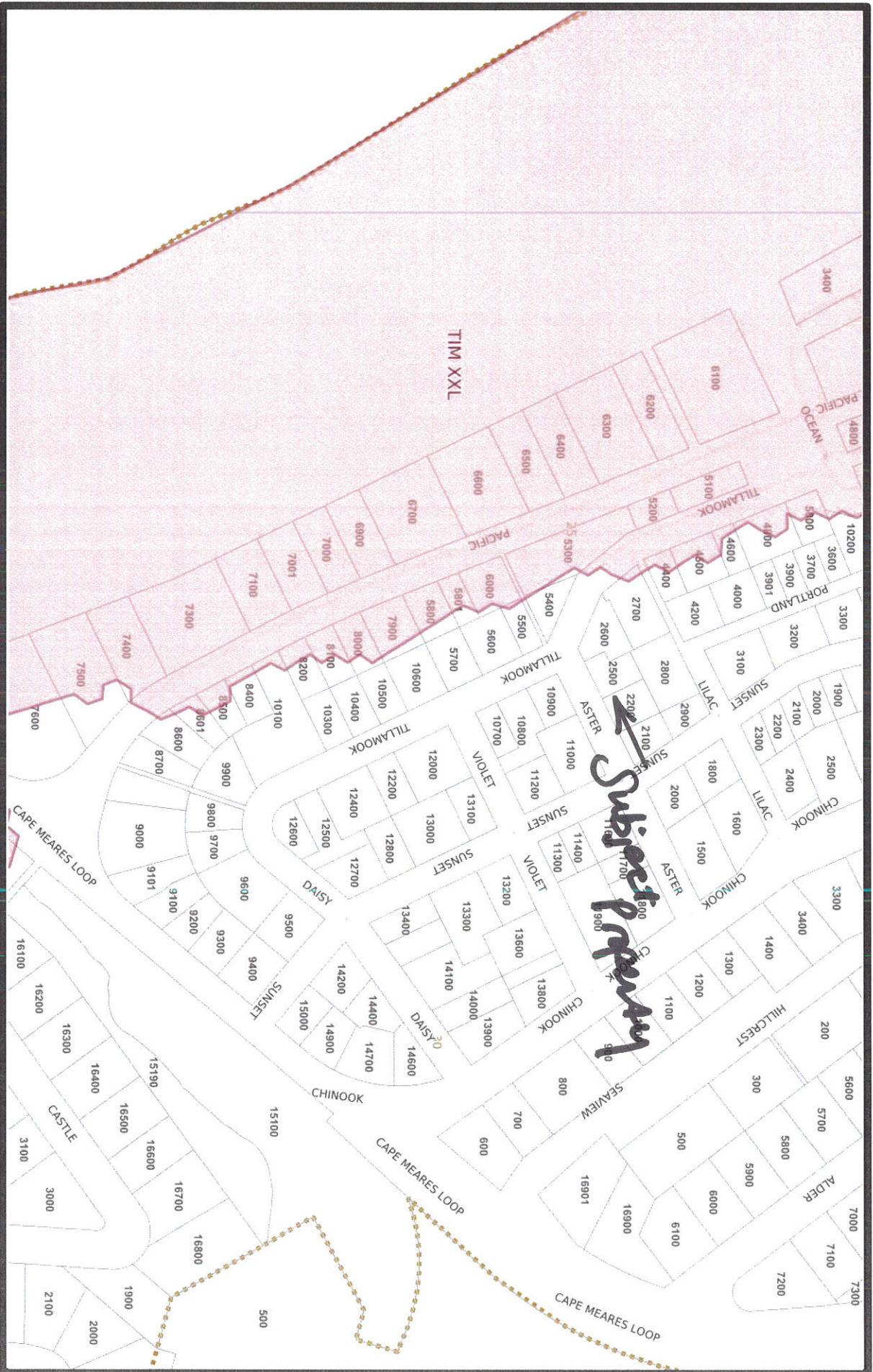


EXHIBIT B



PLANNING APPLICATION

OFFICE USE ONLY	
Date Stamp	
APR 07 2022	
<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Received by: <i>SS</i>	
Receipt #: <i>125194</i>	
Fees: <i>1089.00</i>	
Permit No: <i>851-22-00139-PLNG</i>	

Applicant (Check Box if Same as Property Owner)

Name: Terri Warren Phone: 503-701-2798
 Address: 8477 SW 69th PLace
 City: Portland State: OR Zip: 97223
 Email: twestover@mac.com

Property Owner

Name: Phone:
 Address:
 City: State: Zip:
 Email:

Request: Move entry stairs to provide landing, egress window, and egress path to meet building codes and safety regulations. New stairs will be located in a small portion of encroachment area approved by Public Works Permit #5563.

- | Type II | Type III | Text | Type IV |
|--|--|------|---|
| <input type="checkbox"/> Farm/Forest Review | <input type="checkbox"/> Appeal of Director's Decision | | <input type="checkbox"/> Appeal of Planning Commission Decision |
| <input type="checkbox"/> Conditional Use Review | <input type="checkbox"/> Extension of Time | | <input type="checkbox"/> Ordinance Amendment |
| <input checked="" type="checkbox"/> Variance | <input type="checkbox"/> Detailed Hazard Report | | <input type="checkbox"/> Large-Scale Zoning Map Amendment |
| <input type="checkbox"/> Exception to Resource or Riparian Setback | <input type="checkbox"/> Conditional Use (As deemed by Director) | | <input type="checkbox"/> Plan and/or Code Text Amendment |
| <input type="checkbox"/> Nonconforming Review (Major or Minor) | <input type="checkbox"/> Ordinance Amendment | | |
| <input type="checkbox"/> Development Permit Review for Estuary Development | <input type="checkbox"/> Map Amendment | | |
| <input type="checkbox"/> Non-farm dwelling in Farm Zone | <input type="checkbox"/> Goal Exception | | |
| <input type="checkbox"/> Fore-dune Grading Permit Review | | | |
| <input type="checkbox"/> Neskowin Coastal Hazards Area | | | |

Location:

Site Address: 5480 Aster St., Oceanside. OR 97134

Map Number: T01S R10W 30BC 02500
Township Range Section Tax Lot(s)

Clerk's Instrument #: _____

Authorization

This permit application does not assure permit approval. The applicant and/or property owner shall be responsible for obtaining any other necessary federal, state, and local permits. The applicant verifies that the information submitted is complete, accurate, and consistent with other information submitted with this application.

Terri Warren
 Property Owner Signature (Required)

4-6-22
 Date

Terri Warren
 Applicant Signature

4-6-22
 Date

Terri Warren
Hal Hendrix
8477 SW 69th Pl
Portland, OR 97223

Contact Information

Terri Warren, twestover@mac.com, 503-701-2798
Hal Hendrix, hhendrix@aol.com, 503-459-2700

Tillamook County Department
Of Community Development
1510-B Third Street
Tillamook, OR 97141

Property Address: 5480 Aster Street
Oceanside, OR 97223
T01S R10W Sec. 30BC
Tax Lot #02500

Subject: Variance Application

History: On May 20, 2020 we submitted an application for a Right of Way Encroachment License to Tillamook County Public Works Department. We had a rock retaining wall that had been failing since 2017 despite our efforts to control the moles undermining the wall.

As part of the license, we also wanted to address two major safety hazards under the license. The existing entry stairs need a landing at the top and a lower-level bedroom needs a code compliant egress window and pathway. The stairs need to be moved two feet from the house into the encroachment area to provide an egress path for the new window.

The license was approved on August 20, 2020 and a building permit for an engineered concrete retaining wall was submitted the next day. Due to several factors, primarily review time, seasonal weather conditions, and contractor availability, construction didn't start until May 2021. A permit extension was granted and the retaining wall was completed and approved June 29, 2021. The new wall location added a little more than one foot to the width of the roadway.

While the license approved the location of the stairs, we decided to separate the stairs and egress window from the retaining wall permit for practical and financial reasons, and the approach of the inclement weather season.

SECTION 8.030: REVIEW CRITERIA

(1) Circumstances attributable either to the dimensional, topographic, or hazardous characteristics of a legally existing lot, or to the placement of structures thereupon, would effectively preclude the enjoyment of a substantial property right enjoyed by the majority of landowners in the vicinity, if all applicable standards were to be met. Such circumstances may not be self-created.

(2) A VARIANCE is necessary to accommodate a use or accessory use on the parcel which can be reasonably expected to occur within the zone or vicinity.

(3) The proposed VARIANCE will comply with the purposes of relevant development standards as enumerated in Section 4.005 and will preserve the right of adjoining property owners to use and enjoy their land for legal purposes.

(4) There are no reasonable alternatives requiring either a lesser or no VARIANCE

We believe that our request meets the intent of subsections 1, 3, and 4. Subsection 2 does not apply to our application.

Subsections 1: The placement of the existing stairs creates a hazardous condition. First, there is no landing at the top of the stairs which is a building code violation. Also, when someone is coming up the stairs to enter the house, they must back down the stairs after opening the door, to allow for swing of the door. When carrying items like groceries or luggage, this creates an unsafe situation for someone entering the house.

In addition, the current placement of the stairs blocks the ability to provide an egress window and path from one of the downstairs bedrooms. Relocating the stairs and providing a landing would allow for replacement of the existing window.

Subsection 2: Does not apply to our situation

Subsection 3: Moving the stairs will allow us to meet current development standards and building codes (providing a landing and allowing for addition of an egress window). There is no impact to adjoining property owners to use and enjoy their land for legal purposes.

Subsection 4: The floor plan of the lower story does not allow a plan to provide adequate access to the entire structure for things like moving furniture or appliances to the top level of the house. The interior first to second level stairway is too narrow to allow the movement of furniture and major appliances to the second level. The location of the large brick fireplace also restricts floorplan modifications. If we were to use the existing stair location and build a landing at the top, the stairs would then be in front of the person door to enter the garage and the garage entry, making both unusable.

**ARTICLE IV
SUPPLEMENTARY REGULATIONS
SECTION 4.005: RESIDENTIAL AND COMMERCIAL ZONE STANDARDS**

PURPOSE: In all RESIDENTIAL AND COMMERCIAL ZONES, the purpose of land use standards are the following:

(1) To ensure the availability of private open space

This variance does not impact the availability of private open space. To the rear of the property is a 30' view easement for the neighbor next door to the right of our house.

(2) To ensure that adequate light and air are available to residential and commercial structures

This variance has no impact but does improve light and air to a lower level bedroom due to a much larger egress window which we will install upon approval of this variance

(3) To adequately separate structures for emergency access

The current placement of the entry stairs does not provide space for a landing. It also does not allow space for an egress path for a new egress window. The stairs are also being moved because using the location of the current stairs to allow for a landing at the top would block the garage door entry.

(4) To enhance privacy for occupants of residences

There is no impact from this variance

(5) To ensure that all private land uses that can be reasonably expected to occur on private land can be entirely accommodated on private land, including but not limited to dwellings, shops, garages, driveways, parking, areas for maneuvering vehicles for safe access to common roads, alternative energy facilities, and private open spaces

The new retaining wall provided more roadway width and this variance will allow the stairs to be constructed entirely within a small portion of the encroachment license.

(6) To ensure that driver visibility on adjacent roads will not be obstructed

The placement of the new stairs has no impact on driver visibility or construct any obstruction, either as they come up the hill on Aster or down the hill on Aster..

(7) To ensure safe access to and from common roads

This variance has no impact to access on any road.

(8) To ensure that pleasing views are neither unreasonably obstructed nor obtained

The new stairs will match the design of the house, the retaining wall top fence, and railings. There is no impact to views as the placement will be in the same approximate location as existing non-compliant stairs

(9) To separate potentially incompatible land uses

This does not apply to this variance request

(10) To ensure access to solar radiation for the purpose of alternative energy production

This does not apply to this variance request

Thank you for your consideration, respectfully submitted.

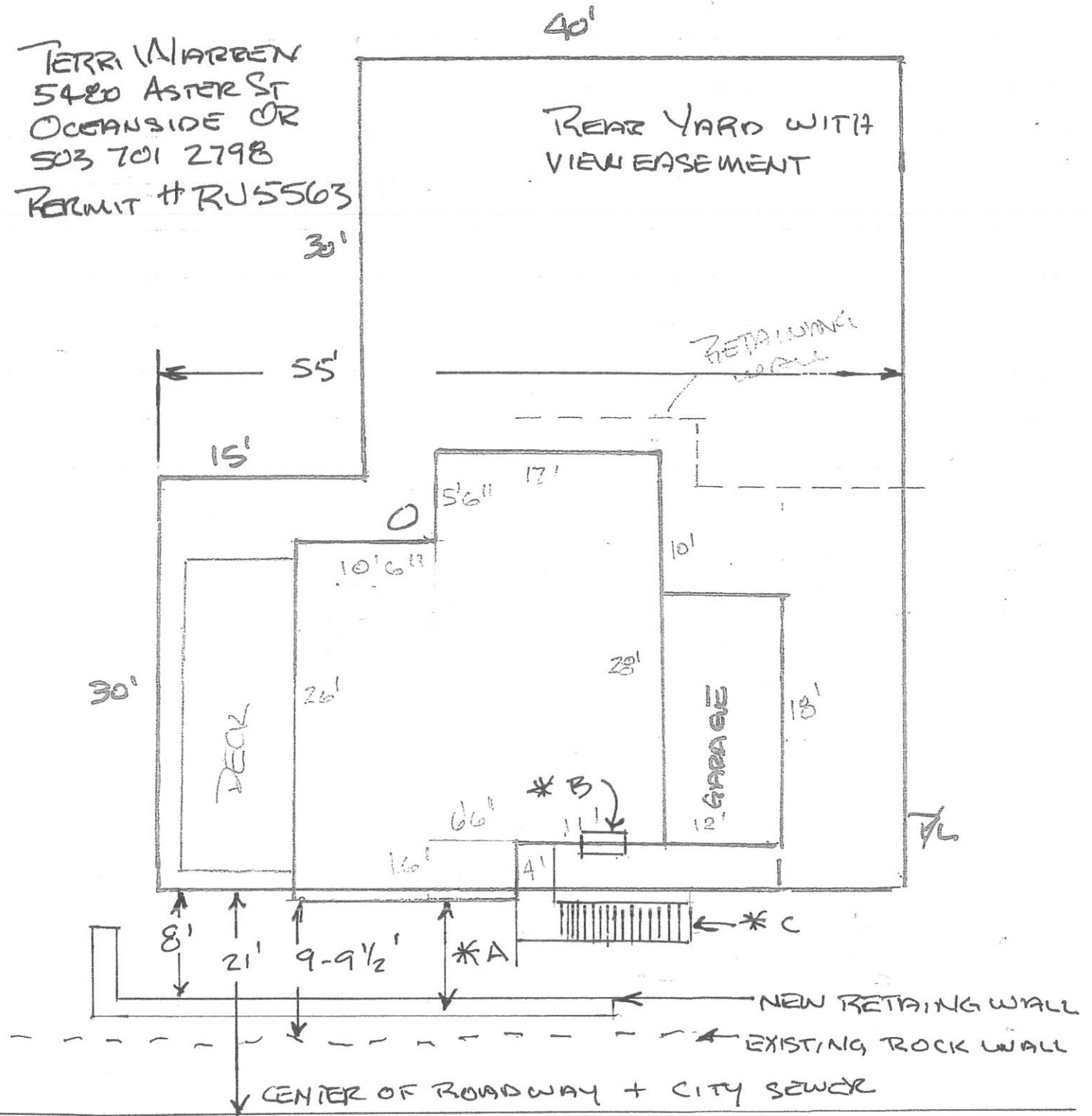
A handwritten signature in black ink that reads "Terri Warren". The signature is written in a cursive style with a long horizontal flourish at the end.

