



*NOTICE TO MORTGAGEE, LIENHOLDER, VENDOR OR SELLER:
ORS 215 REQUIRES THAT IF YOU RECEIVE THIS NOTICE,
IT MUST BE PROMPTLY FORWARDED TO THE PURCHASER*

**NOTICE OF PUBLIC HEARING
TILLAMOOK COUNTY PLANNING COMMISSION**

Date of Notice: January 11, 2023

A public hearing will be held by the Tillamook County Planning Commission at 7:00p.m. on Thursday, February 9, 2023, at the Port of Tillamook Bay Conference Center, 4000 Blimp Boulevard, Tillamook, OR 97141 to consider the following:

#851-22-000286-PLNG Review of a Conditional Use request for the expansion of an existing recreational campground on a property accessed via Third Street, a State highway, west of the City of Tillamook addressed as 85 Third Street, Tillamook, Oregon. The subject property is zoned Rural Commercial (RC), is also within the Flood Hazard Overlay (FH) zone, Shoreland Overlay (SH) zone, Estuary Conservation 1 (EC1) zone and Freshwater Wetlands Overlay (FW) zone. Property is designated as Tax Lots 500 and 2300 of Section 26, Township 1 South, Range 10 West of the Willamette Meridian, Tillamook County, Oregon. Applicant and property owner is R3 Coastal LLC.

Notice of public hearing, a map of the request area, applicable specific request review criteria and a general explanation of the requirements for submission of testimony and the procedures for conduct of hearing has been mailed to all property owners within 250 feet of the exterior boundary of the subject property for which application has been made at least 10 days prior to the date of the hearing.

The applicable criteria include Tillamook County Land Use Ordinance Section 6.040: Review Criteria and the Tillamook County Comprehensive Plan. Applicable development standards include TCLUO Section 3.020: Rural Commercial (RC) Zone. Only comments relevant to the approval criteria are considered relevant evidence.

The hearing will take place at the Port of Tillamook Bay Conference Center with an option for virtual participation. For instructions on how to provide oral testimony at the February 9, 2023 hearing, please visit the Tillamook County Community Development homepage at <https://www.co.tillamook.or.us/commdev> for instructions and protocol or email Lynn Tone, Office Specialist 2, at ltone@co.tillamook.or.us. The virtual meeting link will be provided at the DCD homepage address as well as a dial in number for those who wish to participate via teleconference but are unable to participate virtually prior to the evening of the hearing.

Written testimony may be submitted to the Tillamook County Department of Community Development, 1510-B Third Street, Tillamook, Oregon, 97141 prior to 4:00 p.m. on the date of the February 9, 2023, Planning Commission hearing. If submitted by 4:00 p.m. on February 1, 2023, the testimony will be included in the packet mailed to the Planning Commission the week prior to the February 9, 2023, hearing. Failure of an issue to be raised in a hearing, in person or by letter, or failure to provide sufficient specificity to afford the decision-maker an opportunity to respond to the issue precludes appeal to the

Land Use Board of Appeals on that issue. Please contact Lynn Tone, Office Specialist 2, Tillamook County Department of Community Development, ltone@co.tillamook.or.us as soon as possible if you wish to have your comments included in the staff report that will be presented to the Planning Commission.

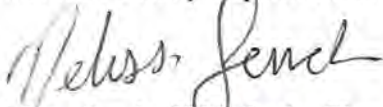
The documents and submitted application are also available on the Tillamook County Department of Community Development website (<https://www.co.tillamook.or.us/commdev/landuseapps>) or at the Department of Community Development office located at 1510-B Third Street, Tillamook, Oregon 97141. A copy of the application and related materials may be purchased from the Department of Community Development at a cost of 25 cents per page. The staff report will be available for public inspection on February 2, 2023. Please contact Lynn Tone for additional information ltone@co.tillamook.or.us or call 1-800-488-8280 x3423.

In addition to the specific applicable review criteria, the Tillamook County Land Use Ordinance, Tillamook County Land Division Ordinance, Tillamook County Comprehensive Plan, and Statewide Planning Goals which may contain additional regulations, policies, zones and standards that may apply to the request are also available for review at the Department of Community Development.

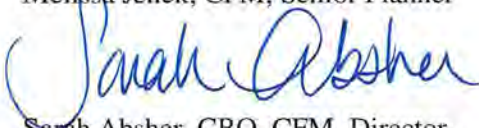
The Port of Tillamook Bay Conference Center is handicapped accessible. If special accommodations are needed for persons with hearing, visual, or manual impairments who wish to participate in the hearing, please contact 1-800-488-8280 ext. 3303, at least 24 hours prior to the hearing in order that appropriate communications assistance can be arranged.

If you need additional information, please contact Lynn Tone, DCD Office Specialist, at 1-800-488-8280 ext. 3423 or email ltone@co.tillamook.or.us.

Tillamook County Department of Community Development



Melissa Jenck, CFM, Senior Planner



Sarah Absher, CBO, CFM, Director

REVIEW CRITERIA

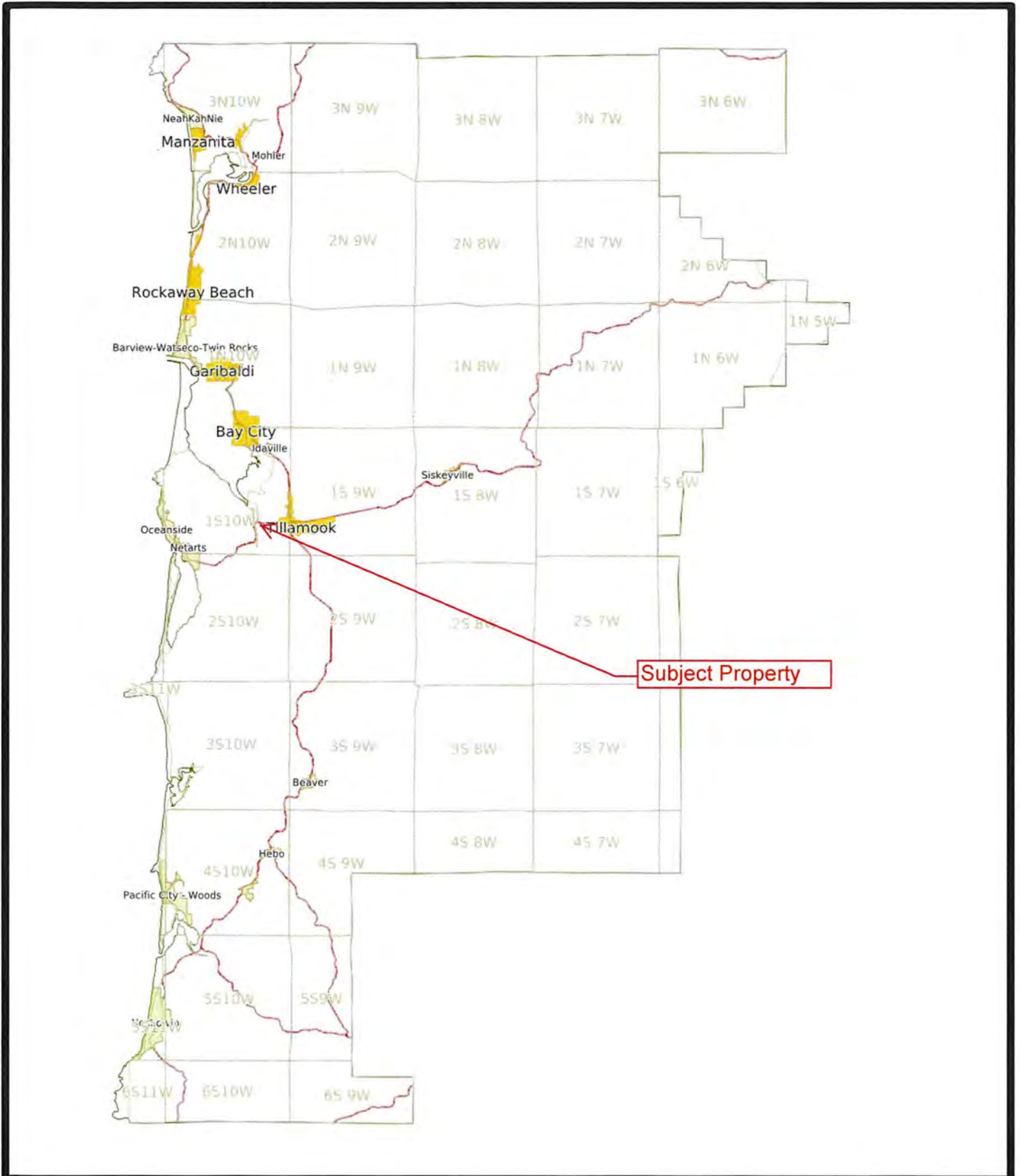
SECTION 6.040: REVIEW CRITERIA:

Any CONDITIONAL USE authorized according to this Article shall be subject to the following criteria, where applicable:

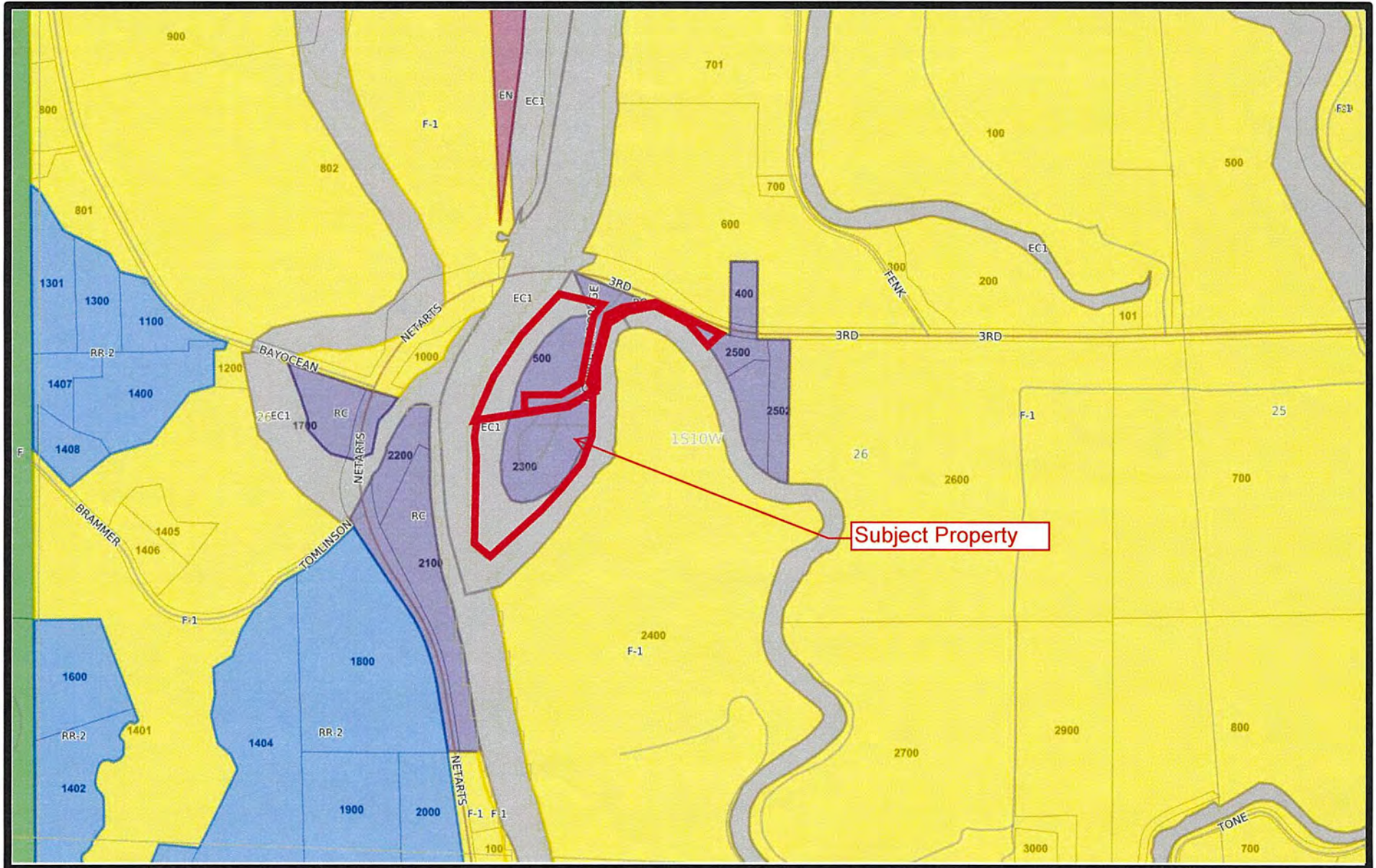
- (1) The use is listed as a CONDITIONAL USE in the underlying zone, or in an applicable overlying zone.
- (2) The use is consistent with the applicable goals and policies of the Comprehensive Plan.
- (3) The parcel is suitable for the proposed use considering its size, shape, location, topography, existence of improvements and natural features.
- (4) The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs or prevents the use of surrounding properties for the permitted uses listed in the underlying zone.
- (5) The proposed use will not have detrimental effect on existing solar energy systems, wind energy conversion systems or wind mills.
- (6) The proposed use is timely, considering the adequacy of public facilities and services existing or planned for the area affected by the use.

EXHIBIT A

Vicinity Map

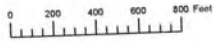


Zoning Map



Generated with the GeoMOOSE Printing Utilities

THIS MAP WAS PREPARED FOR
ASSESSMENT PURPOSE ONLY

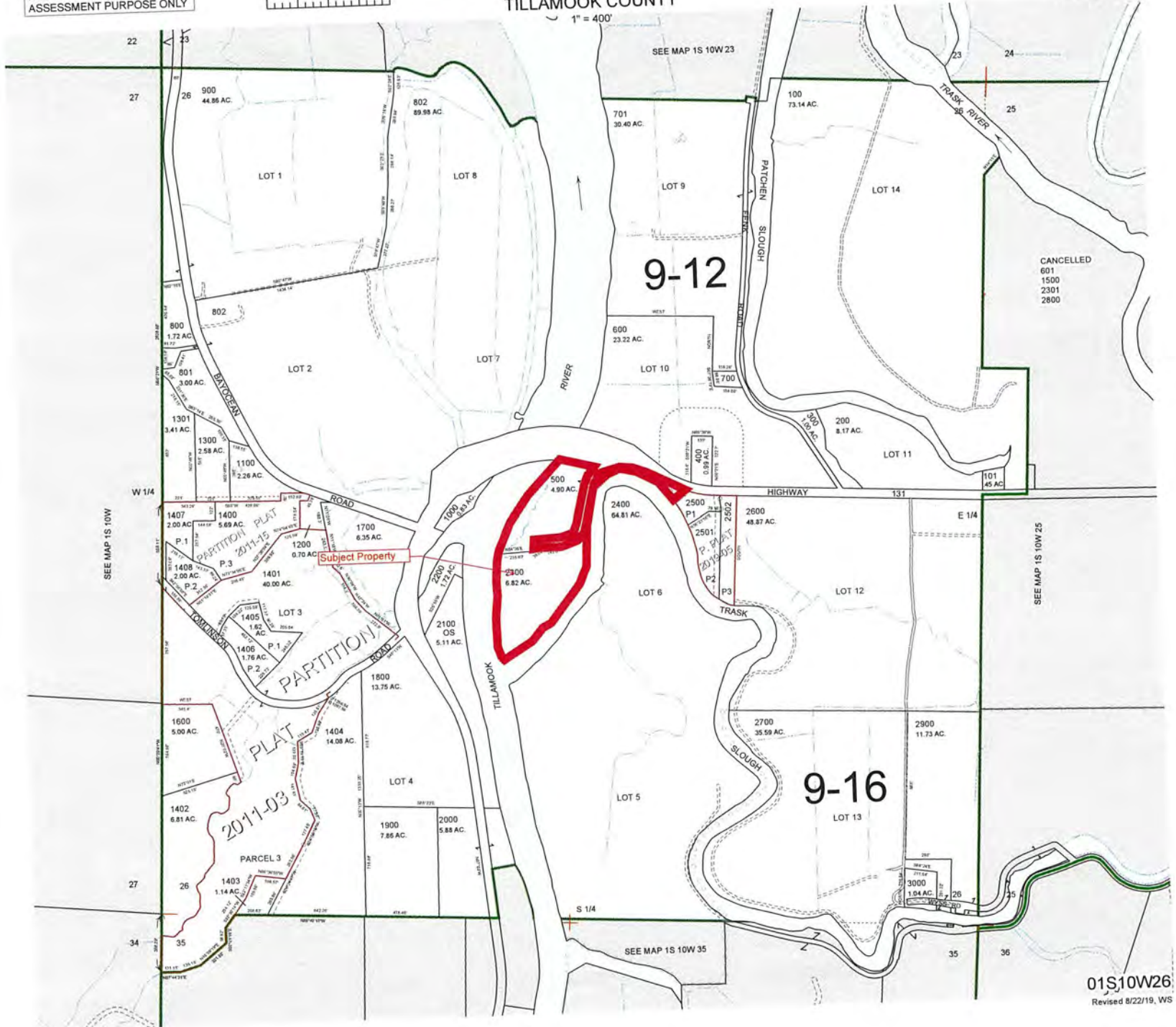


SECTION 26 T.1S. R.10W. W.M.