Terri Warren

Page index

1. Application
2. Plot plan
3. Stair placement detail
4. Public Works pictures
5. Public Works map
6. Front View
- 7, 8, 9. Stair location mock up

TERRI WARREN
 5420 ASTER ST
 OCEANSIDE OR
 503 701 2798
 PERMIT # RJ5563

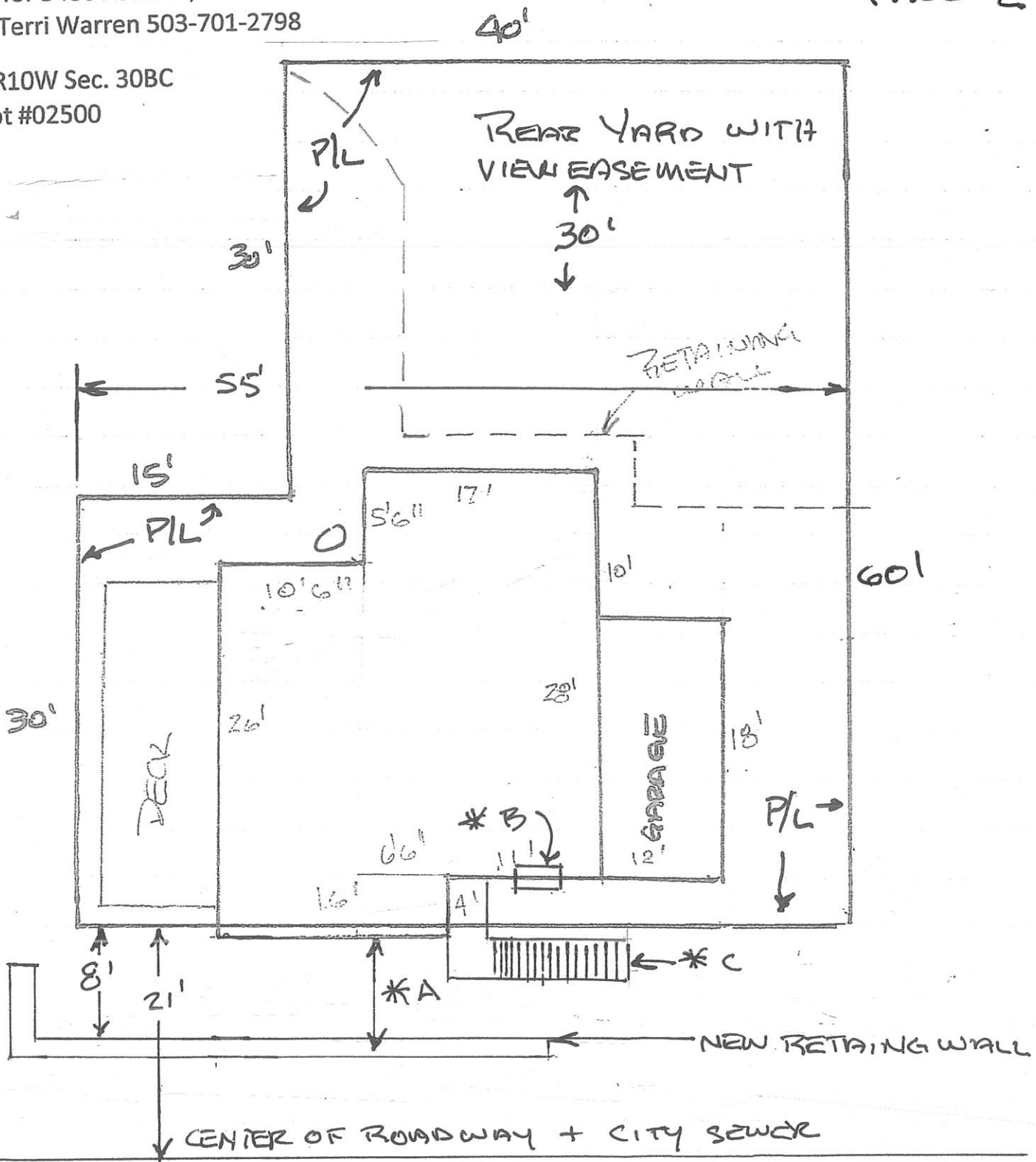


*A PERMITTED ENCROACHMENT
 ...AREA

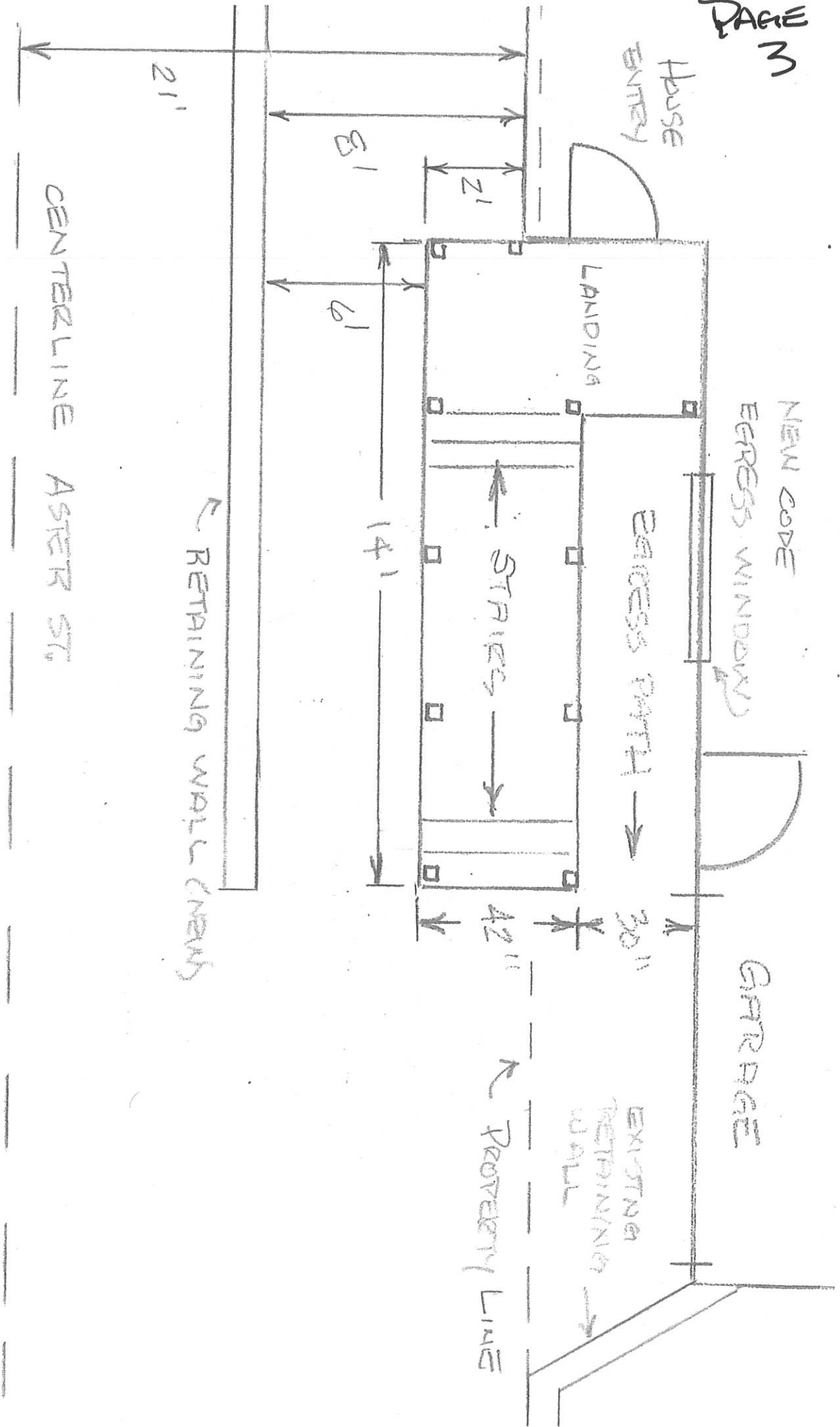
*B NEW EGRESS WINDOW

*C REPLACEMENT STAIRS WITH LANDING TO EXTEND
 4' FROM FRONT OF HOUSE INTO ENCROACHMENT

T01S R10W Sec. 30BC
 Tax Lot #02500



- *A PERMITTED ENCROACHMENT AREA
- *B NEW EGRESS WINDOW
- *C REPLACEMENT STAIRS WITH LANDING TO EXTEND 4' FROM FRONT OF HOUSE INTO ENCROACHMENT



These pictures provided by Public Works from the approved encroachment license



Loose rock wall will be replaced by engineered cement retaining wall.

Stairway will be shifted out from the house.



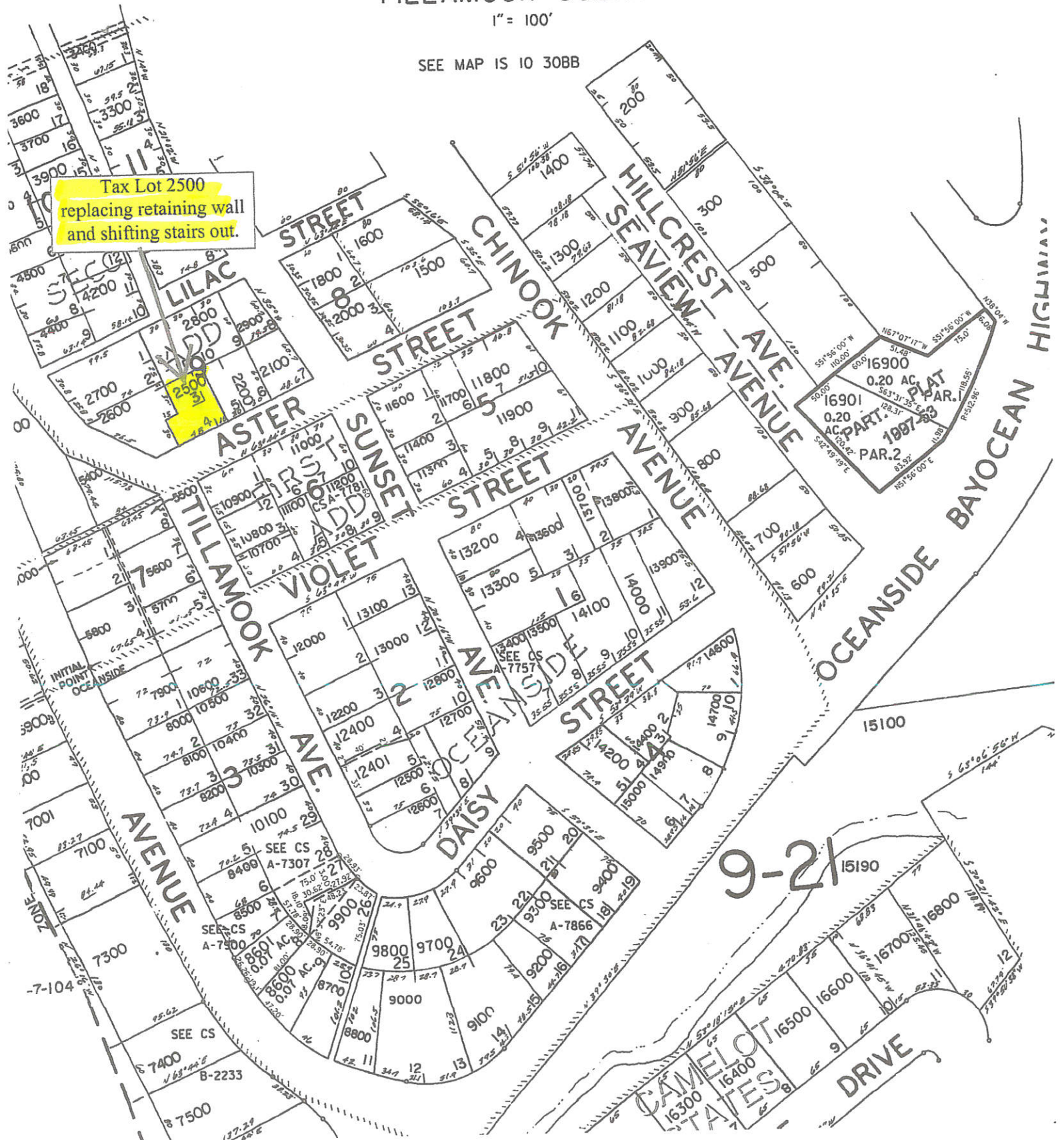
All impacts will be contained to current side yard.

SW1/4 NW1/4 SEC.30 T.IS. R.10W. W.M.
TILLAMOOK COUNTY

1" = 100'

SEE MAP IS 10 30BB

Tax Lot 2500
replacing retaining wall
and shifting stairs out.