TILLAMOOK COUNTY

01S10W26

1" = 400'



TILLAMOOK County Assessor's Summary Report

Real Property Assessment Report

FOR ASSESSMENT YEAR 2021

January 11, 2023 12:23:21 pm

Account # 171860
Map # 1S10260000500
Code - Tax # 0912-171860

Tax Status ASSESSABLE
Acct Status ACTIVE
Subtype NORMAL

Legal Descr See Record

Mailing Name R3 COASTAL, LLC

Deed Reference # 2022-1777

Agent

Sales Date/Price 03-11-2022 / \$1,400,000.00

In Care Of

Appraiser KARI FLEISHER

Mailing Address 62570 EAGLE RD
 BEND, OR 97701

Prop Class 201 **MA** **SA** **NH** **Unit**
RMV Class 201 07 AC 500 10088-1

Situs Address(s) _____ **Situs City** _____

Code Area	RMV	MAV	Value Summary AV	RMV Exception	CPR %
0912 Land	5,230			Land	0
Impr.	6,300			Impr.	0
Code Area Total	11,530	11,180	11,180		0
Grand Total	11,530	11,180	11,180		0

Land Breakdown										
Code Area	ID#	RFPD	Ex	Plan Zone	Value Source	TD%	LS	Size	Land Class	Trended RMV
0912	1	<input checked="" type="checkbox"/>		RC	Commercial Site	110	A	4.90		5,230
Grand Total								4.90		5,230

Improvement Breakdown									
Code Area	ID#	Yr Built	Stat Class	Description	TD%	Total Sq. Ft.	Ex%	MS Acct #	Trended RMV
0912	1	2009	493	Miscellaneous - Yard Imps	110	10			6,300
Grand Total							10		6,300

Exemptions / Special Assessments / Potential Liability

NOTATIONS:
 ■ CHANGES TO VALUATION JUDGMENT (REDUCTION) 308.242 ADDED 2012

Comments: 4/15/10 Added new sign. Moved to MA 7, NH 500 part of Tillamook River RV Park. KF 10/20/10 Added back 2010 trends. KF 11/28/11 Commercial stat class conversion to 493. KF 12/27/12 Change in valuation judgment 308.242; reviewed per owner request. Lowered RMV to bring more in line with other counties. RBB 12/27/12 Brought values forward after 2012 correction. RBB 10/30/13 Reappraised RMV for 2014/15 using 2013/14 setup. KF 7/25/19 Due to a partition of TL 2500 and survey, there was a size correction on TL 500, 2500 and 2600. KF

TILLAMOOK County Assessor's Summary Report

Real Property Assessment Report

FOR ASSESSMENT YEAR 2021

January 11, 2023 12:23:43 pm

Account # 172949
Map # 1S10260002300
Code - Tax # 0912-172949

Tax Status ASSESSABLE
Acct Status ACTIVE
Subtype NORMAL

Legal Descr See Record

Mailing Name R3 COASTAL, LLC

Deed Reference # 2022-1777

Agent

Sales Date/Price 03-11-2022 / \$1,400,000.00

In Care Of

Appraiser KARI FLEISHER

Mailing Address 62570 EAGLE RD
 BEND, OR 97701

Prop Class 807 **MA** **SA** **NH** **Unit**
RMV Class 201 07 AC 500 21828-1

Situs Address(s)	Situs City
ID# 1 85 THIRD ST	COUNTY

Code Area		RMV	MAV	Value Summary AV	RMV Exception	CPR %
0912	Land	319,380			Land	0
	Impr.	43,860			Impr.	0
Code Area Total		363,240	178,960	178,960		0
Grand Total		363,240	178,960	178,960		0

Code Area	ID#	RFPD	Ex	Plan Zone	Value Source	Land Breakdown		Size	Land Class	Trended RMV
						TD%	LS			
0912	1	<input checked="" type="checkbox"/>		RC	Commercial Site	110	A	6.82		246,830
0912					LANDSCAPE - AVERAGE	100				1,500
0912					OSD - AVERAGE	100				18,000
0912					SITE DEVELOPMENT	100				53,050
Grand Total								6.82		319,380

Code Area	ID#	Yr Built	Stat Class	Description	Improvement Breakdown			Trended RMV
					TD%	Total Sq. Ft.	Ex% MS Acct #	
0912	1	1993	511	RV Park/Campground	110	300		43,860
Grand Total							300	43,860

Exemptions / Special Assessments / Potential Liability										
Code Area 0912										
SPECIAL ASSESSMENTS:										
■ SOLID WASTE					Amount	12.00	Acres	0	Year	2021
NOTATIONS:										
■ DEMOLISHED PROPERTY RMV & MAV ADJUSTED 308.146 ADDED 2008										

PP Account(s): 0912-3259

Comments: 5/14/08 Old residence and several outbuildings were demolished prior to 1/1/08. Adjusted RMV/MAV to reflect. KF 5/15/08 Revalued land & imps based on property review after demolition/sale. RMV change only. KF 2/9/09 Changed PCA. RV Park. KF 10/30/13 Reappraised RMV for 2014/15 using 2013/14 setup. KF

National Flood Hazard Layer FIRMette



123°52'52"W 45°27'32"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- | | |
|------------------------------------|---|
| SPECIAL FLOOD HAZARD AREAS | <ul style="list-style-type: none"> Without Base Flood Elevation (BFE)
<i>Zone A, V, A99</i> With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i> Regulatory Floodway |
| OTHER AREAS OF FLOOD HAZARD | <ul style="list-style-type: none"> 0.2% Annual Chance Flood Hazard, Area of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i> Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i> Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i> Area with Flood Risk due to Levee <i>Zone D</i> |
| OTHER AREAS | <ul style="list-style-type: none"> NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i> Effective LOMRs Area of Undetermined Flood Hazard <i>Zone</i> |
| GENERAL STRUCTURES | <ul style="list-style-type: none"> Channel, Culvert, or Storm Sewer Levee, Dike, or Floodwall |
| OTHER FEATURES | <ul style="list-style-type: none"> B 20.2 Cross Sections with 1% Annual Chance Water Surface Elevation 17.5 Coastal Transect Base Flood Elevation Line (BFE) Limit of Study Jurisdiction Boundary Coastal Transect Baseline Profile Baseline Hydrographic Feature |
| MAP PANELS | <ul style="list-style-type: none"> Digital Data Available No Digital Data Available Unmapped <p> The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.</p> |

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

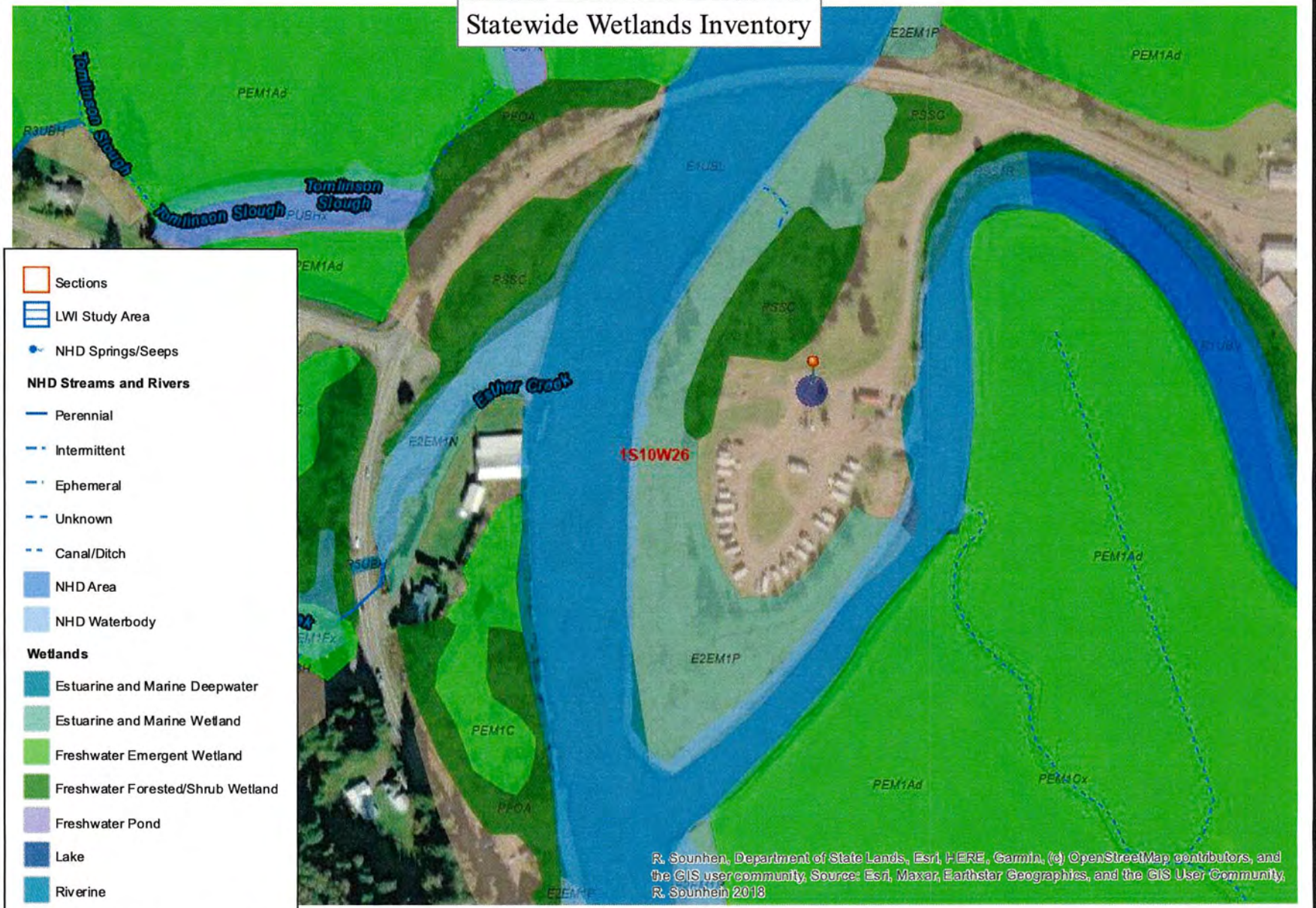
The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **1/11/2023 at 3:20 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

0 250 500 1,000 1,500 2,000 Feet 1:6,000

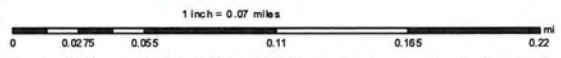
123°52'15"W 45°27'7"N

Statewide Wetlands Inventory



- Sections
- LWI Study Area
- NHD Springs/Seeps
- NHD Streams and Rivers**
- Perennial
- Intermittent
- Ephemeral
- Unknown
- Canal/Ditch
- NHD Area
- NHD Waterbody
- Wetlands**
- Estuarine and Marine Deepwater
- Estuarine and Marine Wetland
- Freshwater Emergent Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond
- Lake
- Riverine
- SWIPredominantlyHydricSoilMU
- SWIAGateWinlo

R. Sounhen, Department of State Lands, Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community, Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community, R. Sounhen 2018



The Statewide Wetlands Inventory (SWI) represents the best data available at the time this map was published and is updated as new data becomes available. In all cases, actual field conditions determine the presence, absence and boundaries of wetlands and waters (such as creeks and ponds). An onsite investigation by a wetland professional can verify actual field conditions.



Date: 1/11/2023



EXHIBIT B



Tillamook County Department of Community Development
 1510-B Third Street, Tillamook, OR 97141 | Tel: 503-842-3408 Fax: 503-842-1819
www.co.tillamook.or.us

PLANNING APPLICATION

OFFICE USE ONLY	
Date Stamp	
<input type="checkbox"/> Approved <input type="checkbox"/> Denied	
Received by:	
Receipt #:	
Fees: 13,000.00	
Permit No: 851-22-000281-PLNG	

Applicant (Check Box if Same as Property Owner)

Name: R3 Coastal, LLC Phone: 541-602-2580 / 541-280-8966
 Address: 62570 Eagle Rd
 City: Bend State: OR Zip: 97701
 Email: rishannonmd@gmail.com / rishannon96@gmail.com

Property Owner

Name: Phone:
 Address:
 City: State: Zip:
 Email:

Request: See attached narrative statement and other submittals

Type II

- Farm/Forest Review
- Conditional Use Review
- Variance
- Exception to Resource or Riparian Setback
- Nonconforming Review (Major or Minor)
- Development Permit Review for Estuary Development
- Non-farm dwelling in Farm Zone
- Foredune Grading Permit Review
- Neskowin Coastal Hazards Area

Type III

- Appeal of Director's Decision
- Extension of Time
- Detailed Hazard Report
- Conditional Use (As deemed by Director)
- Ordinance Amendment
- Map Amendment
- Goal Exception

Type IV

- Appeal of Planning Commission Decision
- Ordinance Amendment
- Large-Scale Zoning Map Amendment
- Plan and/or Code Text Amendment

Location:

Site Address: 85 Third St, Tillamook, OR 97141

Map Number: 1S10260000500 and 1S10260002300

Township

Range

Section

Tax Lot(s)

Clerk's Instrument #: _____

Authorization

This permit application does not assure permit approval. The applicant and/or property owner shall be responsible for obtaining any other necessary federal, state, and local permits. The applicant verifies that the information submitted is complete, accurate, and consistent with other information submitted with this application.



 Property Owner Signature (Required)

7/19/22

 Date

Applicant Signature

Date



BECON, LLC

Civil Engineering and Land Surveying

549 SW Mill View Way, Suite 100 • Bend OR, 97702 • 541.633.3140

**Revised Narrative Statement
Conditional Use Application Review
Tillamook Coast RV Park Expansion**

Applicant/Owner: R3 Coastal, LLC
62570 Eagle Rd
Bend, OR 97701
Robert Shannon MD
541-602-2580
Riley Shannon
541-280-9866

Engineer: BECON Civil Engineering & Land Surveying
549 SW Mill View Way, Suite 100
Bend, OR 97702
Trevor Munro, PE
541-633-3140

Law Firm: Hathaway Larson
1331 NW Lovejoy St, Suite 950
Portland, OR 97209
Chris Koback, Partner
503-303-3107

Location: The subject property is located at 85 Third St, Tillamook, OR 97141. The property tax lots are 1S10260000500 and 1S10260002300.

Request: Conditional use review and approval of the expansion of Tillamook Coast RV Park. The existing RV Park is located on two tax lots in the RC – Rural Commercial zone. The project proposes that the existing Mc Kinley Moorage Rd ROW be vacated to the property owner, which is supported by Tillamook County Public Works. The existing RV Park has 26 rental RV spaces and an additional manager’s RV space. The proposal is to add 27 rental RV spaces making the total site have 53 rental RV spaces and 1 manager’s RV space. Also included is the proposed expansion of the existing restroom and site wide septic holding tank system.

I. Applicable Criteria, Standards, and Procedures:

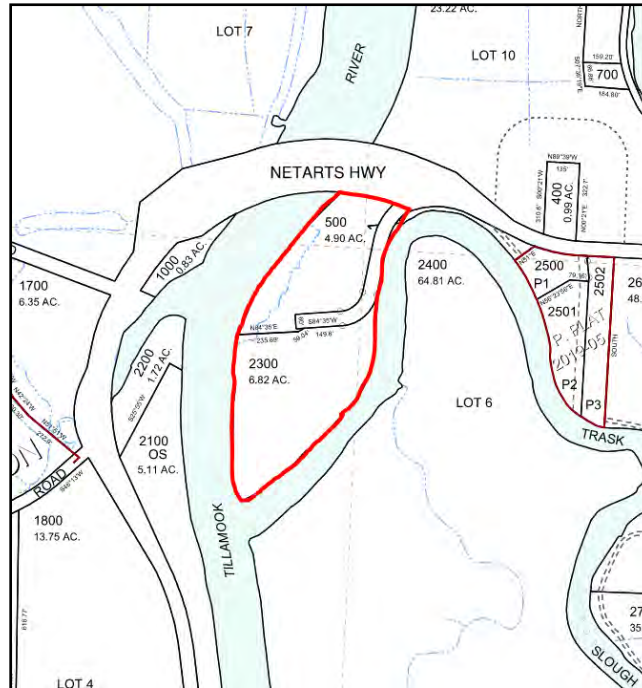
Tillamook County Land Use Ordinance (LUO)

Article 3 – Zone Regulations
3.020 RC Rural Commercial

- 3.510 FH Flood Hazard Overlay
- Article 4 – Development Standards
 - 4.005 Residential and Commercial Zone Standards
- Article 5 – Special Use Standards and Exceptions
 - 5.030 Recreational Campground Standards
- Article 6 – Conditional Use Procedures and Criteria
 - 6.010 Purpose
 - 6.020 Procedure
 - 6.030 General Requirements
 - 6.040 Review Criteria
 - 6.070 Conditions of Approval
 - 6.080 Compliance with Conditions
 - 6.090 Time Limit

II. General Facts:

1. **LOCATION:** The subject property is located at 85 Third St, Tillamook, OR 97141. The property tax lots are 1S10260000500 and 1S10260002300, and are outlined in red below.



2. **EXISTING ZONING AND GENERAL PLAN DESIGNATIONS:** The existing RV Park is located on two tax lots in the RC – Rural Commercial zone.
3. **SITE DESCRIPTION & SURROUNDING USES:** The subject properties total approximately 11.72 acres in size. This total area will increase with the vacation of the Mc Kinley Moorage Rd ROW. The properties are currently developed as an RV Park with a boat launch into the Trask Slough. It is surrounded by waterbodies to the west, east, and south. To the north is Netarts Highway (Hwy 131). The area immediately surrounding the subject property is primarily zoned EC-1 and F1 and is in agricultural use or undeveloped open space. There is RC property (TL 2100) west of the subject property separated by the Tillamook River. There appears to be a single farm dwelling and farm buildings on that property. There is also RC zoned property to the east (TL 2500/2501). Again, it appears that property is used for a farm dwelling and related structures.

4. **PROPOSAL:** The owner proposes the expansion of the existing Tillamook Coast RV Park. This is a conditional use for this zoning district, RC – Rural Commercial zone. The project proposes that the existing Mc Kinley Moorage Rd ROW be vacated to the property owner, which is supported by Tillamook County Public Works. The existing RV Park has 26 rental RV spaces and an additional manager’s RV space. The proposal is to add 27 rental RV spaces making the total site have 53 rental RV spaces and 1 manager’s RV space. Also included is the proposed expansion of the existing restroom and site wide septic holding tank system. Other improvements include landscaping, parking, drive aisles, water, sewer, and other utility and site features.

5. **SUBMITTALS:** In addition to this narrative statement, the applicant submits the following documents in support of this proposal:

- Signed Application Form
- County Assessor’s Summary Reports for Both Tax Lots
- Preliminary Site Plans
- Cramer Fish Sciences Wetland and Estuary Boundaries Memo
- EMS RV Dump Station and Holding Tanks System Preliminary Plans
- FEMA FIRM 41057C0560F
- Will-Serve Letters From the Water District, Power Company, and Trash Service
- Preliminary Water Availability Calculations

III. Conformance with the Applicable Approval Criteria:

Article 3 – Zone Regulations

3.020 RC Rural Commercial

(1) Purpose: The purpose of the RC zone is to permit a moderate level of commercial activities to serve the commercial needs of rural areas, and tourist areas. Commercial uses in the RC zone typically provide goods and services that would be required by most households in the area, and they have relatively few impacts on neighboring areas. Land is suitable for the RC zone because it:

- (a) Is needed;
- (b) Is physically capable of being developed;
- (c) Can obtain access to a public road without causing traffic hazards or congestion;
- (d) Will not cause significant conflicts with nearby residential uses; and
- (e) Has sufficient land area to accommodate off-street parking.

Response: *Tillamook County receives a significant number of tourists and visitors particularly during the summer months. There is a need in the county for more well-designed and high-quality RV spaces to meet the increasing demands. This project increases the quantity of available recreational spaces within the County. The site is located perfectly along the Tillamook River and Trask Slough with no other existing structures anywhere near the properties. The park is designed to optimize the space available and provide excellent features and maneuverability. It also reduces the strain on public agencies by being privately owned, while providing taxable income and property taxes.*

The site is physically capable of being developed as an expanded RV park. The site is relatively flat. It is already developed with 26 rental RV spaces, a manager’s RV space, and an office building. There are no natural features that limit development to expand the park. The primary natural feature near the site is the estuary and all proposed development is outside of the required setback from the estuary.

The site has direct access from Highway 131 via a local county road. The county road department has indicated that it supports vacation of the county right-of-way which will make the internal road serving

the park a private drive. The applicant understands that it must initiate a formal vacation process and is in the process of doing so. A condition of approval is appropriate because the road department has indicated support for vacation. The access to Highway 131 will remain the same. Comments from ODOT indicate that ODOT is not requiring the applicant to complete a TIA. It recommended requiring certain improvements under an upgrade permit to add 4 inches of asphalt over a 40-foot portion of the approach. That requirement can be included in a condition of approval.

The site is isolated on a peninsula with no other residential uses nearby. The closest residential property is approximately 200ft to the west, and separated by the Tillamook River from the subject site. There will be no conflict between the proposed use and any other residential uses.

The subject site is 11.72 acres. Even subtracting the required setback from the estuary, the site is sufficiently large to accommodate a 53-space (plus one manager's RV space) RV park. As the site plan and engineering drawings illustrate, using holding tanks as the primary sanitary sewer facilities, there is not a need for any large drain fields on the site. The plans and drawing also illustrate that there are no other significant natural features that limit development to expand the RV park by 27 spaces. All proposed new spaces will be on land that is relatively flat and does not contain significant trees, wetland or other natural features that can impact development.

(3) Uses Permitted Conditionally: In the RC zone, the following uses and their accessory uses are permitted subject to the provisions of Article IV and the requirements of all applicable supplementary regulations contained in this ordinance:

- (i) Mobile home or recreational vehicle
- (r) Recreational campgrounds without full hook-up requiring community septic system

Response: *The proposal is a conditional use in the RC zone.*

(4) Standards: Land divisions and development in the RC zone shall conform to the following standards, unless more restrictive supplemental regulations apply:

- (a) The minimum lot dimensions, yard setbacks, and building height restrictions for structures containing only residential use shall be the same as in the RR zone.

Response: *As the site plans illustrate, the proposed site meets all required minimum lot dimensions, yard setbacks, and building height restrictions.*

- (b) Minimum yards for any structure on a lot or parcel adjacent to a residential zone shall be 5 feet on the side adjacent to the residential zone, and 10 feet in the front yard. No rear yard is required.

Response: *The proposed site meets all required yard sizes.*

- (c) For commercial or combined commercial-residential structures, structures shall be either constructed on the property line or setback at least 3 feet or as required in Section 3.020 (4) (b).

Response: *All structures are greater than 3' from property lines.*

- (d) All structures shall meet the requirements for clear-vision areas specified in Section 4.010.

Response: *There are no structures or obstructions within the clear-vision areas.*

- (e) All uses shall meet off-street parking requirements as provided in Section 4.030.

Response: *The proposed use meets off-street parking requirements. Refer to Section 4.030 in this narrative.*

(f) Outdoor storage abutting or facing a lot in a residential zone shall be screened with a sight-obscuring fence.

Response: *This section is not applicable.*

(g) The maximum building height for commercial structures shall be 35 feet except on ocean or bay frontage lots, where it shall be 24 feet, higher structures may be permitted as a conditional use in accordance with Article VI.

Response: *All buildings are well below the maximum height. The existing office building and bathrooms/showers building are approximately 12 feet tall.*

(h) Scale of Commercial uses:

a. Outside an unincorporated community, the use shall not exceed a total of 3,000 square feet of floor area per use within a building(s)

b. Outside an unincorporated community a lawfully established use that existed prior to the adoption of this Section (December 4, 2002) may be expanded to occupy a maximum of 3,000 square feet of floor area, or an additional 25% of the floor area currently occupied, whichever is greater.

Response: *This section is not applicable.*

3.510 FH Flood Hazard Overlay Zone (FH)

(1) Purpose: It is the purpose of the FH zone to promote the public health, safety and general welfare and to minimize public and private losses or damages due to flood conditions in specific areas of unincorporated Tillamook County by provisions designed to:

(a) Protect human life and health;

(b) Minimize expenditure of public money for costly flood control projects;

(c) Minimize the need for rescue and relief efforts associated with flooding and generally undertaken at the expense of the public;

(d) Minimize prolonged business interruptions;

(e) Minimize damage to public facilities and utilities such as water and gas mains, electric, telephone and sewer lines, streets and bridges located in areas of special flood hazards;

(f) Help maintain a stable tax base by providing for the sound use and development of areas of special flood hazard so as to minimize future flood blight areas;

(g) Ensure that potential buyers are notified that property is in an area of special flood hazard; and

(h) Ensure that those who occupy the areas of special flood hazard assume responsibility for their actions.

(i) Maintain the functions and values associated with Special Flood Hazard Areas which reduce the risk of flooding.

Response: *Section 3.510(1) is a purpose statement and not a specific approval criterion. Nonetheless, the applicant submits that by acknowledging the requirements related to manufactured dwellings, including RVs, in the following sections, the proposed use is consistent with the purpose statement in this subsection.*

(2) Basis for Establishing the Areas of Special Flood Hazard: The areas of special flood hazard identified by the Federal Insurance Administration in a scientific and engineering report entitled "The Flood Insurance Study for Tillamook County" dated September 28, 2018, with an accompanying Flood Insurance Rate Maps (FIRMs), are hereby adopted by reference and declared to be a part of this ordinance. The Flood Insurance Study and the FIRM are on file at the Tillamook County Department of

Community Development at 1510-B Third Street, Tillamook, OR 97141. The best available information for flood hazard area identification as outlined in this Section shall be the basis for regulation until a new FIRM is issued that incorporates data utilized under this Section.

Response: *Per the FEMA National Flood Insurance Map 41057C0560F dated September 28, 2018, this site is within Zone AE.*

(5) General Standards: In all areas of special flood hazards the following are required.

Response: *The owner acknowledges that this property is within Zone AE, and will follow all requirements of this section during the building permit and engineering permit processes.*

(6) Specific Standards for A Zones (A, AE, or A1-A30): In all areas of special flood hazards where base flood data has been provided as set forth in Section 3.510(2) or other base flood data are utilized, the following provisions are required:

RESIDENTIAL CONSTRUCTION

Response: *No residential construction is proposed for this project. All 53 rental RV spaces and the existing manager's unit are to be used by recreational vehicles and no residential dwellings are to be constructed.*

NONRESIDENTIAL CONSTRUCTION

(c) New construction and substantial improvement of any commercial, industrial or other nonresidential structure shall have either the lowest floor including basement elevated to three feet above the level of the base flood elevation or higher; or, together with attendant utility and sanitary facilities, shall:

(1) Be floodproofed so that the portion of the structure that lies below the portion that is three feet or more above the base flood level is watertight with walls substantially impermeable to the passage of water.

(2) Have structural components capable of resisting hydrostatic and hydrodynamic loads and effects of buoyancy.

(3) Be certified by a registered professional engineer or architect that the design and methods of construction are in compliance with accepted standards of practice for meeting provisions of this Subsection based on their development and/or review of the structural design, specifications and plans. Such certifications shall be provided to the Community Development Director.

(4) Nonresidential structures that are elevated, not floodproofed, must meet the same standards for space below the lowest floor as described for residential construction in Section 3.510(6)(a) and (b).

(5) Applicants floodproofing nonresidential buildings shall be notified that flood insurance premiums will be based on rates that are one foot below the floodproofed level (e.g. a building constructed to the base flood level will be rated as one foot below that level).

Response: *The owner acknowledges that this property is within Zone AE, and will follow all specific standards listed above during the building permit and engineering permit processes. The above specific standards apply to the proposed restroom building, but do not apply to the existing restroom, storage shed, or office building.*

(7) Manufactured Dwellings: Any manufactured dwelling which incurs substantial damage as the result of a flood, must be elevated to the standards listed below.

Response: *The owner acknowledges this section specific to manufactured dwellings.*

(8) Recreational Vehicles: Recreational vehicles may occupy a site in a Special Flood Hazard Area for periods of 180 consecutive days or less provided they are fully licensed and highway ready. Recreational vehicles are on its wheels or jacking system, is attached to the site only by quick disconnect type utilities and security devices and has no permanently attached additions. Recreational vehicles that do not meet these criteria become manufactured dwellings and must be anchored and elevated pursuant to this ordinance.

Response: *The owner acknowledges this section specific to recreational vehicles.*

(9) Specific Standards for Floodways: Located within areas of special flood hazard established in Section 3.510(2) are areas designated as regulatory floodways. Since the floodway is an extremely hazardous area due to the velocity of flood waters which carry debris, potential projectiles, and erosion potential, the following provisions apply:

Response: *Per the FEMA National Flood Insurance Map 41057C0560F dated September 28, 2018, this site is not within a regulatory floodway.*

(12) Warning and Disclaimer of Liability: The degree of flood protection required by this ordinance is considered reasonable for regulatory purposes and is based on scientific and engineering considerations. Larger floods can and will occur on rare occasions. Flood heights may be increased by man-made or natural causes. This ordinance does not imply that land outside the areas of special flood hazard or uses permitted within such areas will be free from flooding or flood damages. This ordinance shall not create liability on the part of Tillamook County, any officer or employee thereof, or the Federal Insurance Administration, for any flood damages that result from reliance on this ordinance or any administrative decision lawfully made hereunder.

Response: *The owner acknowledges this section regarding liability.*

Article 4 – Development Standards

4.005 Residential and Commercial Zone Standards

PURPOSE: In all RESIDENTIAL AND COMMERCIAL ZONES, the purpose of land use standards are the following:

- (1) To ensure the availability of private open space;
- (2) To ensure that adequate light and air are available to residential and commercial structures;
- (3) To adequately separate structures for emergency access;
- (4) To enhance privacy for occupants of residences;
- (5) To ensure that all private land uses that can be reasonably expected to occur on private land can be entirely accommodated on private land, including but not limited to dwellings, shops, garages, driveways, parking, areas for maneuvering vehicles for safe access to common roads, alternative energy facilities, and private open spaces;
- (6) To ensure that driver visibility on adjacent roads will not be obstructed;
- (7) To ensure safe access to and from common roads;
- (8) To ensure that pleasing views are neither unreasonably obstructed nor obtained;
- (9) To separate potentially incompatible land uses;
- (10) To ensure access to solar radiation for the purpose of alternative energy production.

Response: *The owner acknowledges this section regarding purpose of the land use standards. The proposal is consistent with all applicable development standards. The only structures are the office*

building and the showers/restrooms building. Those structures meet all setback and height requirements. The site is not in a geological hazard area. The standards related to natural resources would apply only to the estuary and the proposal satisfied the required setback from the estuary. ODOT has confirmed that there are no traffic related issues and safe access from Highway 131 can be achieved. Internal circulation will be provided via a private drive. There is adequate maneuvering room for all anticipated vehicles. The site has sufficient area to accommodate all needed and required parking. All sanitary sewer/wastewater demands will be addressed using a holding tank system designed by EMS. This includes sewer services for each existing and proposed RV space, the manager's RV space, and the restroom/showers building. The drawings and specifications are included with this Revised Narrative. Holding tanks are one of the systems DEQ can permit and EMS has determined that it is appropriate for the subject site and proposed use. Because it is feasible to use such a system, the county can conditional approval on the applicant obtaining a DEQ permit for the holding tank system. All other needed facilities are adequate for the use.

4.010 Clear Vision Areas

Response: The only relevant intersection is at the Netarts Highway and McKinley Moorage Road. The clear vision standard is met at that intersection. There are no structures or obstructions within the clear-vision areas.

4.020 Signs

Response: The existing RV Park sign will be relocated several feet to the north to make room for space 46, and will conform to requirements of Section 4.020(5)(k).

4.030 Off-Street Parking and Off-Street Loading Requirements

(1) PURPOSE: The purpose of requirements for off-street parking and loading areas is to relieve traffic congestion; to ensure customer convenience and safety; to provide safe access to parked vehicles; and to help ensure safe and timely response of emergency vehicles.

(2) PARKING SPACE: A single parking space shall be at least 8 feet by 20 feet in size.

(13) PARKING SPACE REQUIREMENTS: Requirements for types of building and uses not specifically listed herein shall be determined by the Department, based upon the requirements for comparable uses either listed below or active elsewhere in the county.

(b) BOARDING, LODGING, OR ROOMING HOUSE: One space for each guest accommodation.

(c) MOTEL, HOTEL OR GROUP COTTAGES: One space for every unit.

Response: RV Parks are not definitively listed in the uses listed under the above section. The closest uses are (b) and (c) listed above. Both would require one parking space for each RV space. The proposed and existing RV spaces shown on the preliminary site plan all include an area for the RV to park. Most of the RV spaces also include an additional parking space for a passenger vehicle. Each of the 27 proposed rental RV spaces, and 22 of the 26 existing rental RV spaces will have a space to park a passenger vehicle in addition to the RV parking. The site proposes an additional 13 regular parking spaces (9'x20') and 6 extra oversized parking spaces (10'x30') near the bathrooms/showers building. The existing manager's RV space also has an associated parking space that is not included in this parking count. The existing office building is operated by the onsite manager, and therefore no additional parking spaces are proposed specifically for worker at this building.

4.060 Access

Response: ODOT has confirmed that the access from Netarts Highway meets its requirements with the addition of additional asphalt on the approach.

4.080 Distance from Buildings

Response: As set forth below in response to the standard in Article 5, the site plan demonstrates that the required separation for RV spaces is satisfied.

4.140 Requirements for Protection of Water Quality and Streambank Stabilization

Response: The site plan demonstrates that the 50-foot setback from the Estuary is satisfied.

Article 5 – Special Use Standards and Exceptions

5.030 Recreational Campground Standards

(1) Purpose: The purpose of the RECREATIONAL CAMPGROUND STANDARDS is to insure that each new or enlarged RECREATIONAL CAMPGROUND provides necessary facilities, adequate lot area, set-back, and other needed requirements for the public safety, health, and general welfare. A RECREATIONAL CAMPGROUND is a place where four or more recreational vehicles and/or tents are located on one or more continuous lots, tracts, or parcels of land under a single ownership for temporary recreational camping. A permanent house, mobile home, manufactured home, or recreational vehicle for the owner, operator, or manager of the campground is allowed, however other Sections of the Ordinance pertaining to such use shall apply, including Section 5.010, etc. Accessory uses that may be permitted include recreational cabins, showers, laundry, a grocery, a gas pump, and recreation facilities that are designated for the primary purpose of serving the occupants of the campground. A camper as defined in Article I, shall not be allowed to stay any longer than six (6) months in any twelve (12) month period. The standards contained in this Section are minimum standards. Additional standards may be required where necessary to meet other requirements of this Ordinance, i.e. Floodplain, Geologic Hazard zone, Riparian Vegetation.

Response: The owner acknowledges this section regarding purpose of these standards.

(2) Recreational Campground: Shall be built to State standards and shall comply with the following provisions:

(a) A RECREATIONAL CAMPGROUND shall have:

- i. A minimum size of 1 acre or the minimum lot size of the zone, whichever is greater;

Response: The site is approximately 11.72 acres, which does not even include the proposed vacation of the McKinley Mortgage Road right-of-way.

- ii. A minimum number of 4 sites;

Response: The existing site is 26 rental RV spaces with an additional manager's unit space. The proposal adds an additional 27 rental RV spaces. This would total 53 rental RV spaces and one additional manager's RV space.

- iii. A minimum width of space 23 feet or state minimum whichever is greater, for each site;

Response: The proposed units have a minimum width of 28 feet.

- iv. Lot depths may vary in size, however maximum unit lengths shall be designated for each proposed space, and each space shall include enough area for the required set-backs along with the maximum unit length;

Response: Sheet C3.0 of the preliminary site plans shows RV space details for the existing and proposed spaces, and includes tables that provide space dimensions and maximum RV length. Maximum RV length is the total length of the tow vehicle and trailer, or the length of the motorhome.

- v. A minimum distance between actual unit location and interior road right-of-way of 10 feet. Each campsite will have direct access to interior road right-of-way;

Response: Sheet C3.0 of the preliminary site plans shows RV space details for the existing and proposed spaces, and includes tables that provide space dimensions and maximum RV length. The maximum RV length is based on having 10' separation from the RV and the access road.

- vi. And all property lines not abutting an exterior roadway shall be 10 feet. A minimum distance between actual unit and an exterior roadway shall be 20 feet;

Response: All existing and proposed spaces are greater than 20' from the Hwy 131 right-of-way.

- vii. A minimum distance between actual units of 15 feet;

Response: All proposed spaces are designed to provide greater than 15' separation between RV's.

- viii. Minimum distance between actual unit and community or service buildings of 10 feet;

Response: All existing and proposed spaces have greater than 10' separation between RV's and all buildings.

- ix. Campground roads shall have a surface width of at least 16 feet with 2 foot shoulders on each side. All interior park roads shall be surfaced to minimum County road standards and well-drained. No on-street parking shall be allowed;

Response: The proposed loop road within the RV Park will be 26' wide and will include 2' shoulders on each side to provide drainage. The road section will meet all County road standards requirements.

- x. Walkways not less than three (3) feet wide may be required to be provided from trailer spaces to community and service buildings. All access roads and walkways should be well lighted;

Response: Walkways greater than 3' will be designed for the restroom/laundry building to the loop road. Existing site light poles will remain in use. Additional site light poles will be added as necessary. The restroom/laundry building will be well lit.

- xi. All areas not used for spaces, motor vehicle parking, traffic circulation, or service or community buildings shall be completely and permanently landscaped or maintain existing natural vegetation. The landscaping shall be maintained in good condition;

Response: All open areas will be landscaped and well maintained.

- xii. A sight-obscuring fence and/or buffer strip of vegetation may be required on every side of a RECREATIONAL CAMPGROUND;

Response: The site is very far from any other properties and there is a significant existing strip of vegetation surrounding the site, in addition to large water bodies. The developer proposes to not install a fence around the site.

- xiii. Trash cans shall be provided in convenient locations for the use of guests of the park, and shall be located in such number, and shall be of such capacity, that there is no uncovered accumulation of trash at any time;

Response: *The preliminary site plans show a proposed location for the trash enclosure. City Sanitary Service has provided a will-serve letter for the project, and the developer will coordinate with them further for engineering plans design. Trash cans will also be placed near the restroom/laundry building and will be emptied to the trash enclosure by staff.*

- xiv. All Recreational Vehicles staying in the park shall be assigned to a space. No space shall have more than one (1) Recreational Vehicle or tent assigned to it, except as provided in State law;

Response: *All spaces will have no more than one RV assigned to them.*

- xv. Approval of a recreational campground shall not be construed to be an approval of the building plans for building permit review purposes. All proposed building construction must meet Uniform Building Code requirements as part of building permit review;

Response: *The owner acknowledges this section.*

- xvi. On-site storage areas, for park residents only, may be allowed. If allowed, the storage area shall be screened or combined landscape and screening with a 6 foot high sight obscuring fence or hedge along all exterior property lines of the storage area;

Response: *No new storage areas are proposed for park guests. There is an existing office building and storage shed near the manager's unit that will remain in use.*

- xvii. Preliminary plans which contain all the information specified in OAR 333-31-059 shall be submitted to the Planning Department when requesting Conditional Use approval.

Response: *Preliminary plans are included with this conditional use submittal.*

- xviii. All RECREATIONAL CAMPGROUNDS, which legally existed prior to the date of this Ordinance, and which have submitted complete Master Plans to the department for review, shall be considered an "existing use" if:
 1. The RECREATIONAL CAMPGROUND is in compliance with all State regulations and County Sanitation regulations; and
 2. Master Plans and review fees are submitted to the department no later than December 31, 1986; and
 3. The department issues a letter to the RECREATIONAL CAMPGROUND owner indicating that the campground meets the above two criteria.

If it is determined by the department that the RECREATIONAL CAMPGROUND does meet the first two criteria, the department shall submit the letter, mentioned in (c) above, to the campground owner. At that time, only that portion of the campground identified in the Master Plan, will then be considered an "existing use".

Only those campgrounds who retain the confirmation letter will be considered an "existing use". In the future, if one of the "existing use" campgrounds enlarge or expand, only that new portion of the campground will be required to meet the County standards.

The "existing use" RECREATIONAL CAMPGROUNDS are to be allowed to remain as they are represented within the accepted Master Plan on only that portion of the property designated. If the use is vacated for over one year the "existing use" designation shall be void, and any new use of the property shall conform to the requirements of this Ordinance.

The "existing use" may be sold or transferred to new owners. The new owners will

maintain the same rights as the previous owners.

Response: *The existing RV Park will remain in use with the addition of the proposed features discussed in this narrative and shown on the preliminary site plans.*

xix. The accessory commercial uses such as gas pump, laundry, grocery store and recreational facilities shall not exceed the requirements of Rural Commercial, Section 3.020.

Response: *The only accessory commercial uses proposed for this site are the existing boat launch, and proposed two laundry machines.*

xx. New full hook-up parks requiring a community septic/sewer system are permitted only within adopted unincorporated community boundaries.

Response: *Sanitary sewer is currently provided with two methods for the existing site. The existing restroom building has a 1,500 gallon holding tank that is pumped regularly and will remain in use. The existing manager's RV space is served with an AX20 treatment system and a failing drain field. The applicant is proposing to remove that system and drain field completely and install a holding tank system that is compliant with all DEQ requirements. The new system will serve the entire property including the existing and proposed RV spaces, the existing bathroom facilities and the existing manager's unit. The details of that system are contained in the material from EMS and provided as part of the application. DEQ approval of that system can be a condition of approval.*

Article 6 – Conditional Use Procedures and Criteria

6.010 Purpose

The purpose of a CONDITIONAL USE is to provide for uses that are not allowed by right in a certain zone because of potentially adverse impacts on uses permitted by right in that zone. Such uses may be made or deemed compatible through the review process contained in this Article, which subjects the proposed CONDITIONAL USE activity to specific requirements, criteria, and conditions. The location and operation of any CONDITIONAL USE listed in this Ordinance shall only be permitted according to the provisions of this Article.