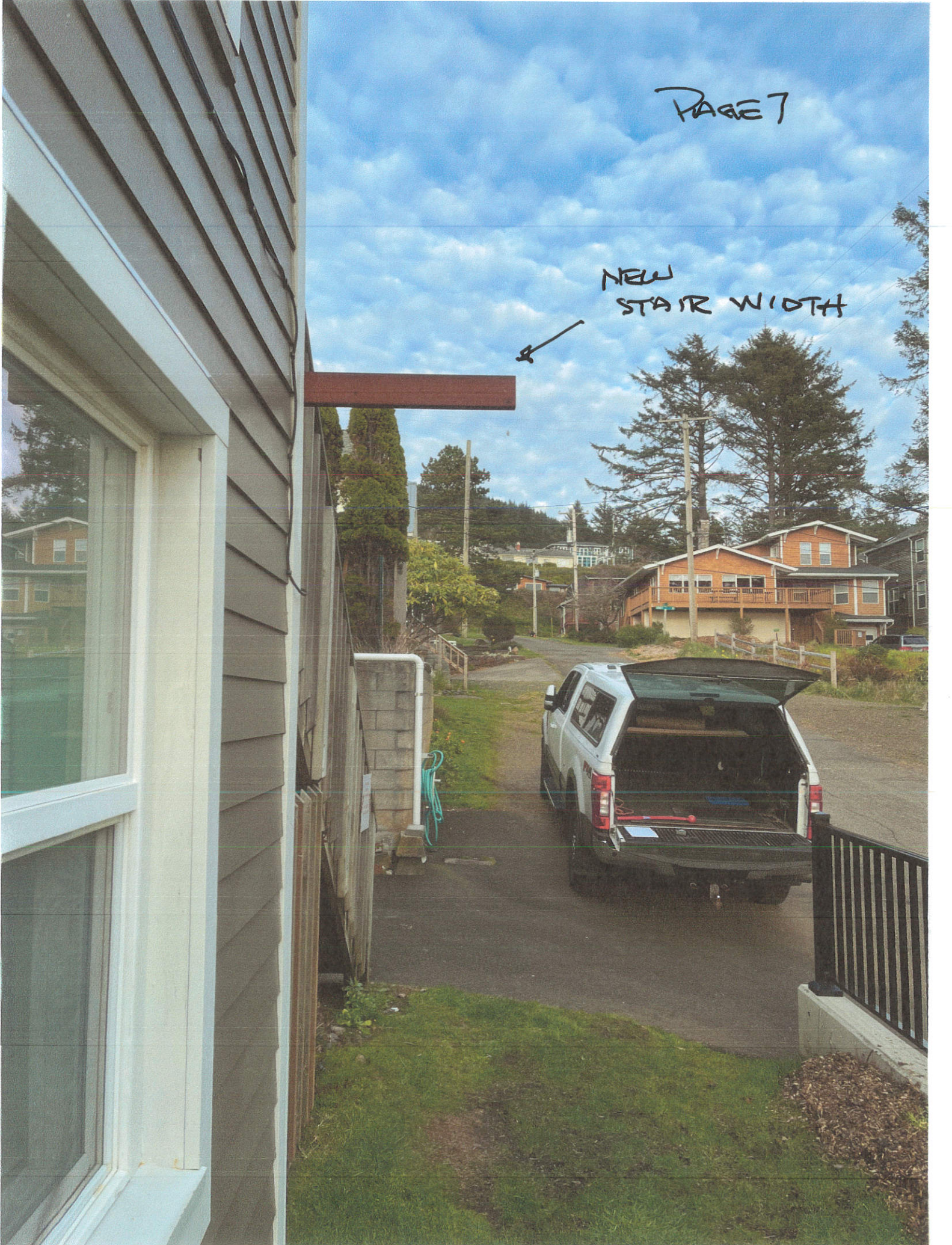


PAGE 6

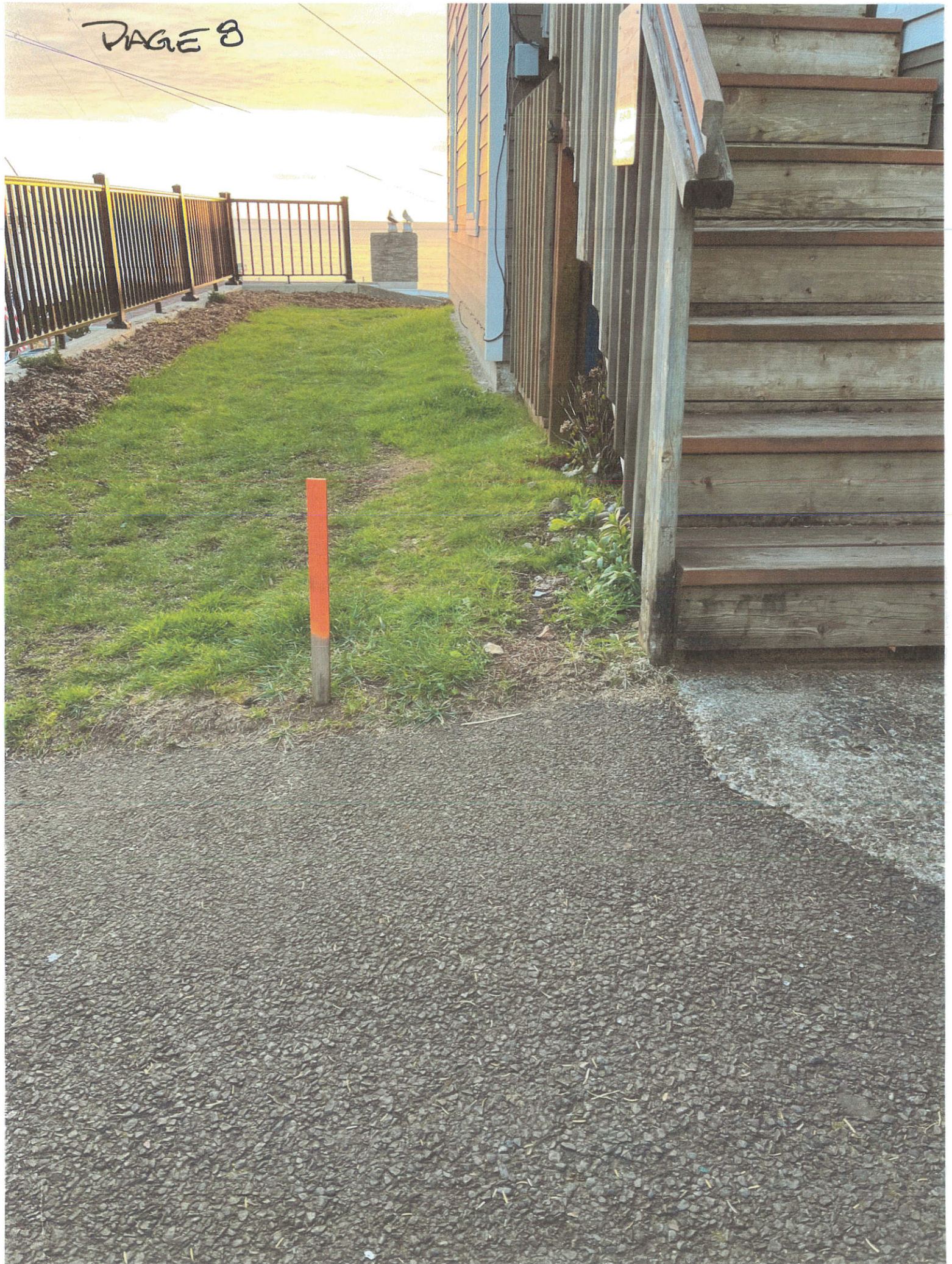


PAGE 7

NEW
STAIR WIDTH



PAGE 8



PAGE 9



EXHIBIT C

Sarah Absher

From: Jasper Lind
Sent: Tuesday, September 6, 2022 9:36 AM
To: Sarah Absher
Subject: Setback Variance Request #851-22-000139-PLNG
Attachments: NU1S1030BC02500.pdf

Hello Sarah,

Attached is the non-utility permit that was used for the renovation of the retaining wall on Aster Street in Oceanside. No Encroachment license was used as the project was an improvement of an existing structure which is now a permitted structure. As to the Variance Request, I have discussed the circumstance with my director. Our department has no objection to the variance being granted, so long as the desired structure does not extend any further into the public right of way than the existing retaining wall. Please let me know if you would like a more formal response on our letterhead.

Have a good day,



Jasper Lind | Engineering Technician

TILLAMOOK COUNTY | Public Works

503 Marolf Loop

Tillamook, OR 97141

Phone (503)842-2032 ext. 3104

jlind@co.tillamook.or.us



PUBLIC WORKS DEPARTMENT

503 Marolf Loop Road
Tillamook, Oregon 97141
Roads (503) 842-3419
Solid Waste (503) 815-3975
FAX (503) 842-6473
Email: pubwks@co.tillamook.or.us
TTY Oregon Relay Service

Land of Cheese, Trees and Ocean Breeze

August 20TH, 2020

Terri Warren & Hal Hendrix
8477 SW 69th Place
Portland, OR 97223

RE: Non-Utility Permit #5563
Aster Street - City; Tillamook County Road #840
T01S R10W Sec. 30BC, Tax Lot #02500

Dear Terri & Hal:

Tillamook County Engineering staff review of your Non-Utility Permit Application and a field site evaluation is complete with the following conclusion.

The intent of this permit is to provide authorization to replace an existing loose rock wall with an engineered cement retaining wall and to shift existing external stairs away from the side of the house as detailed in the sketches you provided. The application received identifies Brian Werner as the contractor planned to provide the materials and labor to complete the work.

By this reference, your application materials are incorporated into this permit.

Non-Utility permit #5563 is **Approved** as describe above with the following requirements:

1. Appropriate approval and permitting is granted by the County Building Department.
2. This permit is for work performed in the public right of way of as noted above. By the issuing of this permit Tillamook County in no way authorizes the occupation of private land adjacent to the public right of way. Any occupation of private land requires approval of the subject property owner.
3. The applicant and their contractor mutually agree to fully indemnify, save harmless and defend Tillamook County, its commissioners, officers, employees and contractors from and against all claims and actions and all expenses incidental to the investigation and defense thereof, made or brought by any person, firm or corporation, based upon or arising directly or indirectly out of damages or injuries to their persons or their property, caused in whole or in part by acts of commission or omission of their agents, employees, or licensees in connection with the work performed pursuant to this permit. Furthermore, applicant and their contractor agree to promptly repair, at their sole expense, any damage to county property occasioned by their placement of the work referred to herein.

4. Traffic control in all county Rights of Way shall be as indicated in the Manual on Uniform Traffic Control Devices (M.U.T.C.D.) for work in the Public Right of Ways under County jurisdiction.
5. There shall be a copy of this permit on the job site while work is in progress.

As the permit holder it is your responsibility to coordinate with all utilities and the O.U.N.C. as noted below.

Please notify me 48 hours prior to commencing the project and within 48 hours after the project is complete to establish the maintenance agreement start date.

Please contact this office if the job can not be done according to permit requirements.

IT IS YOUR RESPONSIBILITY AS THE PERMITTEE TO ARRANGE FOR ANY NECESSARY UTILITY LOCATES PRIOR TO EXCAVATION.

ATTENTION: 2007 Oregon Revised Statutes Chapter 757, requires you to follow rules adopted by the Oregon Utility Notification Center (OUNC). Those rules are set forth in Oregon Administration Rules Chapter 952, Division 1. You may obtain copies of the rules by calling 811 or logging on to the O.U.N.C. website at <http://www.digsafelyoregon.com/>

The site will be inspected for restoration and clean up upon completion. There is a one-year maintenance responsibility that will start after field inspection and acceptance of restoration. If you have questions regarding this permit approval or are ready for field inspection, please feel free to contact or leave a message for me at 503.842.3419 Monday thru Friday 8:00 a.m. to 4:30 p.m. or the direct line to my desk is 503.842.2032 ext. 3110.

Sincerely,



Jasper Lind
Engineering Technician

Cc: Chet Parker, CenturyLink, by email
Bryant Sheldon, Charter, by email
James Aman, Matt Andrus, Jeanette Arnold, Zachary Hudspeth TPUD, by email
Dan Mello, Netarts-Oceanside Sanitary District, by email
Cody Hobbs, Netarts Water District, by email
Trish Bush, Department of Community Development, by email

Application Permit No. NU 5563

Road No. 840

TILLAMOOK COUNTY APPLICATION AND PERMIT FOR NON-UTILITY FACILITIES WITHIN A PUBLIC RIGHT-OF-WAY ORDINANCE#28

PLEASE PRINT

Terri Warren and Hal Hendrix

8477 SW 69th Place

(Landowner / Agency Name)

(Address)

503 701 2798
503 842 1980

Portland, Oregon, 97223

(Telephone No.)

(City, State, Zip)

The Applicant hereby applies to perform the following operation or install the following facilities upon the right-of-way of Aster Street

From Mile Post or (St.Address) 5480 Aster Street

to Mile Post or (St.Address)

Project location/start 60 East feet [N S E W] from intersection Aster St and Tillamook Ave

Proposed utility facility location _____ feet [N S E W] from centerline.

As shown on the plan attached hereto and by this reference made a part of this permit.

PLAN SHALL SHOW DISTANCES TO EXISTING PROPERTY PINS, MANHOLES, CENTERLINE OF ROAD AND EDGE OF ASPHALT.

TAX LOT DESCRIPTION

Township 01S Range 10 West, W.M. Section 30BC at Tax Lot 2500

The permit is for the construction, operation, and maintenance of the following type of utility facility:

Replacement of a loose rock wall with an engineered cement retaining wall.

All activities allowed by this permit are subject to the "REGULATIONS FOR UTILITIES in Tillamook County Public Road Rights-of-Way (Ordinance #28)", which by this reference are made a part of this permit.

APPLICANT NOTE THAT UTILITIES REGULATIONS REQUIRES REMOVAL OF FACILITY UPON WRITTEN NOTICE FROM TILLAMOOK COUNTY TO REMOVE THE UTILITY FACILITY (Section 17).

Warren

TERRI WARREN

Landowner / Agency Signature and Date

Print Landowner / Agency Name

CONTRACTOR INFORMATION

CONTRACTOR NAME BRIAN WERNER CONSTRUCTION INC

ADDRESS 6365 TILLAMOOK RIVER RD

CITY Tillamook STATE OR ZIP 97141 PHONE _____

[Signature] 8-1-20

BRIAN WERNER

Contractor Signature and Date

Print Contractor Name

PROPOSED PROJECT START DATE = _____

CERTIFICATE OF INSURANCE FOR WORKING IN ROAD RIGHT-OF-WAY

ALL CONTRACTORS OR OWNER / AGENCY SHALL HAVE ON FILE A CERTIFICATE OF INSURANCE NAMING TILLAMOOK COUNTY AS CERTIFICATE HOLDER.