Response: *The proposal is a conditional use in the RC zone.*

6.020 Procedure

The following procedure shall be observed in submitting and acting on a CONDITIONAL USE request:

(1) A request may be initiated for a CONDITIONAL USE, or the modification of an approved CONDITIONAL USE, by filing an application with the Department. The Department may require any information necessary for a complete understanding of the proposed use and its relationship to surrounding properties.

(2) The Director shall act administratively according to the procedure set forth in Article 10, or shall refer the application to the Commission for a public hearing and decision. The application shall be referred to the Commission if the director determines that the proposed use would have significant impacts that extend beyond the abutting properties, and that those impacts are not likely to be adequately addressed by response to public notice required by Section 10.070. If the Director elects to refer the application to the Commission, it shall be heard at the next available Commission hearing, unless the applicant requests otherwise.

(3) No CONDITIONAL USE permit shall be invalidated because of failure to receive the notice provided for in Section 10.070.

Response: *The owner acknowledges this section regarding Conditional Use procedures.*

6.030 General Requirements

A CONDITIONAL USE shall be authorized, pursuant to the procedures set forth in Section 6.020, if the applicant adequately demonstrates that the proposed use satisfies all relevant requirements of this Ordinance, including the review criteria contained in Section 6.040 or the Health Hardship provisions contained in Section 6.050, and the following general requirements:

(1) A CONDITIONAL USE shall be subject to the standards of the zone in which it is located, except as those standards have been modified in authorizing the CONDITIONAL USE. The size of a lot to be used for a public utility facility may be reduced below the minimum required, provided that it will have no adverse effect upon adjacent uses.

(2) A CONDITIONAL USE may be enlarged or altered pursuant to the following:

(a) Major alterations of a CONDITIONAL USE, including changes to or deletion of any imposed conditions, shall be processed as a new CONDITIONAL USE application.

(b) Minor alterations of a CONDITIONAL USE may be approved by the Director according to the procedures used for authorizing a building permit, if such alterations are requested prior to the issuance of a building permit for the CONDITIONAL USE. Minor alterations are those which may affect the siting and dimensions of structural and other improvements relating to the CONDITIONAL USE, and may include small changes in the use itself. Any change which would affect the basic type, character, arrangement, or intent of the approved CONDITIONAL USE shall be considered a major alteration.

(c) The enlargement or alteration of a one- or two-family dwelling, mobile home, manufactured home, or recreational vehicle that is authorized as a CONDITIONAL USE under the provisions of this Ordinance shall not require further authorization, if all applicable standards and criteria are met.

(3) Where the approval of a CONDITIONAL USE request is contingent upon an amendment to this Ordinance, and an application for such amendment has been recommended for approval by the Commission, the CONDITIONAL USE request may be approved upon the condition that the Board approves the Ordinance Amendment.

Response: *The owner acknowledges this section regarding Conditional Use general requirements.*

6.040 Review Criteria

Any CONDITIONAL USE authorized according to this Article shall be subject to the following criteria, where applicable:

(1) The use is listed as a CONDITIONAL USE in the underlying zone, or in an applicable overlying zone.

Response: *The proposal is a conditional use in the RC zone.*

(2) The use is consistent with the applicable goals and policies of the Comprehensive Plan.

Response: *The proposed use is consistent with the goals and policies of the Comprehensive Plan. Goal 5 (Natural Resources) and Goal 8 (Recreation) are particularly relevant to this proposed RV Park expansion.*

Goal 5 seeks to protect natural resources, and conserve scenic and historic areas and open spaces. By expanding the existing RV Park, the owner is assuring that it will be an economically viable business for many years to come. The RV Park provides access to the Tillamook River and Trask Slough, and will

maintain required separation distances from these features and adjacent wetland and estuary areas. It provides a great way to protect the surrounding natural resources for a long time to come.

Goal 8 brings up the issues of reaction in the County being quantity, location, and orientation. This project increases the quantity of available recreational spaces within the County. The site is located perfectly along the Tillamook River and Trask Slough with no other existing structures anywhere near the properties. The park is designed to optimize the space available, and provide excellent features and maneuverability. It also reduces the strain on public agencies by being privately owned, while providing taxable income and property taxes.

(3) The parcel is suitable for the proposed use considering its size, shape, location, topography, existence of improvements and natural features.

Response: *The site is currently an RV Park, which is also its future proposed use. The site is located perfectly along the Tillamook River with no other existing structures anywhere near the properties. The park is designed to optimize the available land, and provide excellent features and maneuverability. The RV Park provides access to the Tillamook River and Trask Slough, and will maintain required separation distances from these features and adjacent wetland and estuary areas. It is a great way to protect the surrounding natural resources for a long time to come. As addressed under other criteria, the site is served by adequate public and private utilities including electricity, water and sanitary sewer through the proposed holding tank system. The site has good access with sufficient room for emergency vehicle maneuvering.*

(4) The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs or prevents the use of surrounding properties for the permitted uses listed in the underlying zone.

Response: *The surrounding area is zoned F-1, RC and EC-1. There is one parcel in the general area zoned RR-2 (TL 1800) but it is significantly removed from the subject property separated by RC property and Highway 131. The EC-1 property is in a conservation zone and there are no uses on that property. The closest RC property (TL 2100) is 350 feet from the subject property. The other RC property (TL 2500/2501) is 556 feet from the subject property. The only uses of RC property are farm operations with what appears to be farm dwellings and farm related structures. The F-1 property is used for farming to the extent there is any use.*

The site is currently an RV Park, which is also its future proposed use. The existing RV park use has co-existed in harmony with the surrounding uses for many years. The proposal is to expand the RV park with 27 new units and to improve existing facilities. The expansion of the existing use will not alter the character of the surrounding area. The character will remain as it is now with farming operations and conservation space. Because the proposed expansion is rather isolated from the surrounding properties and located a significant distance from the existing farm uses, it will not significantly limit, impair or prevent the properties from uses allowed in the RC and F-1 zone. The proposal will not impede the access needed by those properties to continue the current uses or develop as allowed by the LDO. The proposal will not impede the provision of any utilities or serves those properties require to develop consistent with the LDO. The site is located perfectly along the Tillamook River with no other existing structures anywhere near the properties. There will be no adverse effects on surrounding properties.

(5) The proposed use will not have detrimental effect on existing solar energy systems, wind energy conversion systems or wind mills.

Response: *There are no existing solar energy systems, wind energy conversion systems, or wind mills within the vicinity of this project.*

(6) The proposed use is timely, considering the adequacy of public facilities and services existing or planned for the area affected by the use.

Response: *The RV Park is designed with modern codes and features. The use is currently a very popular activity, and is anticipated to continue being so for a long time. Adequate public facilities are available to serve the proposed expansion. It is not clear exactly what public services staff expects the applicant to address.*

The access to the subject property and the proposal is from Netarts Highway via McKinley Mortgage Road. The applicant proposes to vacate McKinley Mortgage Road right-of-way, and has provided confirmation that the County Road Department has given preliminary support for that vacation. The site access road will be widened and improved to 26 feet. That is more than adequate to accommodate the RV units expected to use the site. It also provides adequate emergency access and is looped to allow vehicles to circulate without having to turn around.

The site is served by West Hills Water Company/Zwald Water Utility Services through a 2-inch line with 90 PSI water pressure at the onsite meter. Those entities confirmed that they would continue to serve the proposed use after the expansion by providing a will-serve letter. The 2-inch line can be extended to serve all proposed RV spaces.

Electrical service is currently provided by Tillamook People's Utility District. The District provided a will-serve letter related to the proposed expansion.

Trash/garbage service is currently provided by City Sanitary Service. That entity has provided a will-serve letter for the proposed expansion.

Sanitary sewer is currently provided with two methods for the existing site. The existing restroom building has a 1,500 gallon holding tank that is pumped regularly and will remain in use. The existing manager's RV space is served with an AX20 treatment system and a failing drain field. The applicant is proposing to remove that system and drain field completely and install a holding tank system that is compliant with all DEQ requirements. The new system will serve the entire property including the existing and proposed RV spaces, the existing bathroom facilities and the existing manager's unit. The details of that system are contained in the material from EMS and provided as part of the application. DEQ approval of that system can be a condition of approval.

6.070 Conditions of Approval

In approving a CONDITIONAL USE or a modification of a CONDITIONAL USE, any conditions which are considered necessary to protect the area surrounding the proposed use, and to preserve the basic purpose and intent of the underlying zone, may be imposed. These may include, but are not limited to, the following:

- (1) Increasing the required parcel area or yard dimensions.
- (2) Limiting the height, size, or location of buildings and structures.
- (3) Modifying the location and number of required off-street parking and loading spaces.
- (4) Controlling the location and number of vehicle access points.
- (5) Limiting the number, size and location of signs.
- (6) Requiring diking, fencing, screening, landscaping, or other measures to protect adjacent or nearby properties from the effects of the use.
- (7) Prescribing a time limit within which to fulfill any established conditions.

Response: *The owner acknowledges this section regarding Conditional Use conditions of approval.*

6.080 Compliance with Conditions

Adherence to the approved plot plan and compliance with the conditions imposed in approving a CONDITIONAL USE request shall be required. Any departure from the conditions of approval or approved plans constitutes a violation of this Ordinance.

Response: *The owner acknowledges this section regarding compliance with conditions of approval.*

6.090 Time Limit

All CONDITIONAL USES except those approved for a Health Hardship may be approved for a 24-month period. If construction has not begun on the approved development, such approvals may be extended beyond 24 months only if the Director determines that a review would be unlikely to reveal new information which could lead to different conclusions than those reflected in the original staff report. For the purposes of such a determination, the Director may rely on such things as:

- (1) Changes in Ordinance requirements or the requirements of State law;
- (2) The extent and character of new development in the vicinity of the request;
- (3) The adequacy of the review upon which the original was based;
- (4) Any other circumstances which could change the substance of the original staff report.

If the Director determines that a new review is warranted, then the applicant shall provide all information and fees required by this Article.

Response: *The owner acknowledges this section regarding time limit.*

IV. Summary and Conclusion

The preceding sections document that the proposed RV Park expansion conforms to the applicable zoning and design standards of the Tillamook County Land Use Ordinance. Because the proposal conforms to all applicable criteria and standards, the applicant requests that the County approve the site and design review application as proposed.



BECON, LLC

Civil Engineering and Land Surveying

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PRELIMINARY WATER AVAILABILITY CALCULATIONS

Tillamook Coast RV Park Expansion

85 3rd St, Tillamook, OR 97141

Date: November 9, 2022

To: **Tillamook County**
Community Development
1510-B Third Street
Tillamook, OR 97141

From: Trevor Munro, PE

Domestic Water Service Provider:

West Hills Water Company

Operated By:

Zwald Water Utility Services

9980 South Prairie Rd

Tillamook, OR 97141

503-842-1515

Summary of Design Variables, Calculations, and Assumptions:

- Existing onsite meter is 2" with 90 PSI measured at the meter as provided by Zwald Water Utility Services.
- Total number of RV spaces is 54, which includes existing spaces, proposed spaces, and the manager's unit. Each RV space is provided water by a RV spigot equivalent to a hose bib.
- Proposed restroom/laundry building to include existing men's and women's restrooms with 2 stalls, 2 sinks, and 1 shower each; proposed ADA restroom with 1 toilet, 1 sink, and 1 shower; and proposed laundry facility with 2 laundry machines.
- Fixture units are taken from the 2021 OPSC Appendix A, Table A 103.1. Total for site is 166.5 fixture units (refer to table below).
- Site landscape irrigation is not included in the preliminary water availability calculations. If any site landscape irrigation takes place it will be during non-peak water use periods of the day.

- Conversion of fixture units to gallons per minute taken from the 2021 OPSC Appendix A, Chart A 103.1(2). 166.5 fixture units = 58 GPM.
- 2” water meters have maximum flow rate of 80-160 GPM depending on type.
- Existing water service line to existing RV spaces and restroom/laundry building assumed to be 2” with maximum length of 410’ and 116.5 fixture units. 2021 OPSC Table 610.4 gives a maximum length of 1000’ for 129 fixture units. The proposal is well within this range.
- Proposed water service to proposed RV spaces will be 2” with maximum length of 605’ and 50 fixture units. 2021 OPSC Table 610.4 gives a maximum length of 1000’ for 129 fixture units. The proposal is well within this range.

2021 OPSC TABLE A 103.1 – TOTAL FIXTURE UNITS

Fixture	Fixture Units	Count	Total (Public)
Hose Bib (RV Space)	2.5	54	135
Clothes Washer	4.0	2	8
Water Closet 1.6 GPF Gravity	2.5	5	12.5
Lavatory (Sink)	1.0	5	5
Shower	2.0	3	6
		TOTAL	166.5

2021 OPSC TABLE A 103.1 – EXISTING 2” WATER LINE FIXTURE UNITS

Fixture	Fixture Units	Count	Total (Public)
Hose Bib (RV Space)	2.5	34	85
Clothes Washer	4.0	2	8
Water Closet 1.6 GPF Gravity	2.5	5	12.5
Lavatory (Sink)	1.0	5	5
Shower	2.0	3	6
		TOTAL	116.5

2021 OPSC TABLE A 103.1 – PROPOSED 2” WATER LINE FIXTURE UNITS

Fixture	Fixture Units	Count	Total (Public)
Hose Bib (RV Space)	2.5	20	50
		TOTAL	50

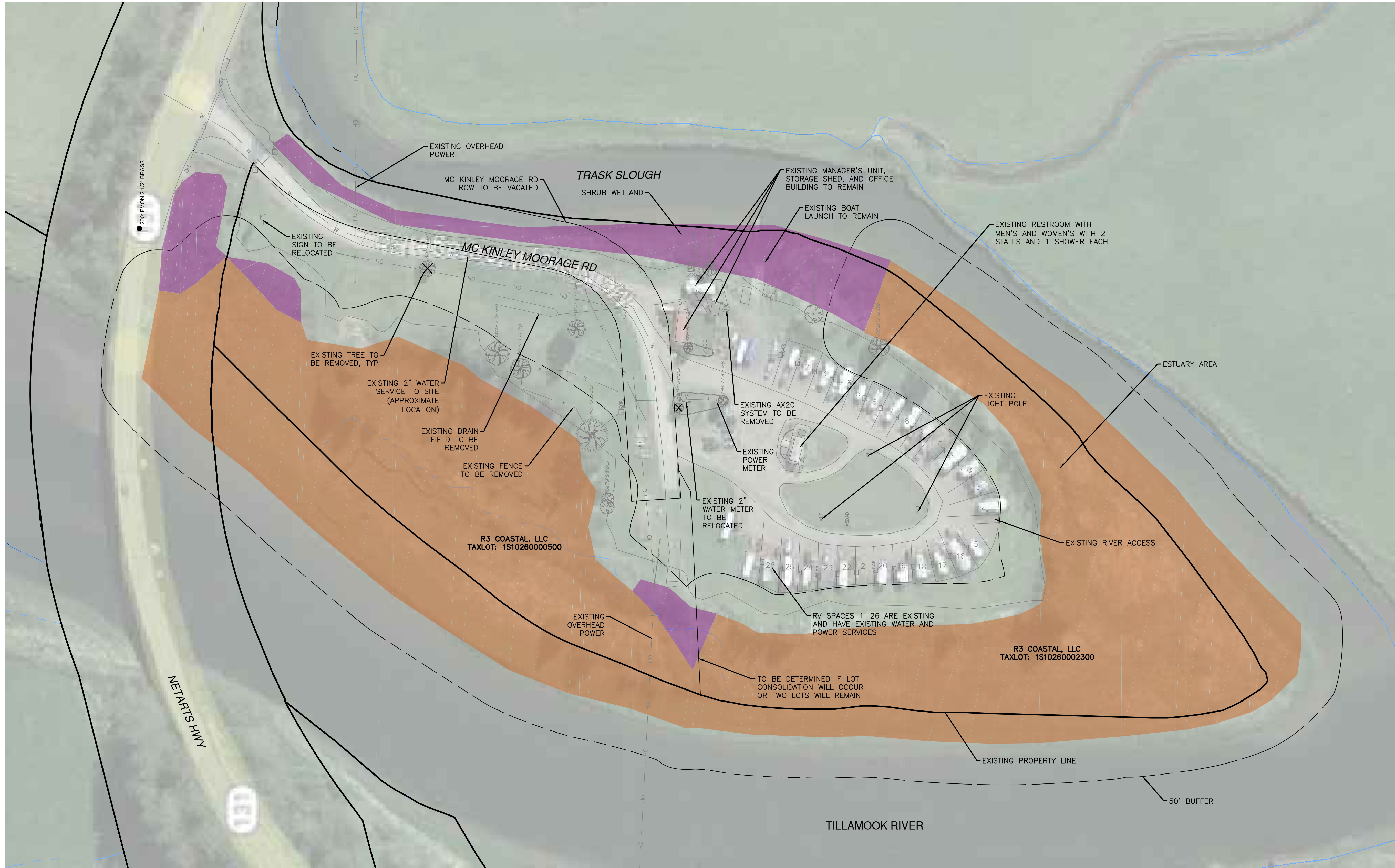
Conclusion:

Based on the information provided above the existing 2" domestic water supply line and meter is sufficient to provide service for the proposed expansion of the Tillamook Coast RV Park.

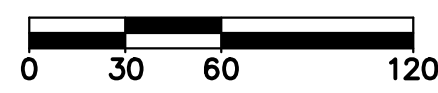
Sincerely,



Trevor Munro, PE



EXISTING CONDITIONS & DEMO PLAN
SCALE: 1"=60'



TILLAMOOK COAST RV PARK EXPANSION
R3 COASTAL, LLC

EXISTING CONDITIONS & DEMO PLAN
TILLAMOOK COUNTY, OREGON

REVISIONS:

1.	
2.	
3.	

DESIGNED BY: TRM
DRAWN BY: BECON
SCALE: 1" = 60'
FILE: 21264
DATE: 11/11/2022

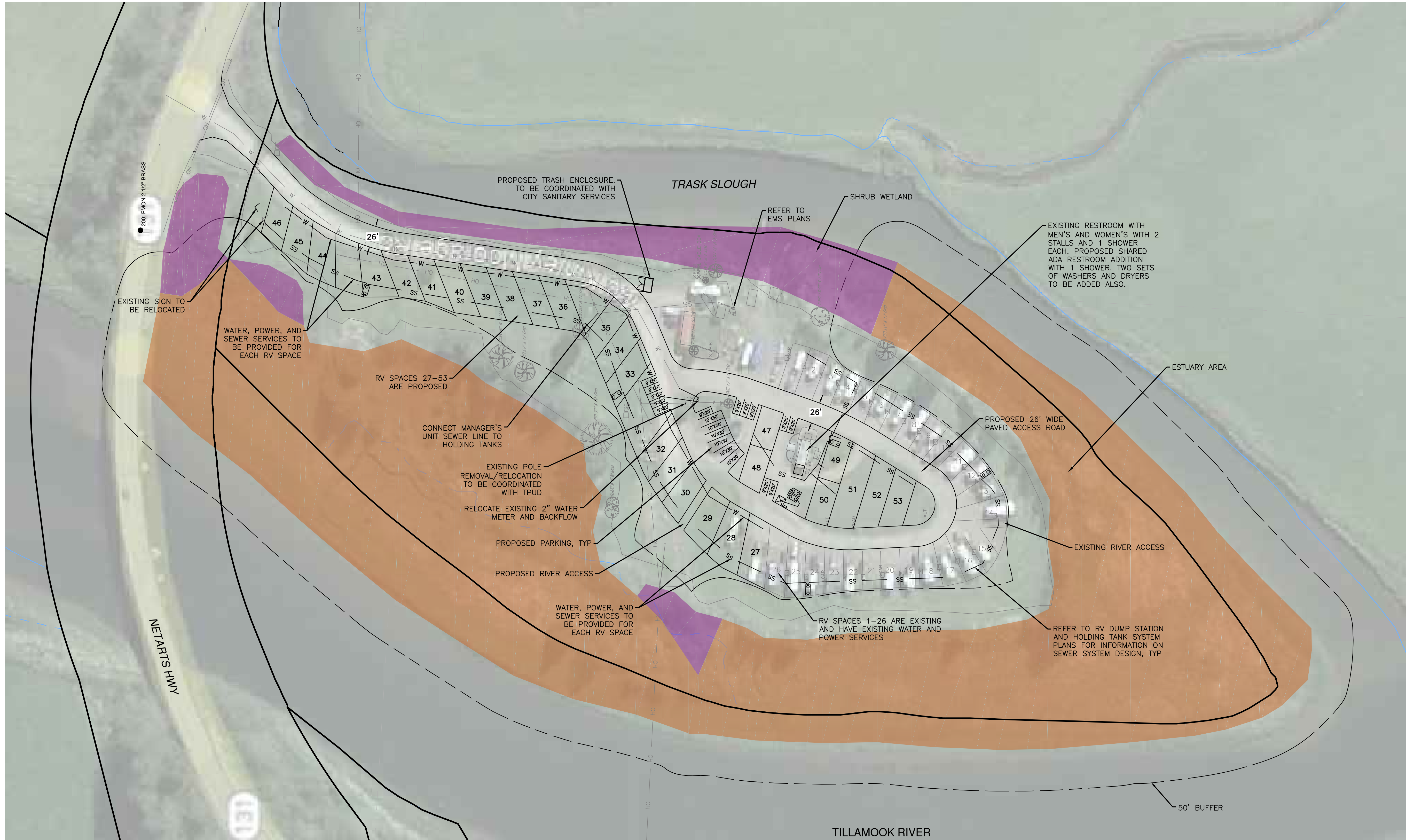
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Civil Engineering & Land Surveying
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BEND, OREGON 97702
(541) 633-3140
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VERIFIED SCALES
0 1"
BAR EQUALS ONE INCH ON ORIGINAL DRAWING (22"X34")

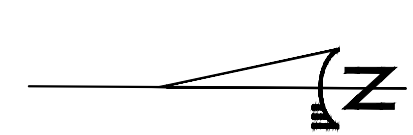
SHEET: **C1.0**

1 OF 5

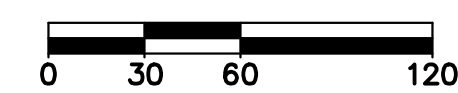
851-22-000286-PLNG



PROPOSED PARKING TABLE	
PARKING SPACE TYPE	PARKING SPACE COUNT
9'X20' PARKING SPACE	13
10'X30' PARKING SPACE	6
EXISTING RV SPACES WITH ADDITIONAL PARKING SPACE	22 (4 EXISTING RV SPACES WILL NOT HAVE ADDITIONAL PARKING SPACE)
PROPOSED RV SPACES WITH ADDITIONAL PARKING SPACE	27 (ALL PROPOSED RV SPACES WILL HAVE ADDITIONAL PARKING SPACE)
TOTAL SITE PARKING SPACES	68



OVERALL SITE PLAN
SCALE: 1"=60'



TILLAMOOK COAST RV PARK EXPANSION
R3 COASTAL, LLC
OVERALL SITE PLAN
TILLAMOOK COUNTY, OREGON

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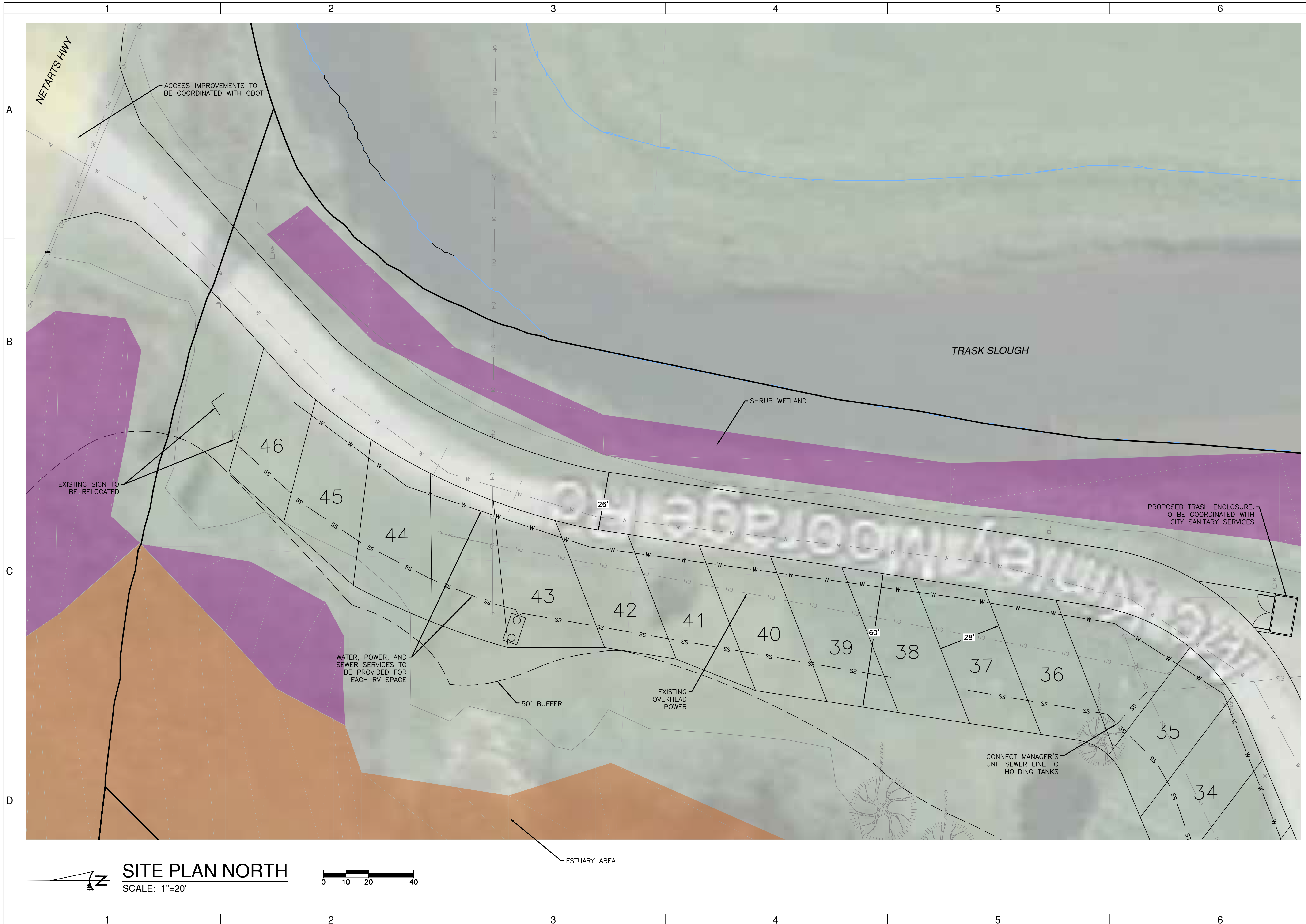
DESIGNED BY: TRM
DRAWN BY: BECON
SCALE: 1" = 60'
FILE: 21264
DATE: 11/11/2022

VERIFY SCALES
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BAR EQUALS ONE INCH ON ORIGINAL DRAWING (22"X34")

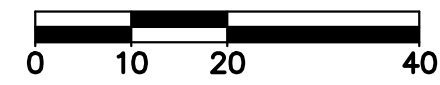
SHEET: C2.0

2 OF 5

851-22-000286-PLNG



SITE PLAN NORTH
SCALE: 1"=20'



TILLAMOOK COAST RV PARK EXPANSION
R3 COASTAL, LLC

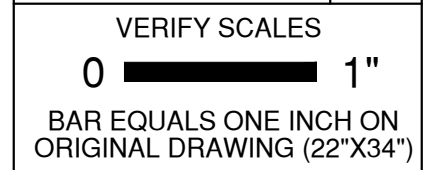
SITE PLAN NORTH
TILLAMOOK COUNTY, OREGON

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SCALE: 1" = 20'
FILE: 21264
DATE: 11/11/2022



SHEET: **C2.1**

3 OF 5

851-22-000286-PLNG



SITE PLAN SOUTH
 SCALE: 1"=20'

TILLAMOOK COAST RV PARK EXPANSION
R3 COASTAL, LLC
 SITE PLAN SOUTH
 TILLAMOOK COUNTY, OREGON

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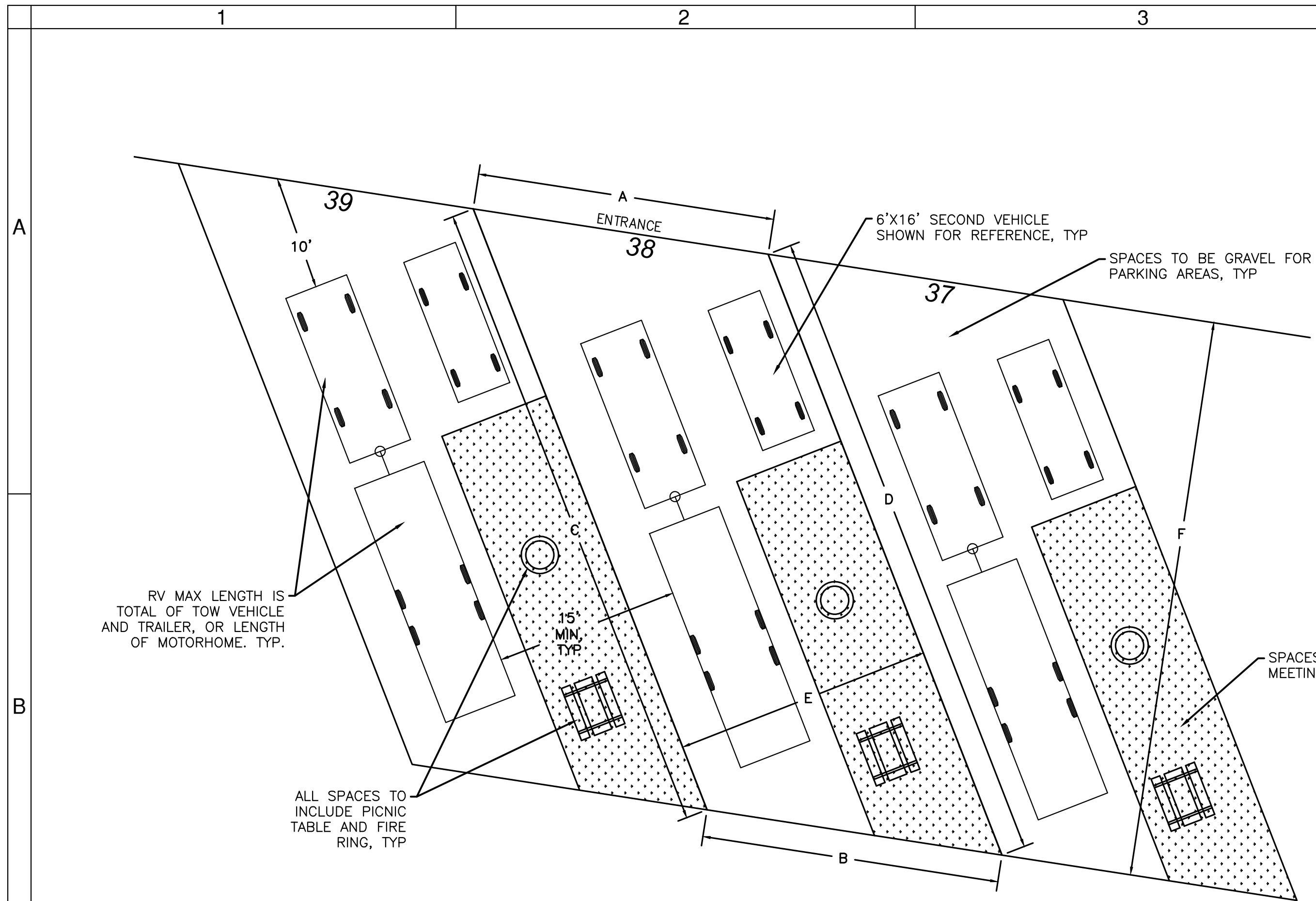
DESIGNED BY: TRM
 DRAWN BY: BECON
 SCALE: 1" = 20'
 FILE: 21264
 DATE: 11/11/2022

VERIFY SCALES
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 BAR EQUALS ONE INCH ON ORIGINAL DRAWING (22"X34")

SHEET: **C2.2**

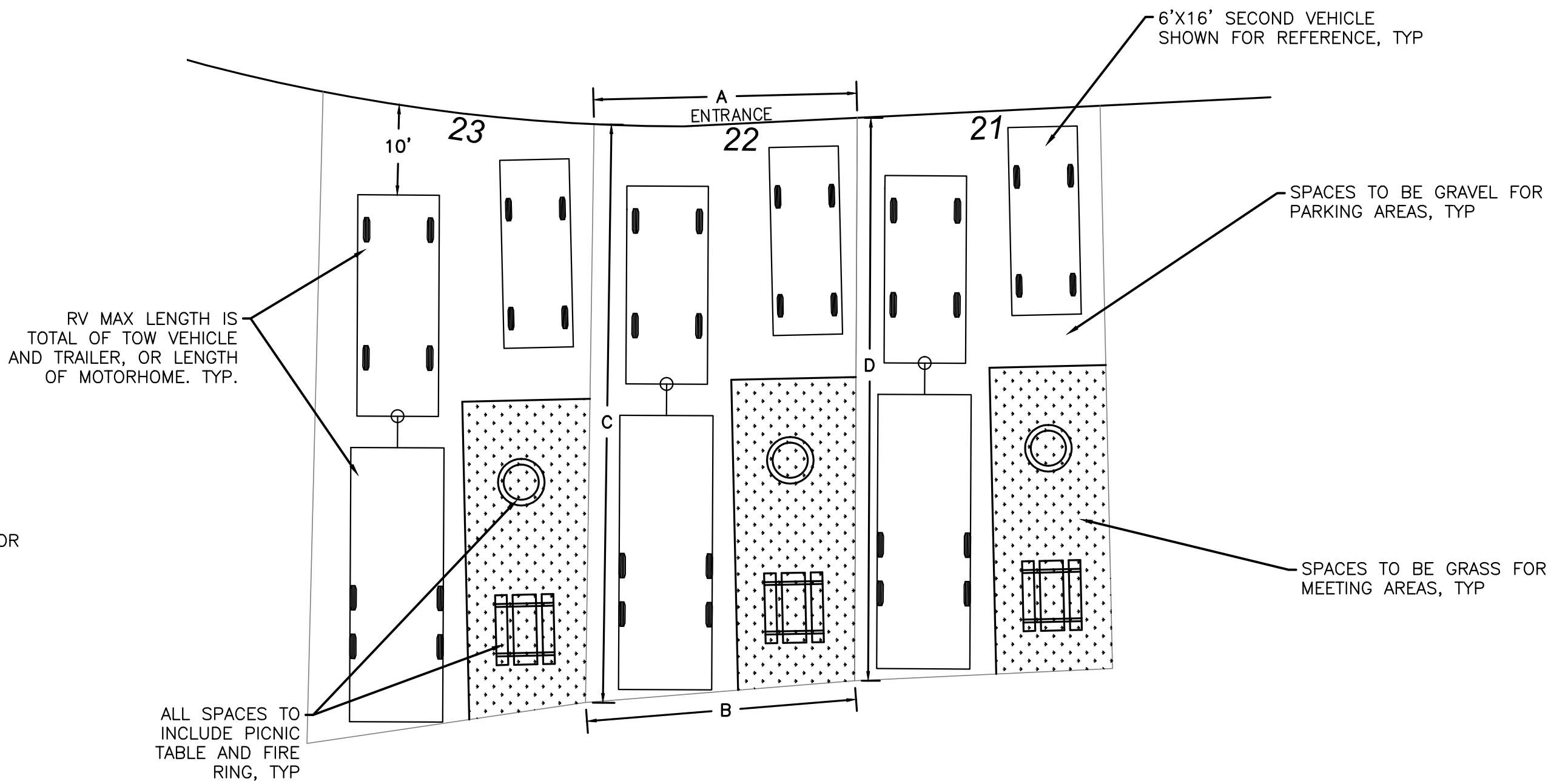
4 OF 5

851-22-000286-PLNG



TYPICAL PROPOSED RV SPACE

SCALE: 1"=10'



TYPICAL EXISTING RV SPACE

SCALE: 1"=10'



SPACE	A (FT)	B (FT)	C (FT)	D (FT)	E (FT)	F (FT)	MAX RV LENGTH (FT)	ROOM FOR EXTRA VEHICLE
27	28.0	37.0	77.7	78.3	30.8	72.7	66.0	YES
28	28.0	43.8	70.2	77.0	35.9	73.0	62.0	YES
29	28.0	40.9	62.7	70.2	34.4	64.8	53.5	YES
30	28.0	32.1	62.3	62.2	28.6	59.0	50.5	YES
31	31.9	29.9	67.5	62.2	28.0	59.0	54.0	YES
32	32.1	31.2	69.3	67.5	28.0	60.0	57.0	YES
33	32.1	32.1	69.3	69.3	28.0	60.0	57.0	YES
34	31.5	32.1	68.0	62.3	28.0	60.0	56.0	YES
35	28.5	31.1	60.1	68.0	28.0	60.0	52.0	YES
36	32.0	32.8	69.3	70.7	28.0	60.0	57.0	YES
37	32.1	32.1	69.3	69.3	28.0	60.0	57.0	YES
38	32.0	32.1	69.2	69.3	28.0	60.0	57.0	YES
39	32.1	32.1	69.3	69.2	28.0	60.0	57.0	YES
40	32.1	32.1	69.3	69.3	28.0	60.0	57.0	YES
41	32.1	37.9	59.5	69.3	28.0	55.9	49.5	YES
42	32.8	32.3	60.5	59.5	28.0	51.5	46.5	YES
43	28.9	42.8	65.6	60.5	35.0	54.8	52.0	YES
44	30.3	38.6	65.3	66.1	34.4	60.0	53.5	YES
45	30.3	41.7	56.4	65.3	35.9	55.0	46.5	YES
46	32.5	33.0	57.4	56.4	28.9	50.5	45.0	YES
47	28.0	28.0	47.9	48.8	28.0	48.4	38.5	YES
48	28.8	28.0	46.8	53.6	28.0	50.4	42.0	YES
49	28.4	28.0	53.2	57.9	28.0	55.6	46.5	YES
50	28.0	28.0	53.0	53.2	28.0	53.2	43.5	YES
51	31.9	32.7	106.7	92.0	31.0	101.0	85.0	YES
52	29.8	29.0	92.0	74.5	28.0	83.1	67.5	YES
53	29.8	29.0	74.5	57.0	28.0	65.6	50.5	YES

NOTE
 BASED ON TCLUO ARTICLE 5 SECTION 5.030(2)(a)(v) MAXIMUM
 RV LENGTH LISTED IS CALCULATED WITH 10' SEPARATION
 BETWEEN THE LOOPED ROAD AND EACH RV UNIT.