SPECIAL PROVISIONS TO BE COMPLETED BY COUNTY ROAD DEPARTMENT

1. A performance bond in the amount of \$ _____ shall be required prior to the issuing of this permit to cover inspection and assure compliance with conditions of permit.
2. A certificate of liability insurance has been verified. YES. NO.
3. A copy of liability insurance is on file, OR attached.
4. Activities of the operation, trenching, plowing, boring or tunneling shall be at least _____ feet from the edge of pavement **and / or** a minimum of _____ feet from center of traveled road.
5. Any feature above ground shall be a minimum of _____ feet from edge of pavement **and / or** _____ feet from center of traveled road.
6. Open cutting of paved or surfaced portion of the highway is is not permitted.
7. Asphaltic concrete patches shall be a total of _____ inches in compacted depth, _____ lift(s) of _____ inches each.
8. Maintenance of construction area and paving for all installations is the responsibility of the Applicant for one year after completion. Please contact us when completed.
9. Phone Number & Name of contact person responsible for maintenance of UTILITY FACILITY

PHONE _____

NAME OF CONTACT _____

Letter of requirements attached. YES / NO .

INSPECTED AND RESTORATION COMPLETED: DATE _____

INSPECTION BY _____

FINAL INSPECTION AFTER ONE YEAR: DATE _____

INSPECTION BY _____

PERMIT # NU 5563



08/20/2020

Public Works Administrator Signature of Permit Approval

Date

REINFORCING STEEL

1. All reinforcing steel shall be deformed steel bars conforming to ASTM A615, grade 60 for #4 and larger, grade 40 for #3.
2. All reinforcing steel shall be manufactured, detailed, fabricated and placed in accordance with A.C.I. 318R, A.C.I. 315R, AND A.C.I. SP 66.
3. Welded wire fabric shall conform to ASTM A185, in as long a length as is practical. Welded wire fabric shall be lapped at least one grid width plus 2".
4. Reinforcement shall be bent cold and shall not be welded.
5. Reinforcement in concrete and masonry shall have lap lengths as follows unless otherwise specified on drawings:
 - 5.1. #3 bar: 1'-6" in concrete, 2'-0" in masonry
 - 5.2. #4 bar: 2'-0" in concrete, 2'-6" in masonry
 - 5.3. #5 bar, 2'-6" in concrete, 3'-0" in masonry
6. Reinforcement shall be accurately placed and supported by concrete, metal or other approved chairs, spacers, or ties and secure against displacement during concrete or grout placement.
7. Except where otherwise noted, reinforcement shall have concrete cover as follows:
 - 7.1. Concrete deposited against earth 3"
 - 7.2. Formed concrete against earth 2"
 - 7.3. Exterior faces of walls 2"
 - 7.4. Interior faces of walls 3/4"
 - 7.5. To top of slab-on-grade 3/4"

WOOD FRAMING

1. All solid sawn lumber shall be Douglas Fir-Larch (D.F.), installed as noted on the plans and connected as specified in the nailing schedule below unless otherwise noted (U.O.N.). Lumber shall be graded in accordance with current Western Wood Product Association (WWPA) standard grading rules. Lumber grades shall be as follows:
 - 1.1. Posts, beams, & Headers: #2 D.F. U.O.N.
 - 1.2. Floor joists & ceiling rafters: #2 D.F. OR BETTER U.O.N.
 - 1.3. Sill plates & blocking: Pressure treated #2 D.F. U.O.N.
 - 1.4. Studs: #2 D.F. U.O.N.
 - 1.5. 2" T&G sub-floor decking: 1/2" C-D ext. glue U.O.N.
 - 1.6. Wall and roof sheathing: Plywood 32/16 U.O.N.
 - 1.7. Sub-floor over joists: 3/4" underlayment grade plywood (exterior grade) U.O.N.
 - 1.8. Glu-laminated Beams: $f_b = 2,000$ psi, $f_v = 165$ psi, E = 1,800,000 psi U.O.N.
2. Lumber at visually exposed locations shall be pressure treated (PT) #2 D.F. or better. All exterior and interior openings shall have use a #2 D.F. 4x12 header U.O.N.

A

NAILING SCHEDULE

1. Joist to sill or beam: (3) 8c
2. Bridging to joists: (2) 8c
3. 2" T&G decking to beams: (2) 1c
4. Rim joist to joist: (3) 1c
5. Studs to sill plate: (2) 1c
6. Sill plate to joists or blocking: (1) 1c
7. Sill plate or top plate to studs: (2) 1c
8. Double top plate: (1) 1c
9. Double studs: (1) 1c
10. Corner studs: (1) 1c
11. Top plates at laps & intersections: (2) 1c
12. Headers to top plates: (1) 1c
13. Ceiling rafters to plates: (3) 8c
14. Plywood sub-floor to joists: (1) 8c
15. Plywood walls & roof sheathing: (1) 8c

NAILING SCHEDULE

1. All walls shall have studs placed at 16" o/c
2. Top plates shall be double on all walls, U
3. Trimmers under all headers shall be con
4. Double joists under all walls parallel to jo
5. Use 4x blocking in all shear walls.
6. Place solid blocking between all joists an
7. Beams, girders, and joists shall not be nc
8. Rafters shall not be notched at supports
9. Lap all joists a minimum of 6" each way e

Sarah Absher

From: deborah sposito <deborahsposito@gmail.com>
Sent: Monday, June 6, 2022 3:59 PM
To: Sarah Absher
Cc: Lynn Tone; Deborah A. Dixon; Mama Patricia Rumer
Subject: Re: Question re: Variance Request

Hi Sarah and Hi Deborah,

Thank you both so much for sending me the link and following up so promptly. The drawings clarified my questions about the potential impact on our ocean view. From what the drawings indicate, there will be no impact on our cabin and ocean view. I support their variance request.

I appreciate your sending the plans. I am sorry, I am not normally this busy (trying to fill a sudden \$1M funding gap on an affordable housing project that is ready to break ground) and I would normally answer your calls or email myself.

Thanks again for your help and the clarification.

Best,
Deborah

Deborah Sposito (*she/ella*)
(505) 604-9115
www.linkedin.com/in/deborah-sposito

On Mon, Jun 6, 2022 at 3:34 PM Sarah Absher <sabsher@co.tillamook.or.us> wrote:

Hello Pat,

Below is a link to the application and site plan: [851-22-000139-plng_notice_variance.pdf \(tillamook.or.us\)](#)

The stairs are located on the south side of the structure but do not extend beyond the retaining wall. There is a site plan at the link above where you can review the dimensions and exact location of the proposed stairs.

Sincerely,



Sarah Absher, CBO, CFM, Director

TILLAMOOK COUNTY | Community Development

1510-B Third Street

Tillamook, OR 97141

Phone (503) 842-3408 x3317

sabsher@co.tillamook.or.us

From: Pat Rumer <activistap@yahoo.com>

Sent: Monday, June 6, 2022 1:19 PM

To: Sarah Absher <sabsher@co.tillamook.or.us>; Lynn Tone <ltone@co.tillamook.or.us>; Deborah Sposito <deborahsposito@gmail.com>

Subject: EXTERNAL: Question re: Variance Request

[NOTICE: This message originated outside of Tillamook County -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Hello. I am writing on behalf of my daughter Deborah Sposito, owner of house at 5475 Aster street across the street from the Warren property at 5480 Aster. Variance number is #851-22-000139-PLNG. My question is where will the stairs be placed? SW corner or ? Where on property?

My concern is blocking the view from my deck and house- see attached photos. I called your office on Friday and left message. I received a call asking me to email. I just called on behalf of my daughter Deborah and left a message asking for the answer to this question.

Due to deadline for comments by 4 pm today it is difficult to know how to respond without an answer. Is there any possibility of a later response? Thank you very much. Pat Rumer and Deborah Sposito.

Sarah Hanson
Attorney at Law
16501 NW Wapato Drive
Portland, Oregon 97231

Sarah Absher
CFM Director
Tillamook County
Department of Community Development
1510 – B Third Street
Tillamook, Oregon 97141

Re: Variance Request #851-22-000139-PLNG: WARREN

Date: June 3, 2022

Dear Ms. Absher:

On behalf of Rose Marie Tyson I submit this objection to Variance Request #851-22-000139-PLNG because it does not comply with applicable review criteria. Ms. Tyson is the current owner of the property immediately adjacent to the subject property, tax lot 2200 at 5470 Aster Street.

Applicant Has Failed to Meet Section 8.030 Review Criteria. This Section requires that the Applicant demonstrate that the proposed Variance satisfies ALL of four criteria. I will address each of the criteria, below:

8.030(1) Applicant has not sufficiently addressed this criteria. Even if the placement of the stairs and lack of egress window is hazardous, applicant has not demonstrated how these characteristics would “effectively preclude the enjoyment of a substantial property right of a majority of landowners in the vicinity if all applicable standards were to be met”. An egress window may allow Applicant to claim another bedroom in the home, but the absence of such a legal bedroom in no way precludes use of the dwelling as a residence which is the substantial property right of a majority of landowners in the vicinity. In other words, an egress window is not required in that location. Furthermore, any hazardous circumstances may not be “self-created”. In this case, the placement of stairs and windows in their current locations is clearly a self-created problem. Applicant provides no evidence of any preclusive effect, only of Applicant’s desired changes to the home for personal preference.

8.030(2) There is no evidence in the record that a Variance is “necessary” to accommodate a use or accessory use on the parcel. Applicant provides no evidence in the record to establish that the “hazardous” characteristics cannot be mitigated without a variance. To the contrary, applicant admits that this “does not apply to our situation”, meaning there are other ways to mitigate the hazards. Because an egress window is not required there is no need to move the stairs further towards the property line. A landing is not required for the stairs because the stairs are grandfathered under the prior building code. Applicant’s proposed variance is purely to satisfy Applicant’s personal preference and is not necessary.

8.030(3) Applicant does not meet this criteria. The proposed variance won't comply with the development standards enumerated in Section 4.005 and does not preserve the right of adjoining property owners to use and enjoy their land for legal purposes, including but not limited to the right to enjoy the ocean view. Moving the stairs four feet further towards the property line will remove some of the ocean view of the home at 5470 Aster Street as it will be in the direct line of site from the deck of that home to the ocean. This is in direct contradiction Section 4.005(8) "To ensure that pleasing views are neither unreasonably obstructed...". Applicant has previously installed a large nuisance or "spite" hedge (arborvitae) to block Ms. Tyson's ocean view after a dispute with Ms. Tyson's recently deceased husband. Ms. Tyson will not consider movement of the stairs in a manner to further obstruct the ocean view without simultaneous removal of the nuisance foliage. Furthermore, Applicant offers no evidence to establish that placement of the stairs won't impact driver visibility on Aster Street (4.005)(6)), won't impact the privacy of occupants of Ms. Tyson's residence (4.005(4)) and won't impact access on any road. Applicant simply makes conclusory statements.

8.030(4) Applicant fails to establish that there are no reasonable alternatives to a variance. Applicant fails to provide any information about alternatives. However, one reasonable alternative would be to remodel the dwelling to provide a more open floor plan allowing better furniture and appliance movement. Fireplaces can also be moved to accommodate desired changes to floor plans. Another reasonable alternative would be to buy smaller furniture and appliances. Furthermore, Applicant desires to keep access to the "person" door to the garage entry from the stairs. However, Applicant does not demonstrate the extent that the stairs would be "in front" of the "person door" to the garage or to the garage door or that there are no other options to the size of the proposed landing that might make the stairs with a landing meet code and also solve the "garage" problem. Finally, losing a "person door" into a garage or even a garage for parking of a vehicle is not unreasonable. There are many, many dwellings that do not have garage parking.

Because Applicant has failed to demonstrate by substantial evidence in the record that Applicant meets the variance criteria the application should be denied. However, if the County determines that Applicant meets the criteria, Ms. Tyson requests that a condition of approval be that all arborvitae or other foliage which are currently blocking Ms. Tyson's view, as shown in the attached photo , or adjacent but not shown in the photo, be removed.

There are no instructions as to how to submit my comments in the Notice of Administrative Review. Therefore, I am emailing it to the contact persons given for questions provided in the notice, Lynn Tone.

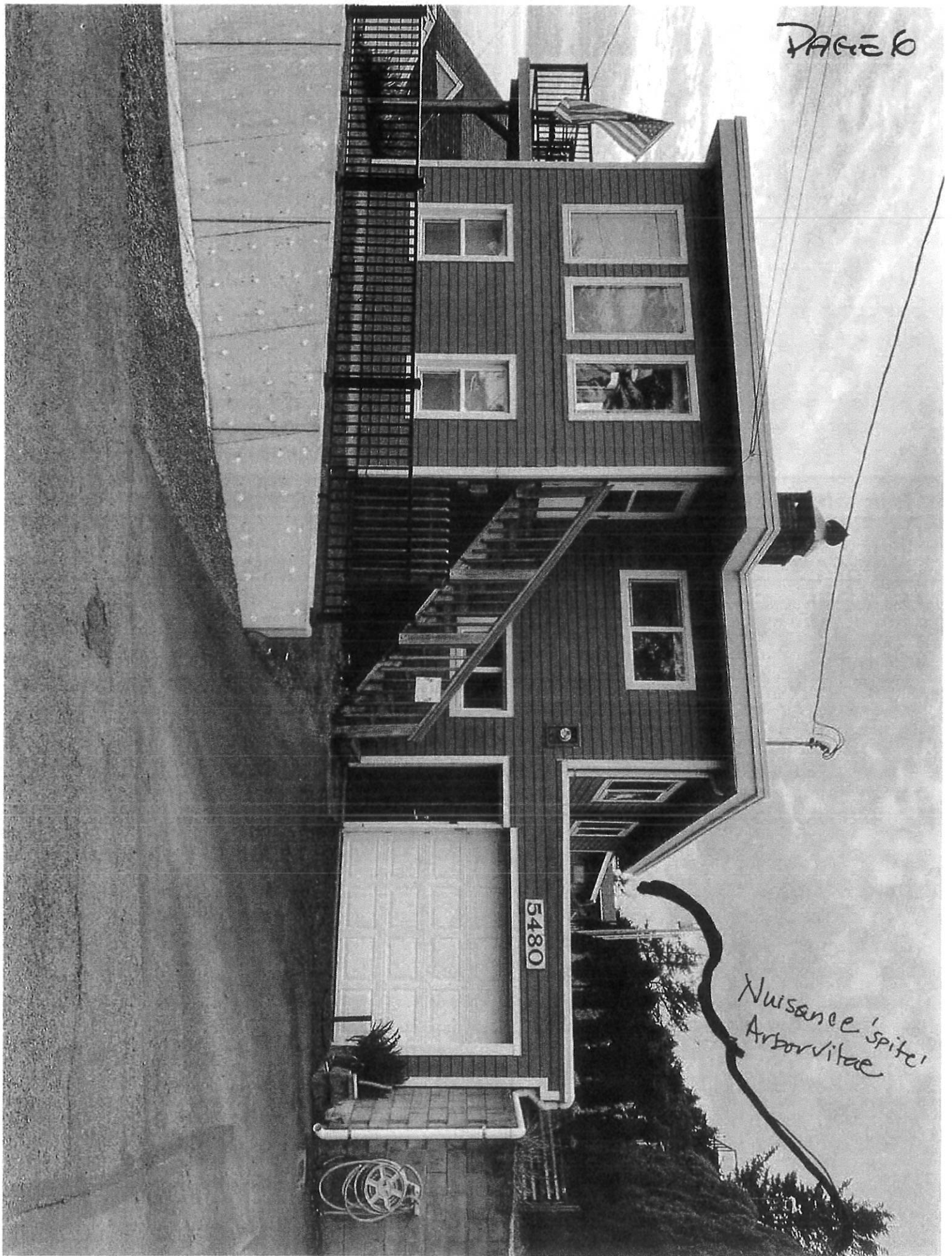
Sincerely,

A handwritten signature in black ink, appearing to read "Sarah Hanson", with a long, sweeping underline.

Sarah Hanson

c. Rose Marie Tyson

PAGE 6



Nuisance 'spite'
Arborvitae

EXHIBIT D

PUBLIC WORKS DEPARTMENT



503 Marolf Loop Road
Tillamook, Oregon 97141
Roads (503) 842-3419
Solid Waste (503) 815-3975
FAX (503) 842-6473
Email: pubwks@co.tillamook.or.us
TTY Oregon Relay Service

Land of Cheese, Trees and Ocean Breeze

August 20TH, 2020

Terri Warren & Hal Hendrix
8477 SW 69th Place
Portland, OR 97223

RE: Non-Utility Permit #5563
Aster Street - City; Tillamook County Road #840
T01S R10W Sec. 30BC, Tax Lot #02500

Dear Terri & Hal:

Tillamook County Engineering staff review of your Non-Utility Permit Application and a field site evaluation is complete with the following conclusion.

The intent of this permit is to provide authorization to replace an existing loose rock wall with an engineered cement retaining wall and to shift existing external stairs away from the side of the house as detailed in the sketches you provided. The application received identifies Brian Werner as the contractor planned to provide the materials and labor to complete the work.

By this reference, your application materials are incorporated into this permit.

Non-Utility permit #5563 is **Approved** as describe above with the following requirements:

1. Appropriate approval and permitting is granted by the County Building Department.
2. This permit is for work performed in the public right of way of as noted above. By the issuing of this permit Tillamook County in no way authorizes the occupation of private land adjacent to the public right of way. Any occupation of private land requires approval of the subject property owner.
3. The applicant and their contractor mutually agree to fully indemnify, save harmless and defend Tillamook County, its commissioners, officers, employees and contractors from and against all claims and actions and all expenses incidental to the investigation and defense thereof, made or brought by any person, firm or corporation, based upon or arising directly or indirectly out of damages or injuries to their persons or their property, caused in whole or in part by acts of commission or omission of their agents, employees, or licensees in connection with the work performed pursuant to this permit. Furthermore, applicant and their contractor agree to promptly repair, at their sole expense, any damage to county property occasioned by their placement of the work referred to herein.

4. Traffic control in all county Rights of Way shall be as indicated in the Manual on Uniform Traffic Control Devices (M.U.T.C.D.) for work in the Public Right of Ways under County jurisdiction.
5. There shall be a copy of this permit on the job site while work is in progress.

As the permit holder it is your responsibility to coordinate with all utilities and the O.U.N.C. as noted below.

Please notify me 48 hours prior to commencing the project and within 48 hours after the project is complete to establish the maintenance agreement start date.

Please contact this office if the job can not be done according to permit requirements.

IT IS YOUR RESPONSIBILITY AS THE PERMITTEE TO ARRANGE FOR ANY NECESSARY UTILITY LOCATES PRIOR TO EXCAVATION.

ATTENTION: 2007 Oregon Revised Statutes Chapter 757, requires you to follow rules adopted by the Oregon Utility Notification Center (OUNC). Those rules are set forth in Oregon Administration Rules Chapter 952, Division 1. You may obtain copies of the rules by calling 811 or logging on to the O.U.N.C. website at <http://www.digsafelyoregon.com/>

The site will be inspected for restoration and clean up upon completion. There is a one-year maintenance responsibility that will start after field inspection and acceptance of restoration. If you have questions regarding this permit approval or are ready for field inspection, please feel free to contact or leave a message for me at 503.842.3419 Monday thru Friday 8:00 a.m. to 4:30 p.m. or the direct line to my desk is 503.842.2032 ext. 3110.

Sincerely,



Jasper Lind
Engineering Technician

Cc: Chet Parker, CenturyLink, by email
Bryant Sheldon, Charter, by email
James Aman, Matt Andrus, Jeanette Arnold, Zachary Hudspeth TPUD, by email
Dan Mello, Netarts-Oceanside Sanitary District, by email
Cody Hobbs, Netarts Water District, by email
Trish Bush, Department of Community Development, by email

Application Permit No. NU 5563 Road No. 840

TILLAMOOK COUNTY APPLICATION AND PERMIT FOR NON-UTILITY FACILITIES WITHIN A PUBLIC RIGHT-OF-WAY ORDINANCE#28

PLEASE PRINT

Terri Warren and Hal Hendrix 8477 SW 69th Place
(Landowner / Agency Name) (Address)
503 701 2798
503 842 1980 Portland, Oregon, 97223
(Telephone No.) (City, State, Zip)

The Applicant hereby applies to perform the following operation or install the following facilities upon the right-of-way of Aster Street

From Mile Post or (St.Address) 5480 Aster Street
to Mile Post or (St.Address)

Project location/start 60 East feet [N S E W] from intersection Aster St and Tillamook Ave

Proposed utility facility location _____ feet [N S E W] from centerline.

As shown on the plan attached hereto and by this reference made a part of this permit.
PLAN SHALL SHOW DISTANCES TO EXISTING PROPERTY PINS, MANHOLES, CENTERLINE OF ROAD AND EDGE OF ASPHALT.

TAX LOT DESCRIPTION

Township 01S Range 10 West, W.M. Section 30BC at Tax Lot 2500

The permit is for the construction, operation, and maintenance of the following type of utility facility:

Replacement of a loose rock wall with an engineered cement retaining wall.

All activities allowed by this permit are subject to the "REGULATIONS FOR UTILITIES in Tillamook County Public Road Rights-of-Way (Ordinance #28)", which by this reference are made a part of this permit.

APPLICANT NOTE THAT UTILITIES REGULATIONS REQUIRES REMOVAL OF FACILITY UPON WRITTEN NOTICE FROM TILLAMOOK COUNTY TO REMOVE THE UTILITY FACILITY (Section 17).

Warren
Landowner / Agency Signature and Date

TERRI WARREN
Print Landowner / Agency Name

CONTRACTOR INFORMATION

CONTRACTOR NAME BRIAN WERNER CONSTRUCTION INC

ADDRESS 6365 TILLAMOOK RIVER RD

CITY TILLAMOOK STATE OR ZIP 97141 PHONE _____

[Signature] 8-1-20
Contractor Signature and Date

BRIAN WERNER
Print Contractor Name

PROPOSED PROJECT START DATE = _____

CERTIFICATE OF INSURANCE FOR WORKING IN ROAD RIGHT-OF-WAY

ALL CONTRACTORS OR OWNER / AGENCY SHALL HAVE ON FILE A CERTIFICATE OF INSURANCE NAMING TILLAMOOK COUNTY AS CERTIFICATE HOLDER.

SPECIAL PROVISIONS TO BE COMPLETED BY COUNTY ROAD DEPARTMENT

1. A performance bond in the amount of \$ _____ shall be required prior to the issuing of this permit to cover inspection and assure compliance with conditions of permit.
2. A certificate of liability insurance has been verified. [] YES. [] NO.
3. A copy of liability insurance is [] on file, OR [] attached.
4. Activities of the operation, trenching, plowing, boring or tunneling shall be at least _____ feet from the edge of pavement **and / or** a minimum of _____ feet from center of traveled road.
5. Any feature above ground shall be a minimum of _____ feet from edge of pavement **and / or** _____ feet from center of traveled road.
6. Open cutting of paved or surfaced portion of the highway is [] is not [] permitted.
7. Asphaltic concrete patches shall be a total of _____ inches in compacted depth, _____ lift(s) of _____ inches each.
8. Maintenance of construction area and paving for all installations is the responsibility of the Applicant for one year after completion. Please contact us when completed.
9. Phone Number & Name of contact person responsible for maintenance of UTILITY FACILITY

PHONE _____

NAME OF CONTACT _____

Letter of requirements attached. YES [] / NO [].

INSPECTED AND RESTORATION COMPLETED: DATE _____

INSPECTION BY _____

FINAL INSPECTION AFTER ONE YEAR: DATE _____

INSPECTION BY _____

PERMIT # NU 5563



08/20/2020

Public Works Administrator Signature of Permit Approval

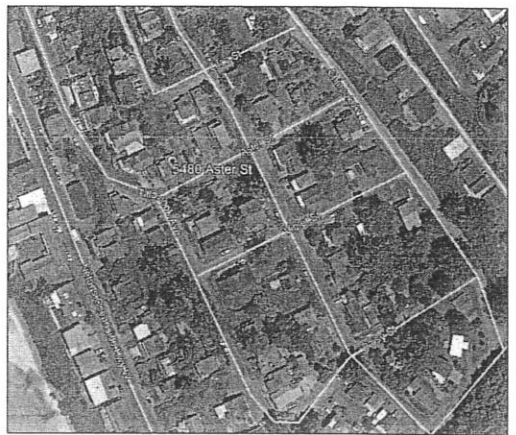
Date

GENERAL NOTES

- 1. These plans were designed to conform to the latest edition of the Uniform Building Code at the time the plans were drawn. In the event of a conflict between applicable codes and regulations and reference standards of these plans and specifications, the more stringent provisions shall govern. Any additional design or framing services required by the building official or inspector by the contractor or owner as advised by Stricker Engineering is considered a separate contract.

STRUCTURAL DESIGN NOTES

- 1. Structure risk category: 2
2. Design wind load: ASCE 7
3. Design roof live load: 20 PSF
4.1. Design roof snow load: 20 PSF
4.2. Thermal break: U=0.05
4.3. Slab edge exposure factor, C_e = 0.8
4.4. Slab edge permeability factor, K_e = 1.10
4.5. Thermal factor, C_t = 1.0
5. WIND DESIGN
5.1. Ultimate design wind speed, V = 135 MPH
5.2. Wind exposure: D
5.3. Internal pressure coefficient, C_pi = +/- 0.18
5.4. Design wind pressure used for components and cladding: 128 PSF
6. SEISMIC DESIGN
6.1. Seismic response factor, R = 1.25
6.2. Seismic design category, C_s = 1.0
6.3. Seismic response coefficient, C_d = 1.1
6.4. Response modification factor, R = 1.1
6.5. Analyze primary steel reinforced concrete frame
6.6. Design base shear, V = 127.11 k
7. Design framing pressure: 1500 PSF



FOUNDATIONS

- 1. Dimensions shown are for reference only, confirm of architectural plan & notes.
2. Bottom of footing to be placed below final finish as noted in the geotechnical report, unless otherwise noted.
3. Coordinate placement of all utility, mechanical ducts, piping, and electrical conduits with existing structure in structural framing. Always consult owner for reference and coordinate footing with notes.
4. All footing walls to be isolated unless otherwise noted otherwise. All wood posts to have chemical treated ends.
5. All footings to bear on firm, undisturbed non-expansive, non-compressive native material, or structural fill.

CONCRETE

- 1. All foundation walls, footings, and slabs shall develop a minimum compressive strength of 3,000 psi at 28 days.
2. Apply "PASAAL" or equal boron loading on all exterior faces of walls below grade.

REINFORCING STEEL

- 1. All reinforcing steel shall be determined and determined shall conform to ASTM A618, grade 60 and 420 bars, grade 60 for 420.
2. All reinforcing steel to be manufactured, finished, fabricated and placed in accordance with A.C.I. 318M, A.C.I. 308R, and A.C.I. 309.
3. All reinforcing steel shall be lap spliced in accordance with A.C.I. 318M, A.C.I. 308R, and A.C.I. 309.
4. Reinforcement shall be lap spliced and shall not be welded.
5. Reinforcement in concrete and masonry shall have lengths as follows unless otherwise specified or otherwise:
5.1. Bar: 1.25 L_d
5.2. Bar: 20" or maximum, 20" or maximum
5.3. Bar: 1.25 L_d
6. Reinforcement shall be anchored, placed and supported by concrete, masonry or other approved means, unless otherwise noted.
7. Splice bars shall be lap spliced and shall have concrete cover as follows:
7.1. Concrete: 4"
7.2. Formed concrete against wall: 2"
7.3. Exterior face of wall: 2"
7.4. Interior face of wall: 2"
7.5. Top of diaphragm: 2"

WOOD FRAMING

- 1. All solid core lumber shall be Douglas Fir (DF), as indicated on notes in the plans and otherwise as specified in the applicable building codes, unless otherwise noted (U.S.P.N.). Lumber shall be graded in accordance with current National Forest Products Association (NFPA) standard grading rules. Lumber grades shall be as follows:
1.1. Posts, beams, & bracing: #2 S.F. OR BETTER U.S.P.N.
1.2. Floor joists & ceiling joists: #2 S.F. U.S.P.N.
1.3. Sheathing & blocking: #2 S.F. U.S.P.N.
1.4. Studs: #2 S.F. U.S.P.N.
1.5. P-100 wall blocking: #2 S.F. U.S.P.N.
1.6. Stud wall blocking: #2 S.F. U.S.P.N.
1.7. Sub-floor over joists: #2 S.F. U.S.P.N.
1.8. Sheathing over joists: #2 S.F. U.S.P.N.
1.9. Sheathing over studs: #2 S.F. U.S.P.N.
1.10. Sheathing over joists: #2 S.F. U.S.P.N.
2. Lumber & masonry shall be protected from decay by preservative treatment (P.T.) as follows:
2.1. Lumber & masonry shall be treated with a preservative treatment (P.T.) as follows:
2.2. Lumber & masonry shall be treated with a preservative treatment (P.T.) as follows:
2.3. Lumber & masonry shall be treated with a preservative treatment (P.T.) as follows:
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2.97. Lumber & masonry shall be treated with a preservative treatment (P.T.) as follows:
2.98. Lumber & masonry shall be treated with a preservative treatment (P.T.) as follows:
2.99. Lumber & masonry shall be treated with a preservative treatment (P.T.) as follows:
3. Use all joints in masonry of 2" or less at all other supports.