SPACE	A (FT)	B (FT)	C (FT)	D (FT)	MAX RV LENGTH (FT)	ROOM FOR EXTRA VEHICLE
1	20.6	22.2	59.4	58.2	49.0	YES
2	22.3	24.2	58.2	59.4	48.5	YES
3	23.1	24.6	49.6	58.2	42.5	YES
4	23.5	23.7	47.5	49.6	38.0	YES
5	22.4	22.8	49.3	47.5	38.5	YES
6	20.7	24.4	51.0	49.3	40.0	YES
7	20.4	24.4	52.1	51.0	41.5	YES
8	21.1	23.0	51.5	52.1	41.5	YES
9	21.3	25.8	49.6	51.5	40.0	YES
10	20.6	25.0	46.5	49.6	37.0	YES
11	22.2	25.5	46.4	46.5	35.5	YES
12	19.6	26.0	51.7	46.4	38.5	YES
13	15.0	30.7	60.1	51.7	45.5	NO
14	15.1	28.8	64.8	60.1	52.5	NO
15	21.1	26.2	50.2	39.3	47.5	NO
16	20.3	26.8	52.1	50.2	55.0	NO
17	18.1	28.3	55.1	63.9	46.0	YES
18	18.6	28.2	49.1	55.1	40.0	YES
19	22.7	23.5	48.6	49.1	38.5	YES
20	23.1	23.3	48.4	48.6	38.5	YES
21	21.9	23.0	48.3	48.4	38.5	YES
22	22.6	23.2	49.7	48.3	39.5	YES
23	22.9	23.7	56.0	49.7	44.0	YES
24	23.4	24.8	66.0	56.0	52.5	YES
25	23.5	23.4	76.2	65.7	63.0	YES
26	25.9	26.6	78.3	76.2	66.0	YES

NOTE
 BASED ON TCLUO ARTICLE 5 SECTION 5.030(2)(a)(v) MAXIMUM
 RV LENGTH LISTED IS CALCULATED WITH 10' SEPARATION
 BETWEEN THE LOOPED ROAD AND EACH RV UNIT.

TILLAMOOK COAST RV PARK EXPANSION
R3 COASTAL, LLC
 TYPICAL RV SPACE DETAILS
 TILLAMOOK COUNTY, OREGON

REVISIONS:

1.	
2.	
3.	

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VERIFY SCALES
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 BAR EQUALS ONE INCH ON ORIGINAL DRAWING (22"x34")

SHEET: **C3.0**

5 OF 5

851-22-000286-PLNG

Date: 11/17/2021
To: Robert Shannon
Cc: Hans Berge, Cramer Fish Sciences
From: Kaedra Emmons, Cramer Fish Sciences
Subject: 85 Third Street, Tillamook, OR 97141 Wetland & Estuary Boundaries

The purpose of this memo is to describe the methods used to document the wetland and estuarine boundary at 85 Third Street, Tillamook, OR 97141 on 12 November 2021 by staff from Cramer Fish Sciences (CFS). The result of field survey includes a map documenting the boundaries that can be used to inform potential future expansion of the property.

Methods:

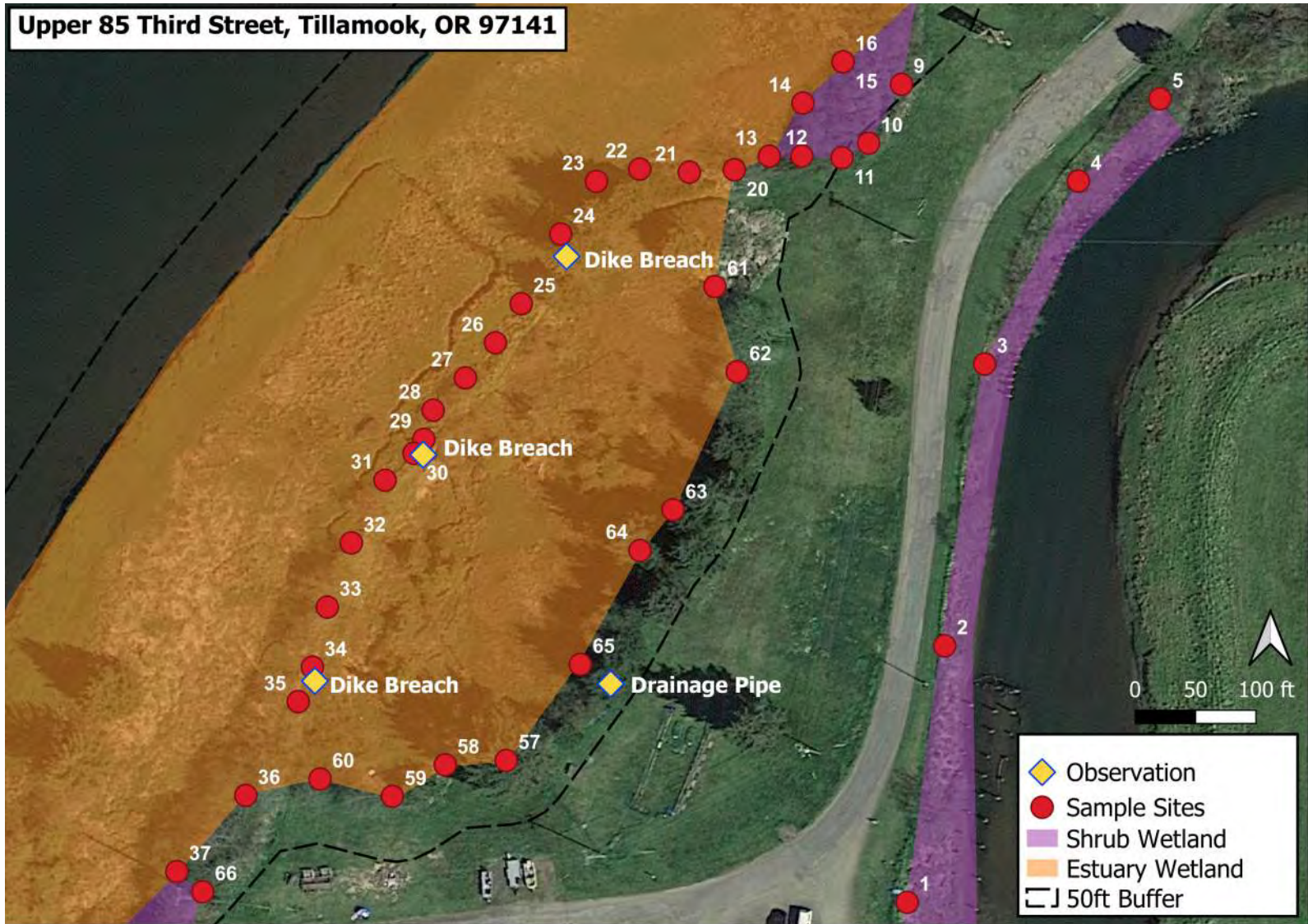
Cramer Fish Sciences' Fisheries Biologist, Ryan Flaherty, and Biological Technician, Kaedra Emmons, conducted a wetland site survey on November 12, 2021. The team followed an adapted protocol from the 1987 Army Corps of Engineers Wetlands Delineation Manual, focusing upon the core wetland characteristics of vegetation, soils, and hydrology to demark the wetlands and estuary boundaries during their site visit. The NRCS National Cooperative Soil Survey's Web Soil Survey and U.S. Fish & Wildlife Service's National Wetlands Inventory Wetlands Mapper were used as references for the survey area and provided coarse information regarding wetland and estuarine boundaries. The CFS team took 68 sample points throughout the property, along wetland and estuary boundaries, to identify characteristics and features of each habitat type. At each sample point, a GPS location, vegetation type, soil type, hydrologic conditions (based on soil type, vegetation, and visual indicators), and photos were documented. Additionally, survey stakes were placed at sample points throughout the property. The sample points were chosen based on vegetation type and topographic conditions indicative of wetland and/or estuary and were located on the edge of transition to document the boundary of wetland and/or estuary.

Results:

The 85 Third Street, Tillamook, OR 97141 site included both shrub wetland and estuarine wetland surrounding the developed property. Hydric soils were found throughout, the dominant estuarine plants documented were *Carex obnupta* (slough sedge), *Juncus effusus* (soft rush), *Deschampsia cespitosa* (tussock grass), and the dominant shrub wetland plant was *Salix* sp. (willow). Several observations were made at sites with photo documentation of exposed drainage pipe and breaches in the dike on the western side of the property (adjacent to estuary).

Map 1.

Upper 85 Third Street, Tillamook, OR 97141



Map 2.



Findings at each sample site are summarized in the table below.

Wetland Boundary Site	Hydrophytic Vegetation	Estuarine Wetland Obligate Vegetation	Hydric Soil	Wetland Hydrology
1-12	x		x	x
13-54	x	x	x	x
55,56	x		x	x
57-65	x	x	x	x
66-68	x		x	x

Below are sample photos of estuary and shrub wetland sites.

Site 1

Shrub Wetland Site. Willow and reed canary shown in the left picture, Low soil chroma (10YR, Chroma 2, Value 3) shown in the center and right pictures.



Site 10

Shrub Wetland Site. Willow and soft rush shown in the left and center pictures, mottled soil shown in the right picture.



Site 13

Estuary Site. Slough sedge and soft rush shown in the left picture, mottled, sulfuric soil with thick organic layer shown in the right picture.



Site 34

Estuary Site. Slough sedge, tussock grass and willow shown in photo.



Site 64

Estuary Site. Soft rush, willow, reed canary, slough sedge, spruce, cattail shown in photo.



Site 67

Shrub wetland site. Willow and blackberry shown in the left picture and mottled, low chroma soil in the right.



The table and pictures below summarize the observation sites on the property.

Observation	Description
1	Dike breach
2	Dike breach
3	Dike Failing
4	Drainage pipe

Observation 1

Breach in the dike on the west side of the property.



Observation 2

Breach in the dike on the west side of the property.



Observation 3

Section of the dike that is starting to fail on the west side of the property.



Observation 4

Exposed drainage pipe.



Field Notes by Sample Site.

Sample Site	Latitude	Longitude	Type	Species Present	Soil Characteristics
1	45.455157	-123.875622	ShrubWetland	Willow, reed canary	10YR chroma 2 value 3
2	45.455549	-123.87554	ShrubWetland	Reed canary	10YR chroma 2 value 3
3	45.455981	-123.875453	ShrubWetland	Willow, reed canary	10YR chroma 2 value 3
4	45.456261	-123.875248	ShrubWetland	Willow, reed canary	10YR chroma 2 value 3
5	45.456387	-123.87507	ShrubWetland	Pacific ninebark, willow, sword fem	Slightly mottled sandy 10YR chroma 2 value 3
6	45.456557	-123.8754	Estuary	Willow, soft rush, slough sedge	Mottled, sulfuric
7	45.456578	-123.87555	Estuary	Willow, English ivy, blackberry	10YR chroma 2 value 3
8	45.456543	-123.875598	Estuary	Willow, English ivy, blackberry	10YR chroma 2 value 3
9	45.456409	-123.875635	ShrubWetland	Willow, reed canary, blackberry	10YR CHROMA 2 value 3
10	45.456319	-123.875707	ShrubWetland	Willow, soft rush	Mottled
11	45.456296	-123.875765	ShrubWetland	Willow	Mottled
12	45.456299	-123.875852	ShrubWetland	Willow, slough sedge	Mottled
13	45.456299	-123.875923	Estuary	Slough sedge, soft rush, few cattails	Mottled, thick upper organic layer, sulfuric
14	45.45638	-123.87585	Estuary	Slough sedge	Mottled, thick upper organic layer, sulfuric
15	45.456443	-123.875762	Estuary	Slough sedge	Mottled, thick upper organic layer, sulfuric
16	45.456443	-123.875762	Estuary	Soft rush, slough sedge	Mottled, thick upper organic layer, sulfuric
17	45.456643	-123.875722	Estuary	Slough sedge	Mottled, thick upper organic layer, sulfuric
18	45.456706	-123.87577	Estuary	Slough sedge, Sitka spruce, soft rush	Mottled, thick upper organic layer, sulfuric
19	45.456774	-123.875755	Estuary	Slough sedge, Sitka spruce, soft rush, willow	Mottled, thick upper organic layer, sulfuric
20	45.456278	-123.876	Estuary	Slough sedge, cattails, soft rush	Mottled, thick upper organic layer, sulfuric
21	45.456274	-123.876098	Estuary	Slough sedge, cattails, soft rush	Mottled, thick upper organic layer, sulfuric
22	45.456279	-123.876206	Estuary	Slough sedge	Mottled, thick upper organic layer, sulfuric
23	45.45626	-123.876301	Estuary	Slough sedge	Mottled, thick upper organic layer, sulfuric
24	45.45618	-123.876379	Estuary	Slough sedge, tussock grass	Mottled, thick upper organic layer, sulfuric
25	45.456073	-123.876465	Estuary	Slough sedge, tussock	Mottled, thick upper organic layer, sulfuric
26	45.456013	-123.876521	Estuary	Slough sedge, tussock grass	Mottled, thick upper organic layer, sulfuric
27	45.45596	-123.876587	Estuary	Slough sedge, tussock grass, yarrow, willow	Mottled, thick upper organic layer, sulfuric
28	45.45591	-123.876657	Estuary	Slough sedge, willow, tussock grass	Mottled, thick upper organic layer, sulfuric
29	45.455865	-123.876678	Estuary	Willow, tussock grass	Mottled, thick upper organic layer, sulfuric
30	45.455844	-123.876699	Estuary	Tussock Grass, willow	Mottled, thick upper organic layer, sulfuric
31	45.455803	-123.876762	Estuary	Slough sedge, tussock, willow	Mottled, thick upper organic layer, sulfuric
32	45.455707	-123.876836	Estuary	Slough sedge, reed canary, twin berry, willow	Mottled, thick upper organic layer, sulfuric
33	45.455609	-123.876888	Estuary	Slough sedge, reed canary, twin berry, willow	Mottled, thick upper organic layer, sulfuric
34	45.455517	-123.876921	Estuary	Slough sedge, willow, tussock grass	Mottled, thick upper organic layer, sulfuric
35	45.455464	-123.876952	Estuary	Willow, spruce, reed canary, grass tussock, twin berry	Mottled, thick upper organic layer, sulfuric
36	45.45532	-123.877066	Estuary	Cattails, reed canary, willow, Sitka spruce	Mottled, thick upper organic layer, sulfuric
37	45.455204	-123.877217	Estuary	Willow, cattail, Sitka spruce	Mottled, thick upper organic layer, sulfuric
38	45.455117	-123.87733	Estuary	Reed canary, willow, Sitka spruce, slough sedge, twinberry	Mottled, thick upper organic layer, sulfuric
39	45.454919	-123.877326	Estuary	Willow, slough sedge	Mottled, thick upper organic layer, sulfuric
40	45.455001	-123.877593	Estuary	Willow, reed canary,	Mottled, thick upper organic layer, sulfuric
41	45.454842	-123.877382	Estuary	Slough sedge, reed canary	Mottled, thick upper organic layer, sulfuric
42	45.454785	-123.877423	Estuary	Slough sedge, reed canary	Mottled, thick upper organic layer, sulfuric
43	45.454635	-123.877434	Estuary	Slough sedge, reed canary	Mottled, thick upper organic layer, sulfuric
44	45.454504	-123.877401	Estuary	Tussock grass, slough sedge, reed canary	Mottled, thick upper organic layer, sulfuric
45	45.454289	-123.877394	Estuary	Slough sedge,	Mottled, thick upper organic layer, sulfuric
46	45.454077	-123.877399	Estuary	Tussock, soft rush, slough sedge, reed canary grass	Mottled, thick upper organic layer, sulfuric
47	45.453909	-123.877349	Estuary	Tussock, reed canary, soft rush, slough sedge, Sitka spruce	Mottled, thick upper organic layer, sulfuric
48	45.453837	-123.877294	Estuary	Reed canary, willow, slough sedge, tussock, Sitka spruce	Mottled, thick upper organic layer, sulfuric
49	45.45382	-123.877175	Estuary	Slough sedge, reed canary, tussock, Sitka spruce	Mottled, thick upper organic layer, sulfuric
50	45.453834	-123.876997	Estuary	Reed canary, slough sedge, Sitka spruce, soft rush	Mottled, thick upper organic layer, sulfuric
51	45.453831	-123.876788	Estuary	Slough sedge, reed canary, soft rush, spruce	Mottled, thick upper organic layer, sulfuric
52	45.453926	-123.876499	Estuary	Reed canary, tussock, soft rush, spruce	10YR chroma 2 value 3
53	45.454021	-123.87635	Estuary	Twin berry, reed canary, tussock, slough sedge	10YR chroma 2 value 3
54	45.454295	-123.876082	Estuary	Reed canary, soft rush, tussock	10YR chroma 2 value 3
55	45.454514	-123.87591	ShrubWetland	Willow, reed canary	10YR chroma 2 value 3
56	45.454772	-123.875738	ShrubWetland	Willow	10YR chroma 2 value 3
57	45.455374	-123.876498	Estuary	Cattail, slough sedge, spruce, willow	Mottled, thick upper organic layer, sulfuric
58	45.455367	-123.876631	Estuary	Reed canary, willow, soft rush, spruce, slough sedge	Mottled, thick upper organic layer, sulfuric
59	45.455319	-123.876746	Estuary	Reed canary, willow, soft rush, spruce, slough sedge	Mottled, thick upper organic layer, sulfuric
60	45.455346	-123.876904	Estuary	Reed canary, willow, soft rush, spruce, slough sedge	Mottled, thick upper organic layer, sulfuric
61	45.456099	-123.876042	Estuary	Soft rush, willow, reed canary, slough sedge, spruce, cattail	Mottled, thick upper organic layer, sulfuric
62	45.455969	-123.875993	Estuary	Soft rush, willow, reed canary, slough sedge, spruce, cattail	Mottled, thick upper organic layer, sulfuric
63	45.455758	-123.876134	Estuary	Soft rush, willow, reed canary, slough sedge, spruce, cattail	Mottled, thick upper organic layer, sulfuric
64	45.455695	-123.876206	Estuary	Soft rush, willow, reed canary, slough sedge, spruce, cattail	Mottled, thick upper organic layer, sulfuric
65	45.455521	-123.876336	Estuary	Pacific water parsley, spruce, cattail	Mottled, thick upper organic layer, sulfuric
66	45.455173	-123.877161	ShrubWetland	Willow	10YR chroma 2 value 3
67	45.45508	-123.877201	ShrubWetland	Willow, blackberry	Mottled, low chroma
68	45.455008	-123.877293	ShrubWetland	Willow, blackberry	Mottled, low chroma



Trevor Munro <tmunro@beconeng.com>

RE: EXTERNAL: Tillamook Coast RV Park

1 message

Jasper Lind <jlind@co.tillamook.or.us>

Thu, Dec 16, 2021 at 1:33 PM

To: Trevor Munro <tmunro@beconeng.com>

Cc: riley shannon <rishannon96@gmail.com>, DrRobertShannon <rshannonmd@gmail.com>

Hello everyone,

This sounds good. Just let me know if you have any questions or are ready to proceed.

Have a good day,



Jasper Lind | Engineering Technician

TILLAMOOK COUNTY | Public Works

503 Marolf Loop

Tillamook, OR 97141

Phone (503)842-2032 ext. 3104

jlind@co.tillamook.or.us

From: Trevor Munro <tmunro@beconeng.com>

Sent: Thursday, December 16, 2021 1:21 PM

To: Jasper Lind <jlind@co.tillamook.or.us>

Cc: riley shannon <rishannon96@gmail.com>; DrRobertShannon <rshannonmd@gmail.com>

Subject: Re: EXTERNAL: Tillamook Coast RV Park

Jasper,

The clients Bob and Riley Shannon are cc'd on this email. They are doing the due diligence before the purchase of the property, and we wanted to check on some key issues such as the potential ROW vacation.