NAILING SCHEDULE

- 1. Nail for all joists: (3) 16d nails @ 24" o.c.
2. Bridging to joists: (2) 16d nails each end
3. Joist to blocking to beams: (2) 16d nails each end
4. Rim joist to joist: (2) 16d nails each end
5. Joist to blocking to joist: (2) 16d nails each end
6. Joist to blocking to joist: (2) 16d nails each end
7. Joist to blocking to joist: (2) 16d nails each end
8. Joist to blocking to joist: (2) 16d nails each end
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14. Joist to blocking to joist: (2) 16d nails each end
15. Joist to blocking to joist: (2) 16d nails each end
16. Joist to blocking to joist: (2) 16d nails each end

NAILING SCHEDULE NOTES

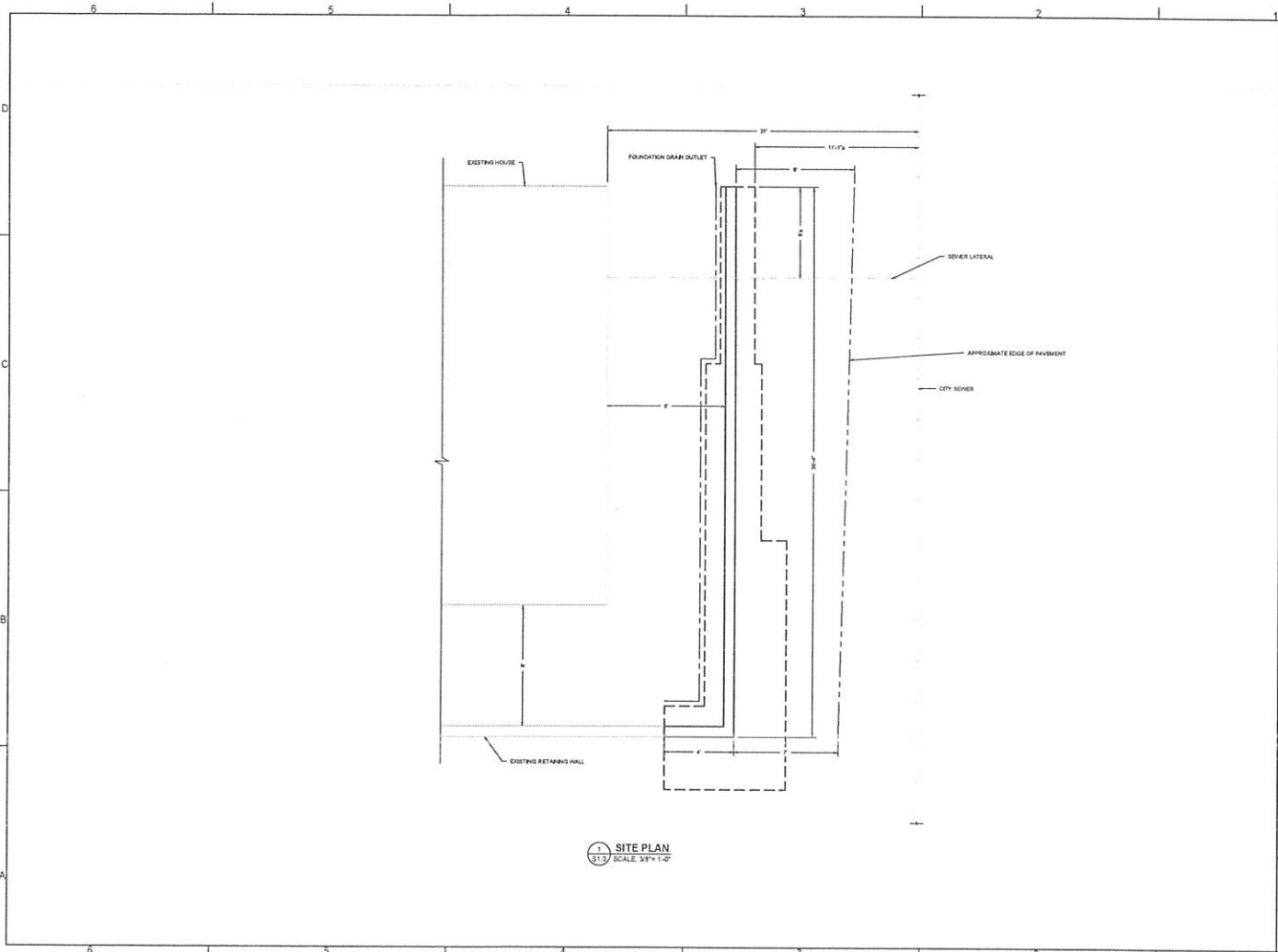
- 1. All walls shall have double plates at 18" o.c. U.S.P.N.
2. Top plates shall be double at all walls U.S.P.N.
3. Trimmed ends of joists shall be continuous to side plate.
4. Double plates under all walls shall be per U.S.P.N.
5. Use in blocking in all other walls.
6. These walls blocking between all joists and where at support walls.
7. Beams, girders, and joists shall be the matched sizes approved by Stricker Engineering.
8. Beams shall not be reduced in support unless approved by Stricker Engineering.
9. Use all joints in masonry of 2" or less at all other supports.

HOLDOWN SCHEDULE

Table with columns for HOLDOWN, STEINWALL, and SLAB ON GRADE, with sub-columns for MIDWALL/CORNER and END WALL. Rows include HOU14-S0215, HOU14-S0215, HOU14-S0215, HOU14-S0215, HOU14-S0215.

SHEARWALL, HOLDOWN, AND DIAPHRAGM NOTES

- 1. Roof Diaphragm: F-COR Plywood, length perpendicular to joist span. Stagger panel edges 18" and 60" corners.
2. Floor Diaphragm: F-COR Plywood (or) equivalent length perpendicular to joist span. Stagger P.E. and 60" corners @ 4" o.c. panel edges, except as noted otherwise. 12" o.c. field.
3. Shear walls: F-COR Plywood (or) equivalent length perpendicular to joist span. Stagger P.E. and 60" corners @ 4" o.c. panel edges, except as noted otherwise. 12" o.c. field.
4. Anchor Bolts: ASTM A307 galvanized, Provide A4s by Simpson-Holloway per manufacturer. Use #3 bars, 12" long, with 3" dia. of plate under in slab. 30" P.E. 60" dia. Use 3/4" dia. bars with 3" dia. of plate under in slab.
5. Anchor Bolts: ASTM A307 galvanized, Provide A4s by Simpson-Holloway per manufacturer. Use #3 bars, 12" long, with 3" dia. of plate under in slab. 30" P.E. 60" dia. Use 3/4" dia. bars with 3" dia. of plate under in slab.
6. Shear walls: F-COR Plywood (or) equivalent length perpendicular to joist span. Stagger P.E. and 60" corners @ 4" o.c. panel edges, except as noted otherwise. 12" o.c. field.
7. CDX Plywood or an equivalent steel deck shall be used for diaphragms and shearwalls. Where no blocking is shown, (2) 2x blocking to NOT an acceptable substitute. The blocking must be 4x, 8x, 12x, 16x, 20x, 24x, 30x, 36x, 42x, 48x, 54x, 60x, 66x, 72x, 78x, 84x, 90x, 96x, 102x, 108x, 114x, 120x, 126x, 132x, 138x, 144x, 150x, 156x, 162x, 168x, 174x, 180x, 186x, 192x, 198x, 204x, 210x, 216x, 222x, 228x, 234x, 240x, 246x, 252x, 258x, 264x, 270x, 276x, 282x, 288x, 294x, 300x, 306x, 312x, 318x, 324x, 330x, 336x, 342x, 348x, 354x, 360x, 366x, 372x, 378x, 384x, 390x, 396x, 402x, 408x, 414x, 420x, 426x, 432x, 438x, 444x, 450x, 456x, 462x, 468x, 474x, 480x, 486x, 492x, 498x, 504x, 510x, 516x, 522x, 528x, 534x, 540x, 546x, 552x, 558x, 564x, 570x, 576x, 582x, 588x, 594x, 600x, 606x, 612x, 618x, 624x, 630x, 636x, 642x, 648x, 654x, 660x, 666x, 672x, 678x, 684x, 690x, 696x, 702x, 708x, 714x, 720x, 726x, 732x, 738x, 744x, 750x, 756x, 762x, 768x, 774x, 780x, 786x, 792x, 798x, 804x, 810x, 816x, 822x, 828x, 834x, 840x, 846x, 852x, 858x, 864x, 870x, 876x, 882x, 888x, 894x, 900x, 906x, 912x, 918x, 924x, 930x, 936x, 942x, 948x, 954x, 960x, 966x, 972x, 978x, 984x, 990x, 996x, 1002x, 1008x, 1014x, 1020x, 1026x, 1032x, 1038x, 1044x, 1050x, 1056x, 1062x, 1068x, 1074x, 1080x, 1086x, 1092x, 1098x, 1104x, 1110x, 1116x, 1122x, 1128x, 1134x, 1140x, 1146x, 1152x, 1158x, 1164x, 1170x, 1176x, 1182x, 1188x, 1194x, 1200x, 1206x, 1212x, 1218x, 1224x, 1230x, 1236x, 1242x, 1248x, 1254x, 1260x, 1266x, 1272x, 1278x, 1284x, 1290x, 1296x, 1302x, 1308x, 1314x, 1320x, 1326x, 1332x, 1338x, 1344x, 1350x, 1356x, 1362x, 1368x, 1374x, 1380x, 1386x, 1392x, 1398x, 1404x, 1410x, 1416x, 1422x, 1428x, 1434x, 1440x, 1446x, 1452x, 1458x, 1464x, 1470x, 1476x, 1482x, 1488x, 1494x, 1500x, 1506x, 1512x, 1518x, 1524x, 1530x, 1536x, 1542x, 1548x, 1554x, 1560x, 1566x, 1572x, 1578x, 1584x, 1590x, 1596x, 1602x, 1608x, 1614x, 1620x, 1626x, 1632x, 1638x, 1644x, 1650x, 1656x, 1662x, 1668x, 1674x, 1680x, 1686x, 1692x, 1698x, 1704x, 1710x, 1716x, 1722x, 1728x, 1734x, 1740x, 1746x, 1752x, 1758x, 1764x, 1770x, 1776x, 1782x, 1788x, 1794x, 1800x, 1806x, 1812x, 1818x, 1824x, 1830x, 1836x, 1842x, 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1 SITE PLAN
SCALE 3/8"=1'-0"



NO.	DATE	REVISIONS

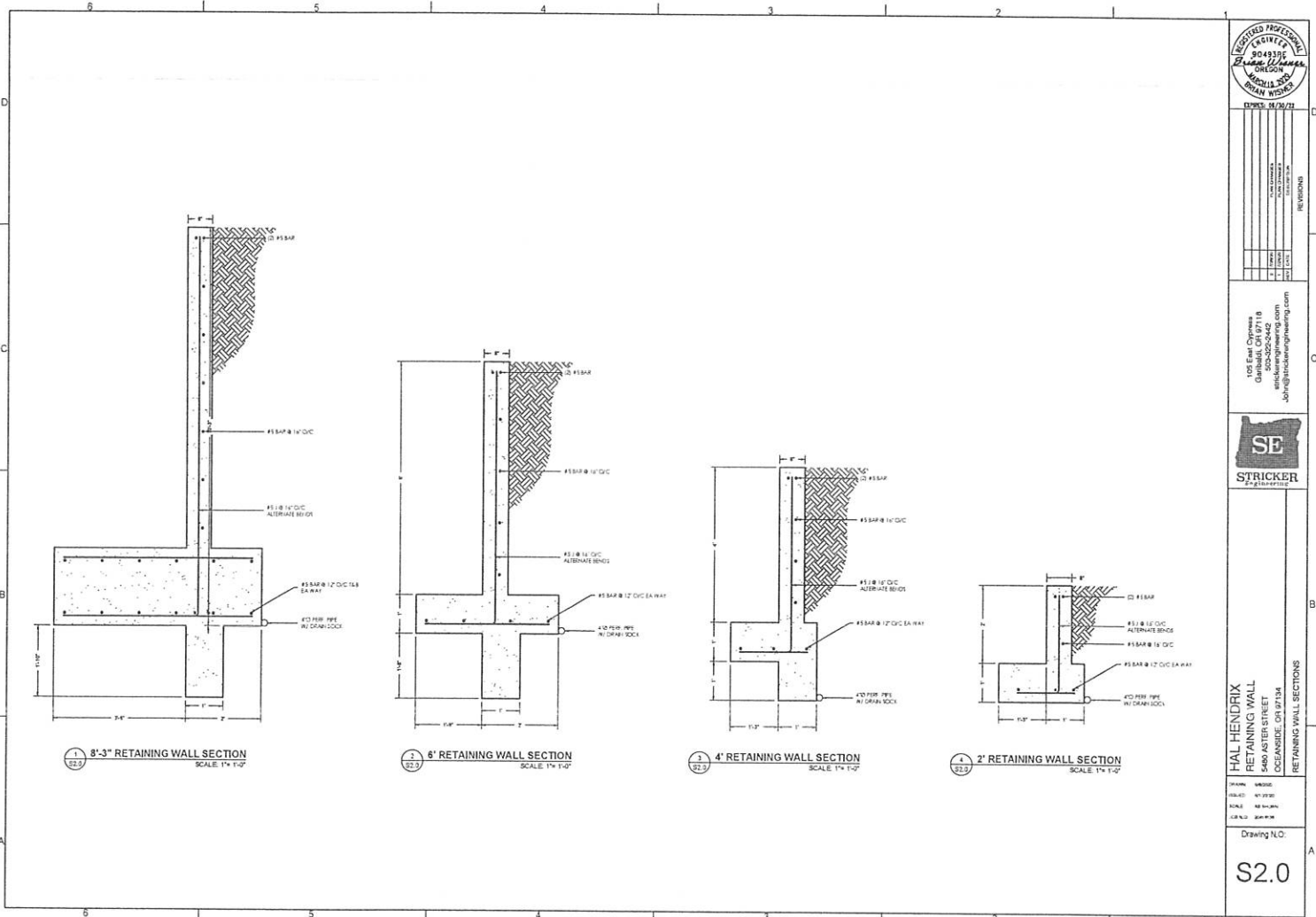
105 East Cypress
Garbahl, OH 47118
info@strickerengineering.com
John@strickerengineering.com



HAL HENDRIX
RETAINING WALL
1400 LASTER STABLES
POCAHONTE, OH 47154
SITE PLAN

DATE: 08/20/22
SCALE: 3/8"=1'-0"
SCALE: AS SHOWN
DRAWN BY: JHS

Drawing N.O.:
S1.0



NO.	DATE	REVISIONS
1		
2		
3		
4		

105 East Cypress
Garbalt, OH 47116
brian@strickerengineering.com
Job#16040000000000000000



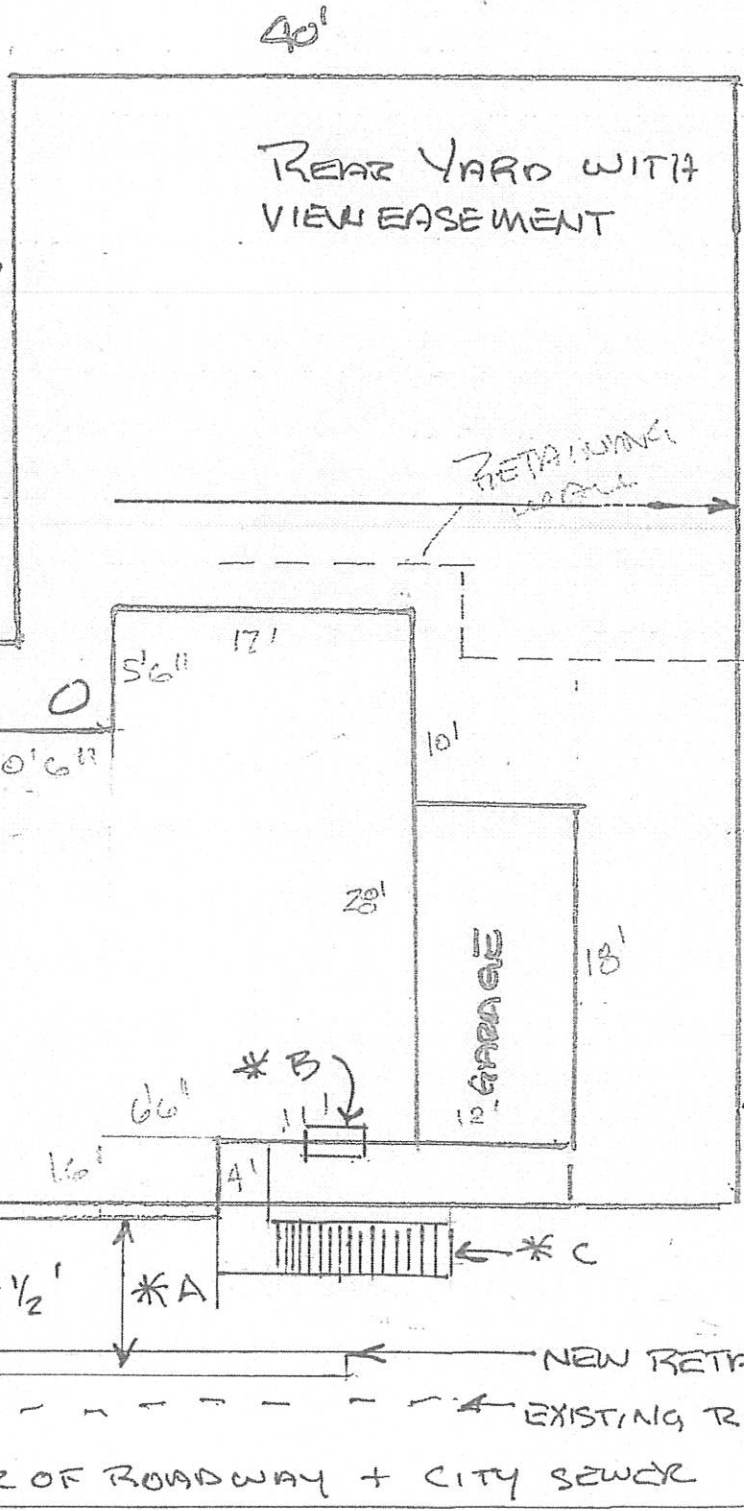
HAL HENDRIX
RETAINING WALL
5400 ASTER STREET
OCEANSIDE, OH 47134

RETAINING WALL SECTIONS

DRAWN: BHP
CHECKED: BHP
SCALE: AS SHOWN
JOB NO: 16040000000000000000

Drawing N.O.
S2.0

TERRI WARREN
 5480 ASTER ST
 OCEANSIDE OR
 503 701 2798
 PERMIT # RU5503



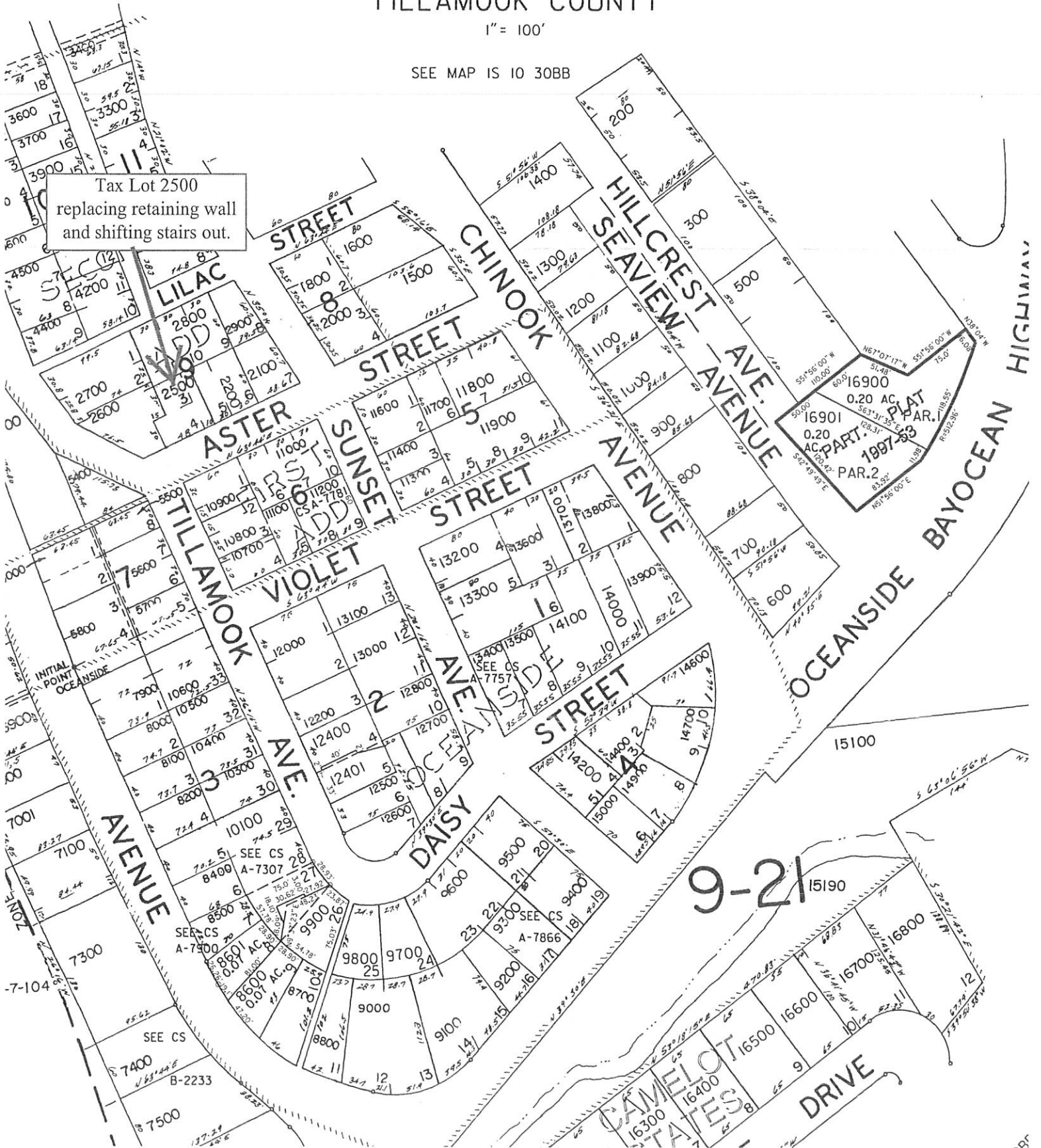
- *A PERMITTED ENCROACHMENT AREA
- *B NEW EGRESS WINDOW
- *C REPLACEMENT STAIRS WITH LANDING TO EXTEND 41 FEET FROM FRONT OF HOUSE INTO ENCROACHMENT

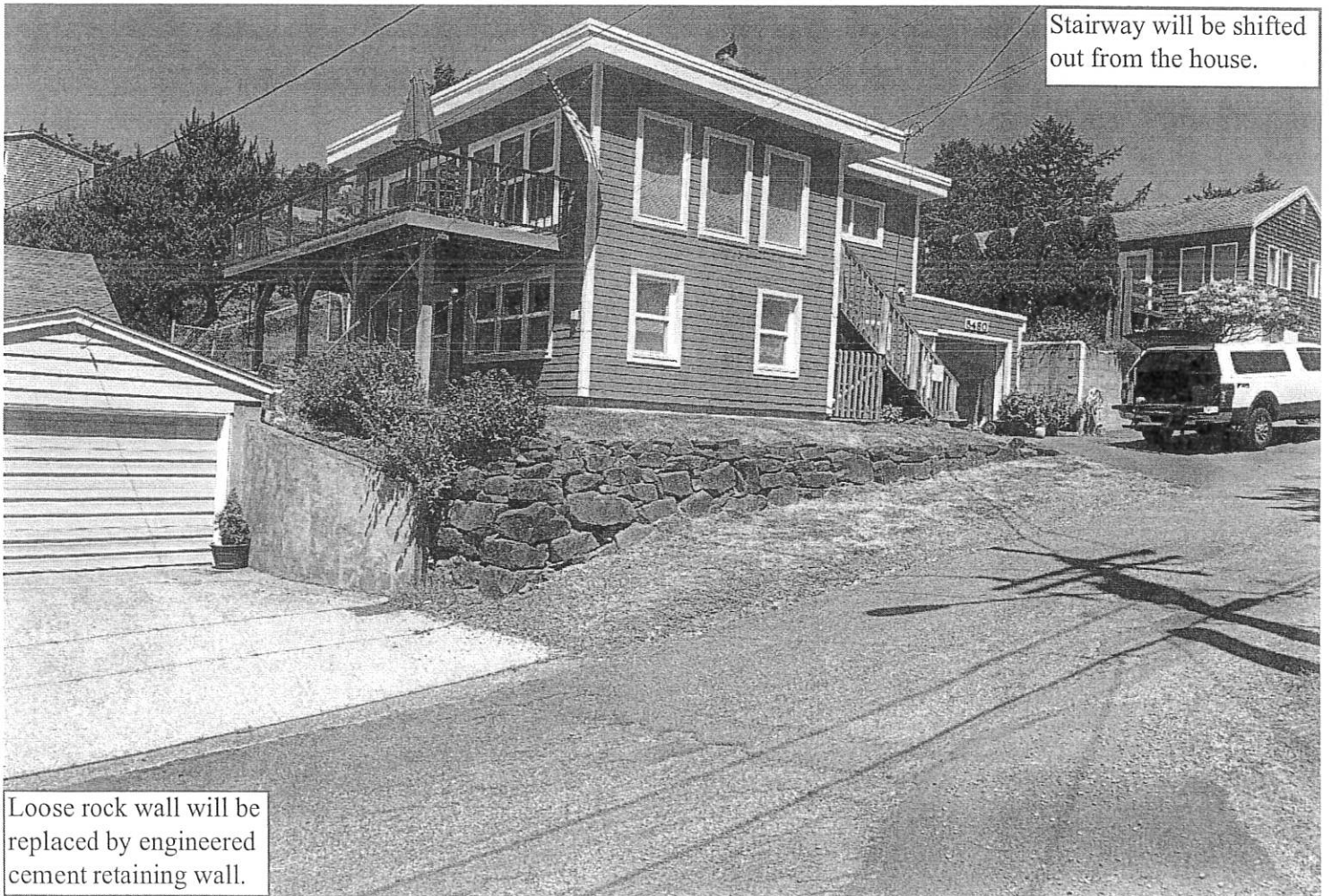
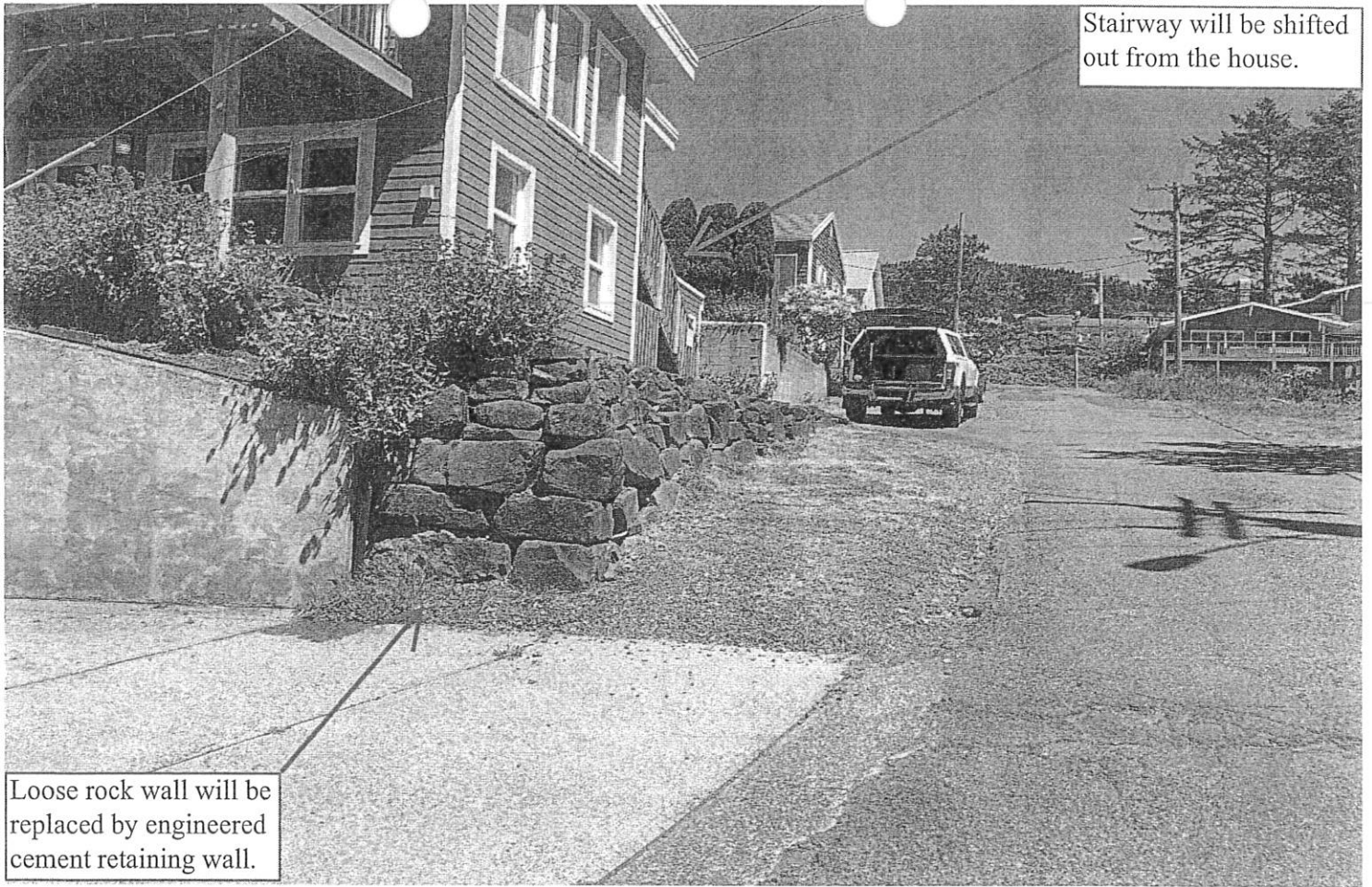
SW1/4 NW1/4 SEC.30 T.1S. R.10W. W.M.
TILLAMOOK COUNTY