I have attached the petition form you sent for them to review. They will let you know if there are any questions at this time.

Thanks,

Trevor Munro, PE

BECON www.beconeng.com

549 SW Mill View Way, Suite 100

Bend, OR 97702

Office: (541) 633-3140

Direct: (541) 668-6280

Email: tmunro@beconeng.com

On Thu, Dec 16, 2021 at 12:10 PM Jasper Lind <jlind@co.tillamook.or.us> wrote:

Hello Trevor,

This roadway is a prime candidate for a vacation of right of way. It is my understanding that your client is investigating this possibility prior to the purchase of these properties. Is this correct? I have attached the vacation petition form to this email and will be happy to assist you and your client through the process. The petition and its underlying statute does require that your client be the legal owner of the property at the time the petition is submitted. While this process would be significantly streamlined by comparison, it is worth noting that the vacation process does take some time and involves some expense.

I look forward to working with you in the future. Please let me know if you have any questions or concerns.

Sincerely,



Jasper Lind | Engineering Technician

TILLAMOOK COUNTY | Public Works

503 Marolf Loop

Tillamook, OR 97141

Phone (503)842-2032 ext. 3104

jlind@co.tillamook.or.us

From: Chris Laity <claity@co.tillamook.or.us>
Sent: Thursday, December 16, 2021 11:42 AM
To: tmunro@beconeng.com
Cc: Jeanette Steinbach <jsteinba@co.tillamook.or.us>; Ron Newton <rnewton@co.tillamook.or.us>; Gregory Cickavage <gcickava@co.tillamook.or.us>; Jasper Lind <jlind@co.tillamook.or.us>
Subject: RE: EXTERNAL: Tillamook Coast RV Park

Trevor,

Please remove the Tillamook County logo from your plans. It implies that the work is being completed on behalf of the county. Much appreciated.



Chris Laity, P.E. | Director
TILLAMOOK COUNTY | Public Works
503 Marolf Loop Road
Tillamook, OR 97141
Phone (503) 842-3419
claity@co.tillamook.or.us

This e-mail is a public record of Tillamook County and is subject to the State of Oregon Retention Schedule and may be subject to public disclosure under the Oregon Public Records Law. This e-mail, including any attachments, is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure, or distribution is prohibited. If you are not the intended recipient, please send a reply e-mail to let the sender know of the error and destroy all copies of the original message.

From: Chris Laity
Sent: Thursday, December 16, 2021 11:38 AM
To: tmunro@beconeng.com
Cc: Jeanette Steinbach <jsteinba@co.tillamook.or.us>; Ron Newton <rnewton@co.tillamook.or.us>; Gregory Cickavage <gcickava@co.tillamook.or.us>; Jasper Lind <jlind@co.tillamook.or.us>
Subject: FW: EXTERNAL: Tillamook Coast RV Park

Trevor,

Public Work is in support of vacating the right of way of McKinley Moorage Road; however, there is a process that the vacation follows. Jasper, cc'd will be able to assist you. Note that the road will essentially become a private driveway that directly accesses onto Hwy 131. ODOT may want to review the approach if new development

occurs.



Chris Laity, P.E. | Director

TILLAMOOK COUNTY | Public Works

503 Marolf Loop Road

Tillamook, OR 97141

Phone (503) 842-3419

claity@co.tillamook.or.us

This e-mail is a public record of Tillamook County and is subject to the State of Oregon Retention Schedule and may be subject to public disclosure under the Oregon Public Records Law. This e-mail, including any attachments, is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure, or distribution is prohibited. If you are not the intended recipient, please send a reply e-mail to let the sender know of the error and destroy all copies of the original message.

From: Trevor Munro <tmunro@beconeng.com>
Sent: Tuesday, December 14, 2021 2:07 PM
To: Public Works <pubwks@co.tillamook.or.us>
Cc: riley shannon <rishannon96@gmail.com>
Subject: EXTERNAL: Tillamook Coast RV Park

[NOTICE: This message originated outside of Tillamook County -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Hello,

I am working with a client that is looking into purchasing the Tillamook Coast RV Park located at 85 3rd St. They are currently doing the due diligence before finalizing the purchase. They are wanting to expand the site to add around 30 additional RV spaces. On our conceptual layout (attached) we show some of the spaces encroaching into the McKinley Moorage Rd ROW. Is there a possibility of vacating this ROW? It doesn't appear to benefit the county.

We have also already reached out to Chris Chiola about permitting septic holding tanks for the expansion.

Thanks,

Trevor Munro, PE

BECON www.beconeng.com

[549 SW Mill View Way, Suite 100](#)

[Bend, OR 97702](#)

[Office: \(541\) 633-3140](#)

[Direct: \(541\) 668-6280](#)

[Email: tmunro@beconeng.com](mailto:tmunro@beconeng.com)



Trevor Munro <tmunro@beconeng.com>

Tillamook RV park

1 message

KEARNS Richard A <Richard.A.KEARNS@odot.oregon.gov>

Thu, Sep 15, 2022 at 2:11 PM

To: "tmunro@beconeng.com" <tmunro@beconeng.com>, BUFFINGTON Mark W <Mark.W.BUFFINGTON@odot.oregon.gov>,

Melissa Jenck <mjenck@co.tillamook.or.us>

Cc: WILLIAMS Virginia L <Virginia.L.WILLIAMS@odot.oregon.gov>

<https://www.oregon.gov/odot/Forms/2ODOT/7345114.pdf>

Trevor / Melissa

The Access Engineer out of Salem took a look at this last Tuesday and his comments are below;

Here is the photos I took at the RV Park, I'd estimate about 700' ISD to the west and about 800' to the east. The low rail on the bridge and the superelevation of the roadway throughout the curve make it easy to see vehicles on the bridge from the approach. I can't see any benefit or justification in requiring a TIA. My recommendation would be to require them to submit an upgrade application to add up to 4" of asphalt on their approach to a distance 40' from the fog line (I recommend longer than our normal 20' since the approach will see a lot of bigger vehicles).

The link above is the UGRADE APPLICATION

Richard Kearns

D1 Permits

503-325-6490

 Tillamook County 286 Incomplete Application.pdf
949K



To whom it may concern,

City Sanitary Service can continue to provide service at 85 3rd St. for Tillamook Coast RV Park after the proposed additions. We continue to require a paved or concrete level area at least 10 feet by 10 feet per container needed for service. There must also be a clear level approach to the container area. I see no issues with the proposed site plan and anticipate service will continue to be provided with the possibility of more containers being needed with the increase in sites and/or more days per week of pick up.

Thank you,

A handwritten signature in black ink, consisting of a stylized 'R' followed by a long horizontal line.

Robert Poppe
Co-owner
Walker Waste Solutions LLC
PO Box 486
Tillamook, OR 97141
503-842-6262
citysanitaryservicetillamook@gmail.com
citysanitaryservice.com



Tillamook People's Utility District

Directors
David L. Burt
Valerie S. Folkema
Harry E. Hewitt
Douglas S. Olson
Barbara A. Trout

A Customer-Owned Electric Utility

Office: 503.842.2535 • Toll-free: 800.422.2535 • Fax: 503.842.4161

www.tpud.org

Todd Simmons
GENERAL MANAGER

November 9, 2022

R3 Coastal, LLC
Casey Shannon
62570 Eagle RD
Bend, OR 97701

RE: Work Order No. 160409
Property Located at Tillamook Coast RV Park, 85 3rd ST, Tillamook

Dear Casey:

This letter is to certify that Tillamook People's Utility District will extend electrical service to the above referenced facility in accordance with PUD Policy 4-2 which is in effect at the time service is extended:

Sincerely,

TILLAMOOK PEOPLE'S UTILITY DISTRICT

Tony MacDonald
Engineering Field Representative
503-815-8629

TM:ja

Enclosure

CC: Trevor Munro, BECON

TILLAMOOK PEOPLE'S UTILITY DISTRICT

POLICY BULLETIN 4-2

SUBJECT: LINE EXTENSION POLICY

1.0 General

It is the policy of the Tillamook People's Utility District (District) to provide line extensions to all customers within its service area, provided such line extensions comply with the following extension policy.

2.0 Application for Line Extensions

- 2.1 The applicant for an electric line extension must own, have a contract to purchase, or have a lease of sufficient duration (as determined by the District) to the property or premises before the District provides the line extension.
- 2.2 To obtain a line extension, the applicant or their representative shall complete the District's Request for Electrical Service form.
- 2.3 The District may require the applicant to supply evidence of approval for construction by the city, county, or other governing agencies. Such evidence of approval to construct guarantees the applicant's intent to proceed with construction. The District requires notification by the applicant of any property deed restrictions or zoning requirements that may affect the installation of District electrical facilities.
- 2.4 The customer/developer shall locate and clearly mark all property corners requested by the District.

3.0 Cost Estimates

- 3.1 The District will prepare a cost estimate for each line extension. The cost estimate shall include all anticipated District costs for the line extension. Additional estimates requested by the customer can be provided for a fee as specified in the District's *Customer Guide to Electric Service Requirement* book.
- 3.2 All cost estimates are valid for 180 days, and the construction of the line extension must be completed within 180 days from the date of the cost estimate letter. If the construction is not completed within 180 days of the date of the estimate letter, a new cost estimate and Line Extension Agreement may be prepared.
- 3.3 Indeterminate services are those that the District determines have an anticipated use of less than four years. All installation and retirement costs for line extensions to an indeterminate service will be paid prior to the start of construction.

4.0 **Payment**

- 4.1 The District's Line Extension Agreement shall be signed by the property owner(s) and charges paid or District financing secured prior to the start of construction.
- 4.2 The property owner has the option of paying the estimated construction cost of the line extension or securing District financing for the estimated amount.
- 4.3 Line extensions may be financed by the District up to \$10,000 dollars for a period not to exceed thirty-six (36) months, with an annual interest rate of seven (7%) percent.
- 4.4 Financing is available to qualifying applicants for service to residential, commercial, irrigation/pumping, industrial service, or street or area lighting. Financing is not available to land developments, subdivisions, partition plats, indeterminate services, and conversion projects.
- 4.5 Customers may apply for financing by following the District's loan application process.

5.0 **Refunds**

A refund, if greater than \$100.00, will be issued to the customer in the event the actual cost of the line extension is less than the estimated cost. For those financing extensions, refunds will be applied to reduce the amount financed.

6.0 **Cost Overruns**

If the actual cost of construction exceeds the cost estimate, there will be no additional charge to the customer.

7.0 **District Contribution**

Effective March 1, 2008, the District no longer contributes toward line extensions.

8.0 **Reimbursement for Subsequent Line Extensions**

The District shall have the right to connect additional customers to District electrical facilities constructed under this policy.

- 8.1 Customers receiving service under this policy and whose contribution to their line extension was greater than \$10,000 shall receive reimbursement by the subsequent permanent service connections of additional customers, provided the additional customers are connected within ten years of the execution of the former Line Extension Agreement.
- 8.2 Reimbursement shall be determined by the District on the basis of prior customer's contribution, the portion of the previously constructed facilities being used to serve the new customer, and the amount of time remaining in the

reimbursement period. Reimbursement for District-financed extensions will be applied to reduce the loan amount.

- 8.3 The use of line extensions by other utilities through a pole attachment agreement with the District or for public street lighting purposes does not qualify for customer reimbursement.
- 8.4 Reimbursement will not be given to land developments, subdivisions, or partition plans for subsequent line extensions.

9.0 Service Point

The point of delivery is called the service point and is the point at which the District-owned electrical facilities connect to the customer-owned electrical facilities. The service point shall be as defined in the District's *Customer Guide to Electric Service Requirements* book. In no case shall there be more than one service point to any dwelling, structure, or building, except by special written permission of the District and the electrical inspector.

10.0 District Electrical Facilities

Except as specified, the District shall design, locate, install, own, and maintain all service conductors and electrical facilities before the service point.

- 10.1 The District shall locate, install, own, and maintain necessary power, energy, and reactive metering, including instrument transformers and, where necessary, data recorders and communication facilities.
- 10.2 The preferred location for the metering point is on the customer's dwelling, structure, or building. The District may grant permission to place the meter at a different location when this is not practical. Metering Equipment will not be installed on any District-owned poles unless authorized by the District's Operations Manager. For installations where a Site Isolating Device is required by the National Electrical Code, the customer will own the pole it is mounted on. When the District approves the use of a meter pole, the District shall locate, install, own, and maintain the meter pole.
- 10.3 The standard location of an underground distribution system shall be outside the street/road right-of-way except at crossings. Any deviation from this policy shall be approved by the District's Engineering Department. The developer shall be responsible for the coordination of efforts between the various utilities on the project.
- 10.4 Primary underground installations shall utilize pad-mounted transformers and applicable electrical equipment meeting the District's *Customer Guide to Electric Service Requirements* book.
- 10.5 Land Developments, Partition Plats, and Subdivisions

- 10.5.1 The developer or owner shall pay all costs for the line extension electrical facilities to the lot corners with the exception of the transformers.
- 10.5.2 The individual lot owner or customer shall contract with the District for the installation of the transformer and service conductors under the line extension policy in effect at the time the application is made for that particular class of customer.
- 10.5.3 The developer or owner who requests underground electric facilities shall, at their expense, purchase and install vaults and conduit systems that meet the District's design standards specified in the *Customer Guide to Electric Service Requirements* book. The ownership of the vault and conduit system will transfer to the District after inspection and installation of District electrical facilities. The cost of inspection shall be paid by the developer or owner.

10.6 Area Lighting and Flat Rate Service

- 10.6.1 The District will furnish, install, and maintain area light or flat rate services at mutually agreeable locations attached to or directly under District's existing facilities.
- 10.6.2 Where poles, transformers, and/or secondary conductors, not a part of the District's existing distribution system, are required to provide this service, installation costs, excluding the cost of the light fixture(s), will be at the customer's expense, payable in accordance with Section 3.0 of this policy.
- 10.6.3 The complete lighting installation shall remain the property of the District. The customer will be responsible for the payment of a monthly rental fee in accordance with the District's area light rate schedule.
- 10.6.4 The customer will protect the lighting equipment and associated electrical facilities from damage and shall allow the District free access to the property to inspect and maintain the equipment or to remove the installation upon the termination of service.

10.7 Capacity Increases to Existing Loads

Capacity increases to existing residential, commercial, farm, industrial, irrigation, pumping, lighting, and indeterminate electrical facilities shall be treated as though the increased capacity requirements were a new load. Charges for increased capacity shall be determined according to Section 3.0.

10.8 Flood Areas

Those areas in the District's service area that the District determines are subject to flooding will require special consideration. The District will not install its equipment or provide service to customer-owned equipment that the District does not consider suitable for such locations.

10.9 Easements

The District shall require an easement satisfactory to the District for the installation, operation, and maintenance of its electrical facilities prior to their installation on private property. All costs incurred by the District associated with securing the easement will be added to the estimate of line extension costs.

11.0 **Electrical Facilities Installed by Customer**

The customer shall be responsible for the design, installation, ownership, and maintenance of all electrical facilities after the service point, except for meters and instrument transformers.

- 11.1 In addition to complying with all applicable District policies, the customer shall comply with the rules and regulations of the most current editions of the National Electrical Code (NEC); the National Electric Safety Code (NESC); State of Oregon Electrical Specialty Code; and state, federal, and local requirements.
- 11.2 The customer shall provide and install electrical facilities that meet the District's specifications referenced in the *Customer Guide to Electric Service Requirements* book. The District does not install or maintain services beyond the service point. See Section 13 of this Policy.
- 11.3 Customers shall provide vaults and conduits for pad-mounted electrical equipment required to serve them. Customer-provided electrical equipment shall be designed, located, and constructed in accordance with the District's *Customer Guide to Electric Service Requirements* book.
 - 11.3.1 The ownership of customer-provided equipment located ahead of the service point will transfer to the District after inspection and installation of the District's electrical equipment. The customer shall pay the cost of the inspection.
- 11.4 The customer shall also be responsible for furnishing, install, maintain, and owning all metering facilities after the service point; except for District meters, test blocks, instrument transformers, and associated instrument wires.
- 11.5 The District encourages the metering of the same customer-owned buildings such as barns, parlors, loafing sheds, and pumps through a single meter. Where feasible, all three-phase and single-phase consumption will be supplied and metered through a single metering point. Necessary meter mains will be supplied by the customer, who shall own all electrical facilities beyond the service point except as provided in Section 13 of this Policy.
- 11.6 The customer shall not place customer-owned area lighting on District-owned poles or facilities. The customer has the option of providing and installing an area lighting system; provided service to these electrical facilities is connected behind the service point and has the proper disconnect and overprotection equipment.

Ownership and maintenance of the complete lighting system behind the disconnect and electric meter will remain the responsibility of the owner.

- 11.7 The customer shall be responsible for digging and backfilling all trenches. Trenches shall meet design standards set forth in the *Customer Guide to Electric Service Requirements* book.
- 11.8 The customer is responsible to obtain the inspection and approval by the electrical inspector prior to the start of construction.
- 11.9 Trailer and RV parks will utilize the number of service points the District determines are appropriate. Ownership and responsibility for distribution of service within the Trailer or RV parks shall be with the owner/developer.

12.0 **Conversion of Overhead to Underground Electrical Facilities**

Refer to Policy 4-5 (Relocation or Modification of District Facilities).

13.0 **Electric Services Beyond the Meter**

All connections to the District's facilities shall require assistance from the District's Operations Department and the District shall make the connection of the customer's service wires to the District's facilities. Ownership and maintenance of services beyond the service point shall be the customer's responsibility.

13.1 **Underground Service**

The District will not install or maintain underground services beyond the service point. The customer shall install and maintain these services behind an approved disconnect as allowed by the National Electric Code unless otherwise specified by the District's Engineering Department.

13.2 **Overhead Service**

The District will not install or maintain overhead services beyond the service point. The customer shall install and maintain these services behind an approved disconnect unless otherwise specified by the District's Engineering Department.

14.0 **Reduced Voltage or Current Starting Devices**

A customer shall not interfere with the quality of their own service or that of another customer. Customers shall comply with quality of service standards specified in the *Customer Guide to Electric Service Requirements* book.

15.0 **Compliance**

Should the customer not comply with the aforementioned policies, rules, and regulations, the District may refuse service; or in the case where service is being delivered, the District may discontinue such service until compliance with these policies is confirmed.

RESPONSIBILITY: Engineering Manager

ADOPTED: December 19, 1961

Revision Dates: 11-16-65; 12-13-65; 9-12-72; 7-15-80; 5-18-82; 9-18-84; 3-17-87; 12-12-89; 11-13-90; 12-17-91; 1-01-92; 1-01-93; 1-01-94; 1-01-95; 8-15-95; 6-18-96; 8-12-97; 8-15-00; 12-18-01; 2-12-02; 3-16-04, 12-18-07, 2-17-09; 8-17-2021

Effective Date: September 21, 2021

RE: Tillamook Coast RV External Inbox x

Nonda Zwald
to me

8:44 AM (2 hours ago)

This letter is to confirm that West Hills Water Company serves the Tillamook Coast RV Park at 85 Third St. West. Water is available to the RV Park for expansion.

I can confirm that the backflow assembly at the Park is a 2", and I can confirm that the pressure recorded at the last backflow assembly test was 90 PSI. West Hills Water Company purchases all if it's treated water from the City of Tillamook. On a typical day, the city runs around 82 PSI.

I have a question out to our field personal to confirm the size of the meter. When I get that information back, I will forward it on to you.