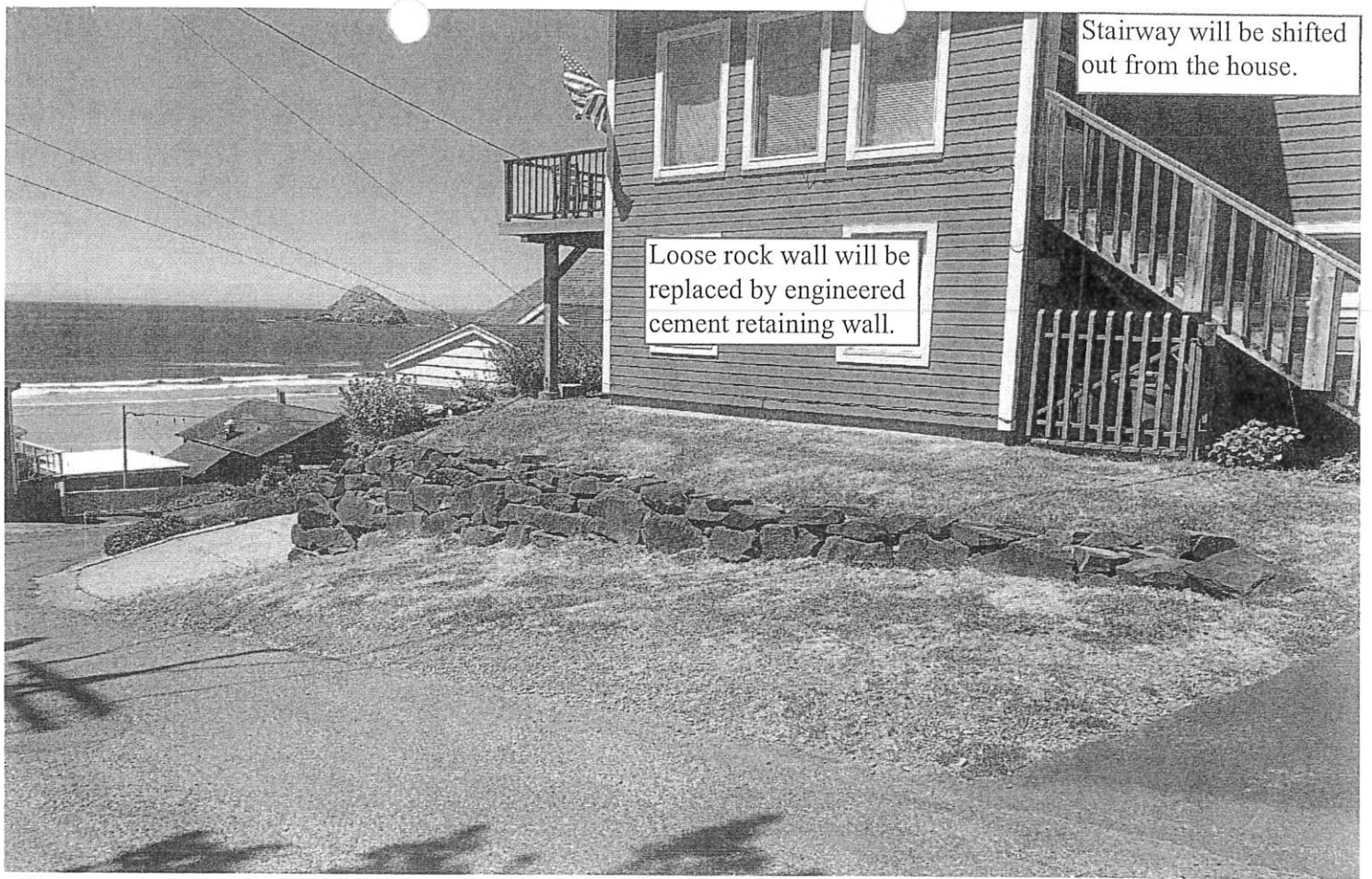
1" = 100'

SEE MAP IS 10 30BB

Tax Lot 2500
replacing retaining wall
and shifting stairs out.





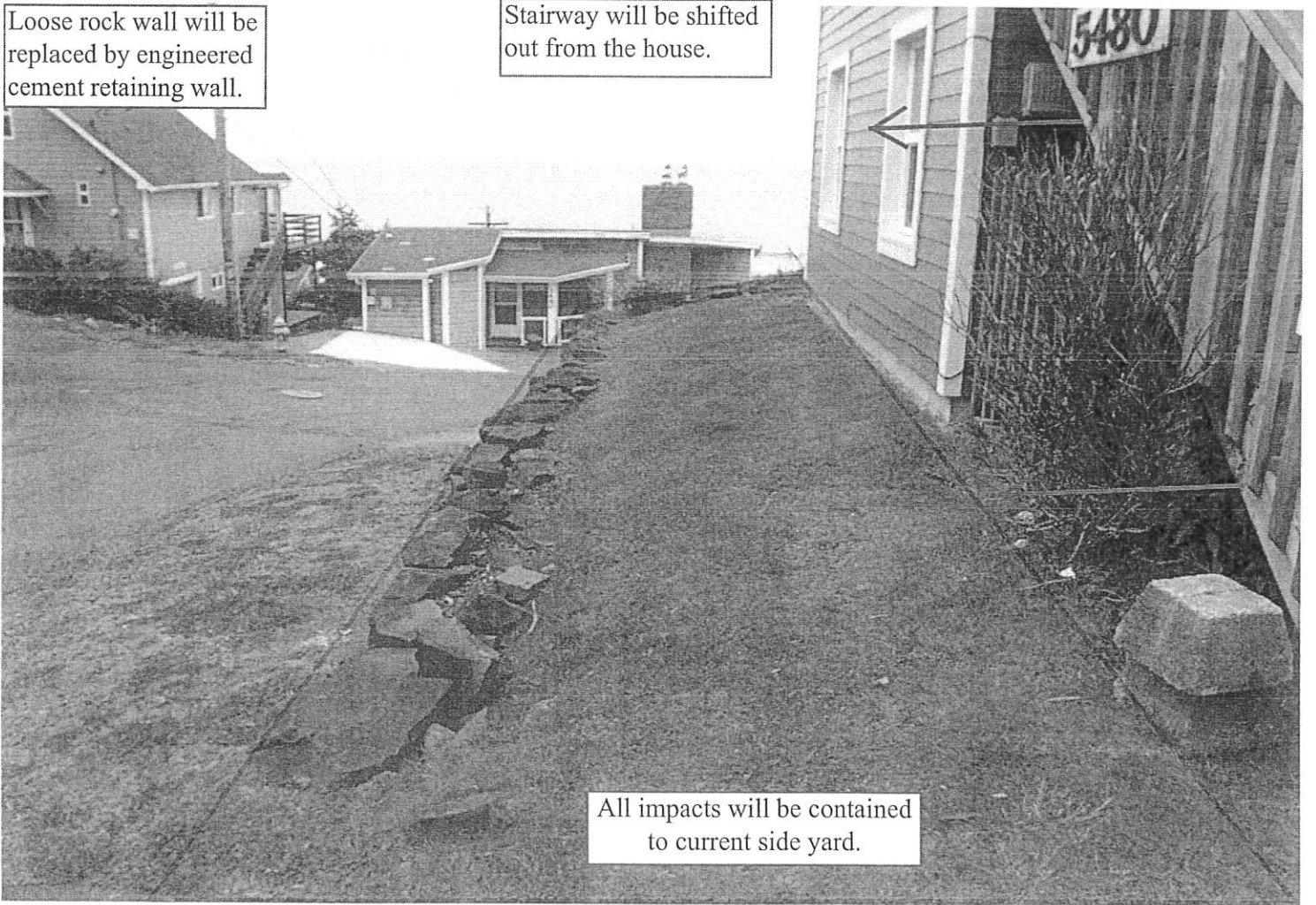


Stairway will be shifted out from the house.

Loose rock wall will be replaced by engineered cement retaining wall.

Loose rock wall will be replaced by engineered cement retaining wall.

Stairway will be shifted out from the house.



All impacts will be contained to current side yard.

9829-Y

Allan E. Duncan
4206 Cypress St.
Tillamook, OR 97141
503-842-5478

ALLAN E. DUNCAN
REGISTERED
LAND SURVEYOR
No. 12345
OR. REG. NO. 12345
ALLAN E. DUNCAN
7-5-83

NARRATIVE
This survey was conducted as a retracement survey of the subject lots exterior boundary and as a partition survey to lot line adjust the east 20 feet of Lot 5.
Prior survey, Map A-5363 established iron bars the west line of the subject tract, both iron bars were recovered from an adjoining garage after removal by construction.
The north line of Lot 8 was held at record distance, and the west line of Sunset Avenue held at record bearing and the south line of Lot 7 calculated to close. All record bearings were held.

BASIS OF BEARINGS: The value of N 26°16' W between the found monuments on the centerline of Sunset Avenue, the record value from the plat of First Addition to Oceanside.

LEGEND

⊙ = 1 set 5/8" x 30" iron bar with yellow plastic cap marked "A DUNCAN LS 793".

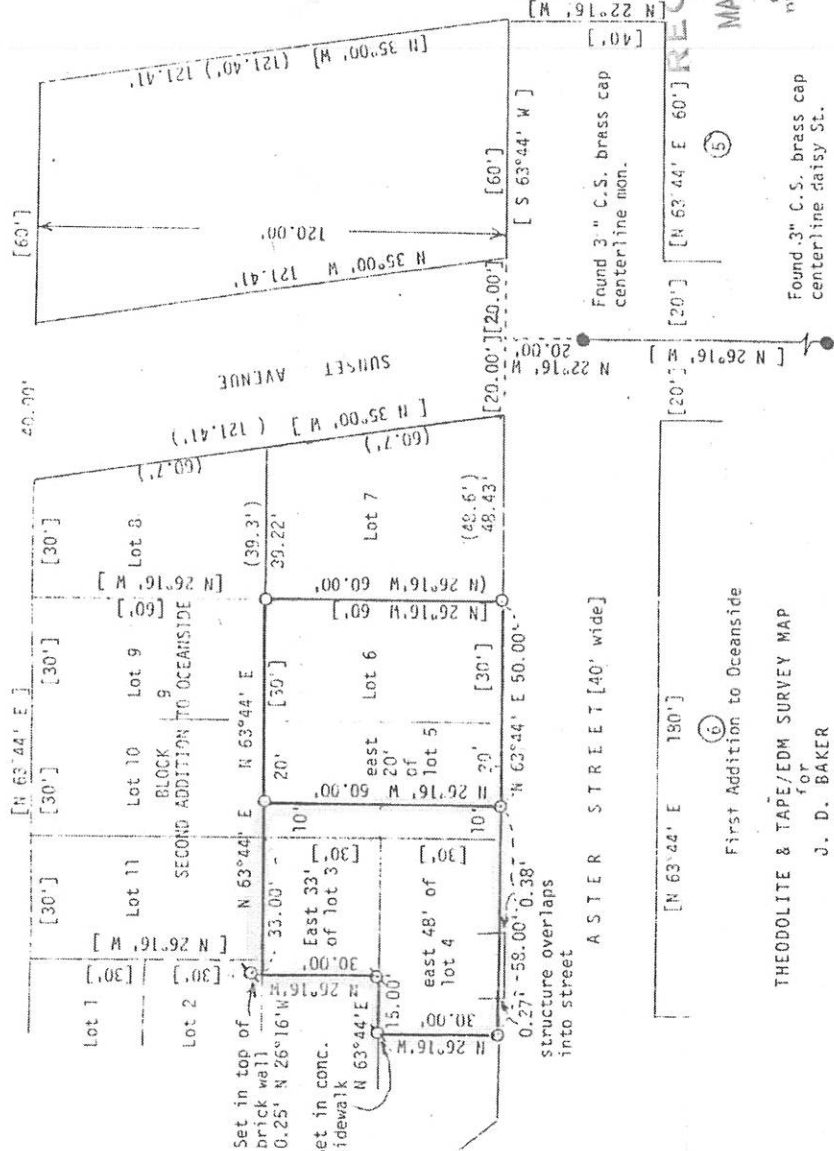
⊙ = 1 set lead-plug in-concrete, with yellow plastic disc marked "A DUNCAN LS 793".

[xxx] = Record value from the plat of Second Addition to Oceanside held.

(xxx) = Record value from Map A-5363 held.

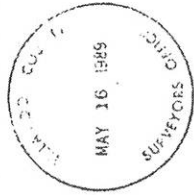
● = Monument found, size & type noted.

LILAC STREET



FRACTIONAL LOTS 3 & 4; Lots 5 & 6, BLOCK 9, SECOND ADDITION TO OCEANSIDE

SW 1/4 Section 30, T. 1 S., R. 10 W., 11 M.
TILLAMOOK COUNTY, OREGON
MAY 13, 1989



A-5786

MAR 29 1989
COMMUNITY DEVELOPMENT