9980 South Prairie Road | Tillamook, OR 97141
tel (503) 842-1515 | mobile (503) 801-1607
fax (503) 842-1751

[email](#) | [website](#) | [map](#)

Confidentiality Note: This email may contain confidential and/or private information. If you received this email in error please delete and notify sender.

From: Trevor Munro <tmunro@beconeng.com>
Sent: Wednesday, November 9, 2022 4:47 PM
To: Nonda Zwald <nonda@zwald.org>
Subject: Re: Tillamook Coast RV

Nonda,

We plan to submit the attached prelim calculations to the county. Could you provide a will-serve statement in the form of a letter or email saying that you will serve the proposed RV Park expansion? Could you also confirm that the assumptions I used in the calcs of 2" meter and service line with 90 PSI are accurate?

Thanks,

Trevor Munro, PE
BECON www.beconeng.com
549 SW Mill View Way, Suite 100

TILLAMOOK COAST RV PARK

T: 1S, R: 10W, Sec 26, Tls 00500 & 02300

85 Third Street Tillamook, OR 97141

Table of Contents

Page 1	Cover Sheet	Page 6	Tank Details (HT5)
Page 2	System Schematic	Page 7	Tank Details (HT6 & HT7)
Page 3	Site Plan	Page 8	Dump Station Details
Page 4	Tank Details (HT1 & HT2)	Page 9	Sanistar Photos
Page 5	Tank Details (HT3 & HT4)	Page 10	Parts List
		Page 11	Construction Specifications

Project Description

A RV Dump Station and Holding Tank System is proposed for a 54 space RV park and campground. Incoming RVs will dump black and greywater tanks into the holding tank system prior to entering the park or at the RV site in which they occupy. The estimated daily flow is 5,400 gallons per day (54 RVs @ 100 gallons per day including host site). Dump station RV waste flows into the system via a hose connection port which unlocks upon payment. Sewage will flow into a series of 2x 3,000-gallon holding tanks (HT6-HT7). HT7 will be equipped with an audible alarm (75% of capacity). When HT7 reaches 90% of the system's capacity, the pay station is disabled, locking the hose connection cap, and preventing further use. Each RV site will be equipped with individual dump hookup with waste flow to an assigned holding tank collecting from 9 to 13 sites each. All tanks will be equipped with an audible alarm activating at 75% of capacity. Onsite restrooms are available for occupants to use and are connected to a separate 1500 gallon holding tank system (HT8). The manager's trailer is currently connected to an AX20 wastewater treatment system with a failing drain field. This entire system and drainfield will be removed or abandoned, and the flow diverted to holding tank system HT2.

ATTENTION: Oregon law requires you to follow rules adopted by the Oregon Utility Notification Center. Those rules are set forth in OAR 952-001-0010 through OAR 952-001-0090. You may obtain copies of the rules by calling the center. (Note: the telephone number for the Oregon Utility Notification Center is (503) 232-1987).

PERMITS TO NOTIFY EXCAVATOR OF REQUIREMENTS OF LAW

952-001-0030 Any entity authorized to issue permits for construction which requires excavation shall include on such permits the language set out in OAR 952-001-0020.

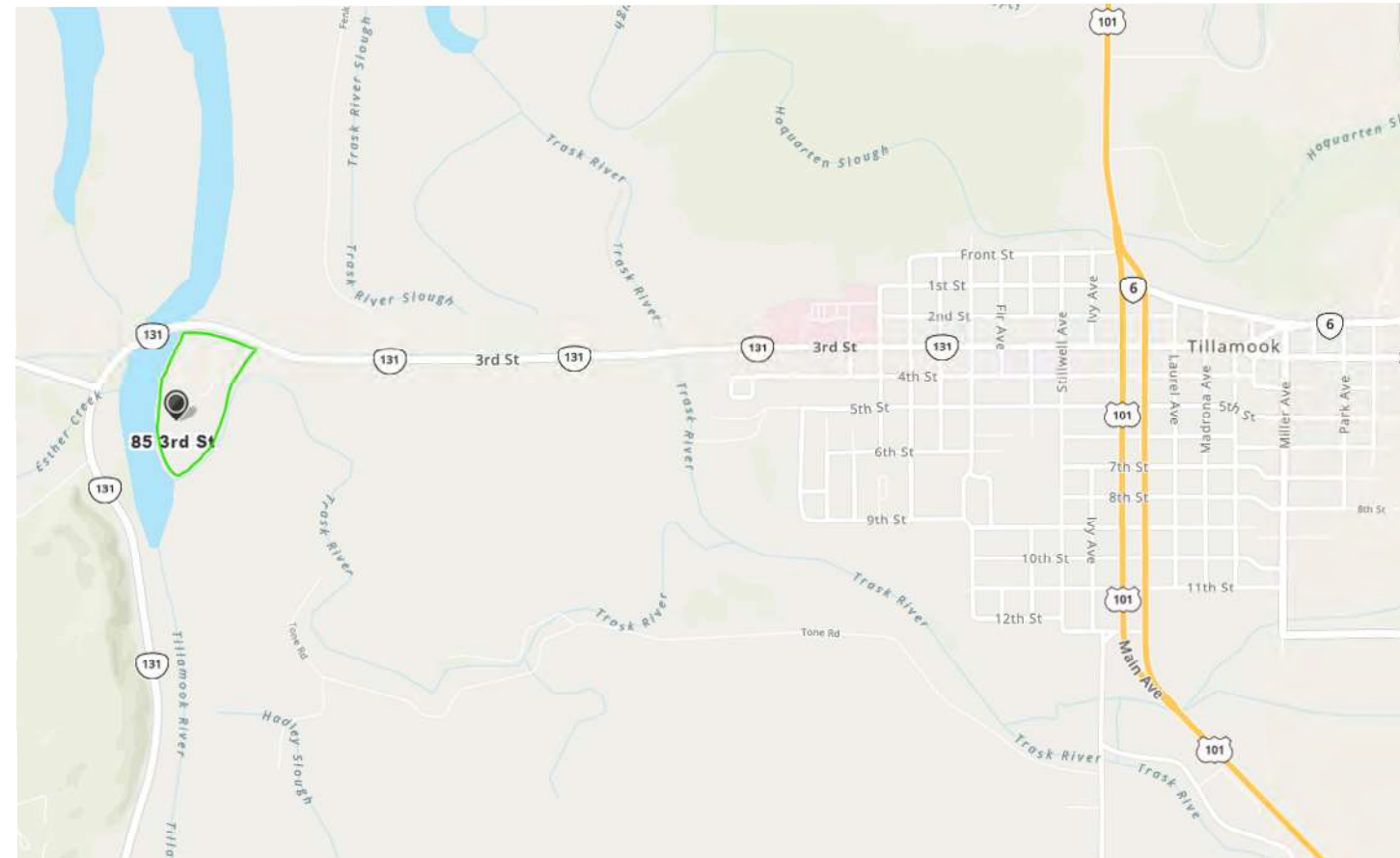
Site and Soils

- Site Sloping 0-2%
- Soil Types per Tillamook County Soil Survey consist primarily of **104A Coquille-Brenner-Nehalem**

INSTALLER: _____

LICENSE #: _____

VICINITY MAP



21-0206-01

TILLAMOOK COAST RV PARK

CHECKED:

4080 SE International Way
Suite B112
Milwaukie, OR 97222



503-353-6681
360-735-1109
www.envmgisys.com

ENVIRONMENTAL
MANAGEMENT SYSTEMS, INC.

T: 1S, R: 10W, Sec 26, Tls 00500 & 02300

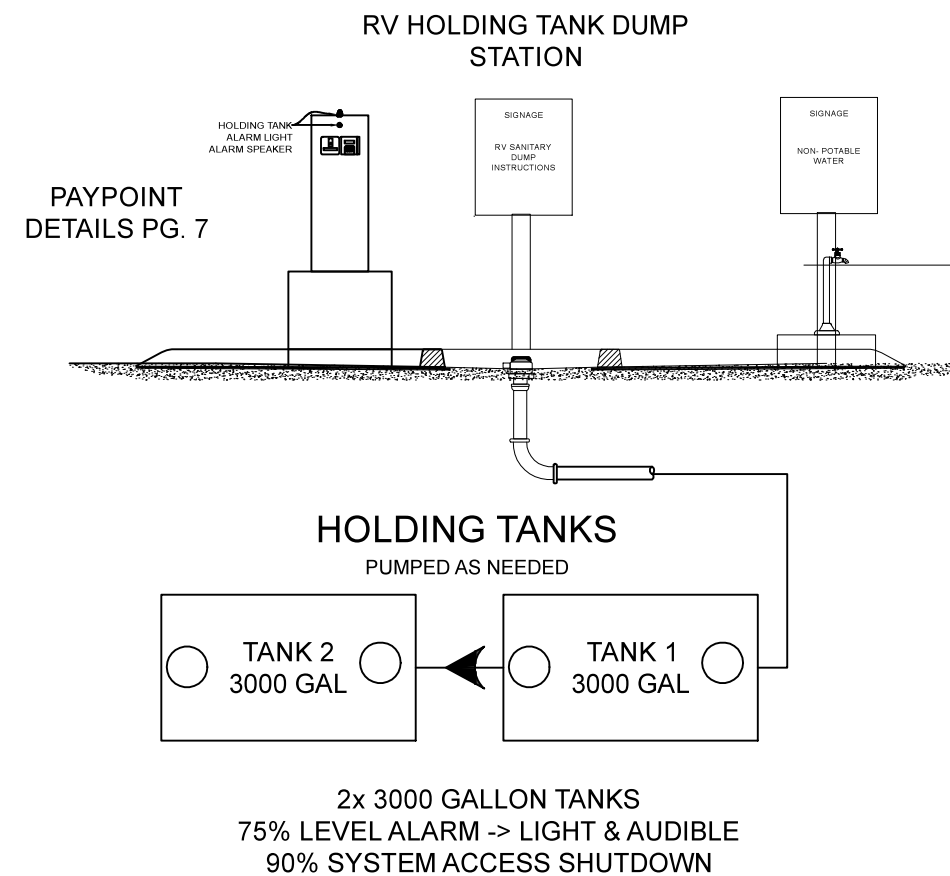
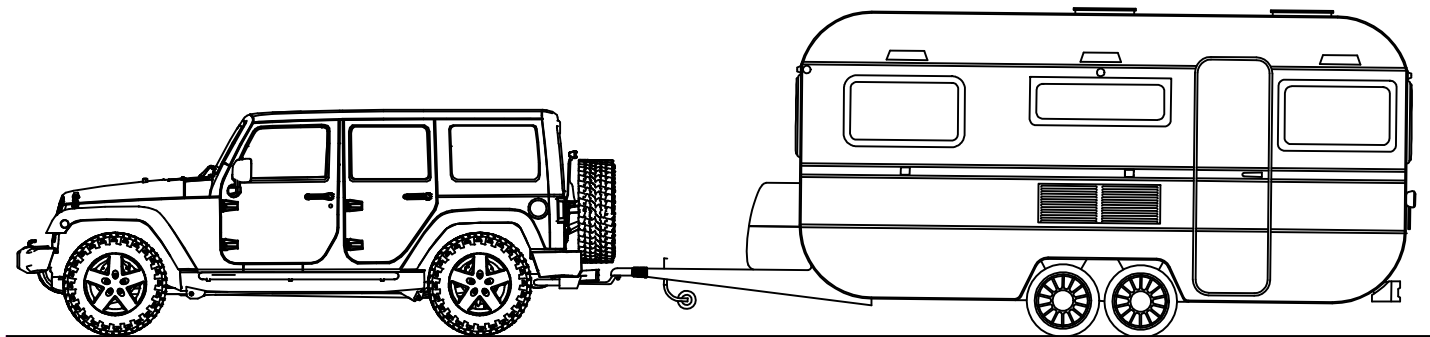
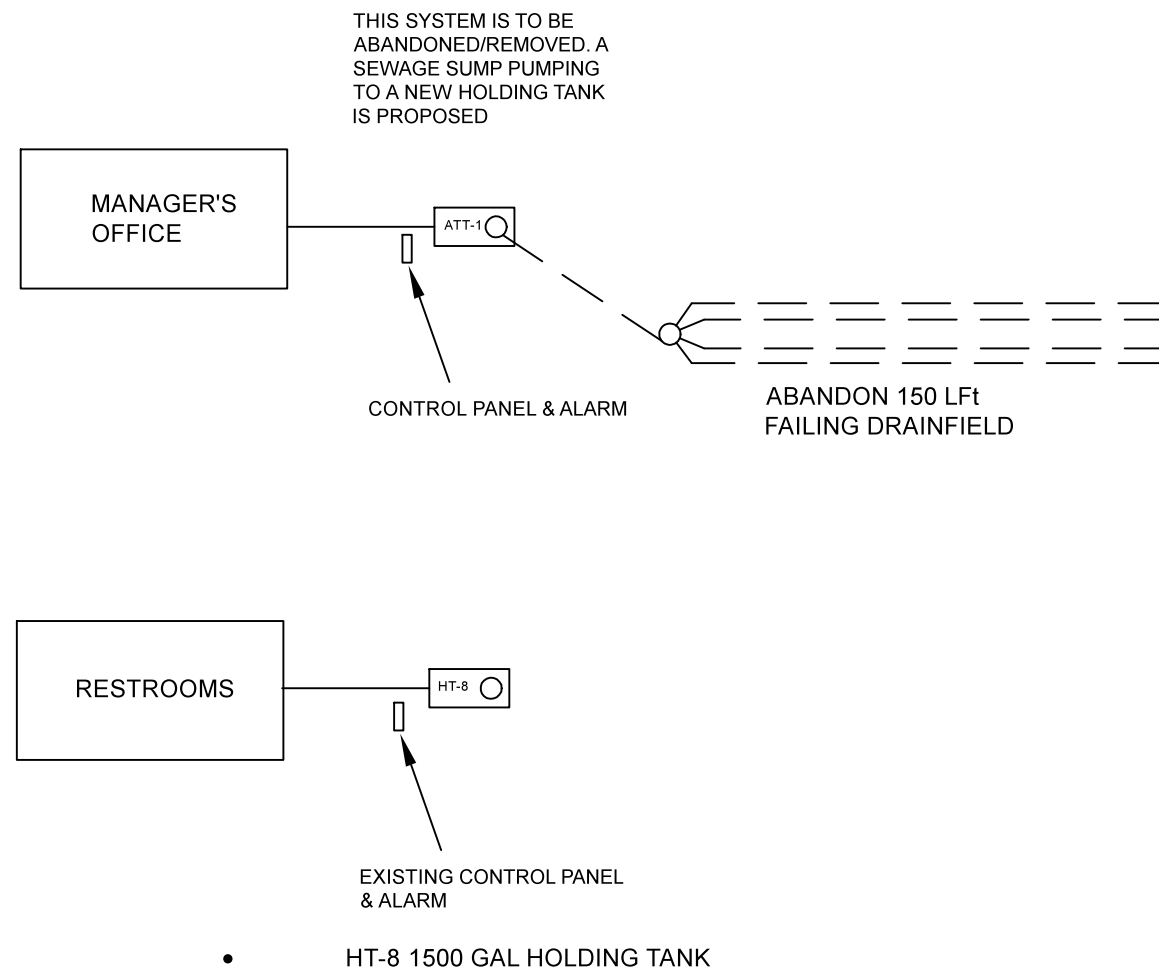
11/10/2022

COVER SHEET

1 OF 11

85 THIRD ST
TILLAMOOK, OR 97141

EXISTING SYSTEM AS BUILT SCHEMATIC



21-0206-01

11/10/2022

2 OF 11

TILLAMOOK COAST RV PARK

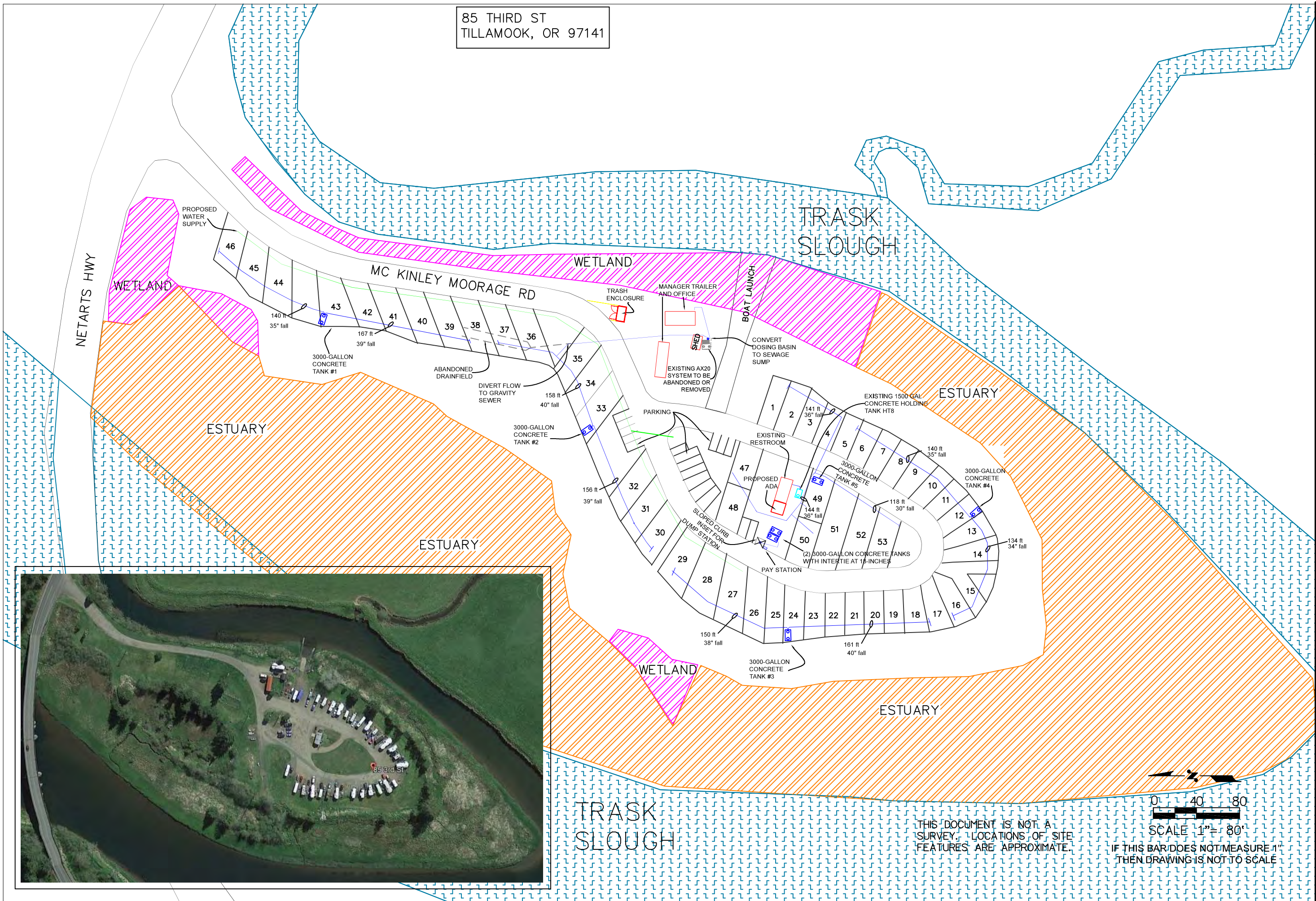
T: 1S, R: 10W, Sec 26, Tls 00500 & 02300

SCHEMATIC

CHECKED:

DRAWN:

85 THIRD ST
TILLAMOOK, OR 97141



THIS DOCUMENT IS NOT A
SURVEY. LOCATIONS OF SITE
FEATURES ARE APPROXIMATE.



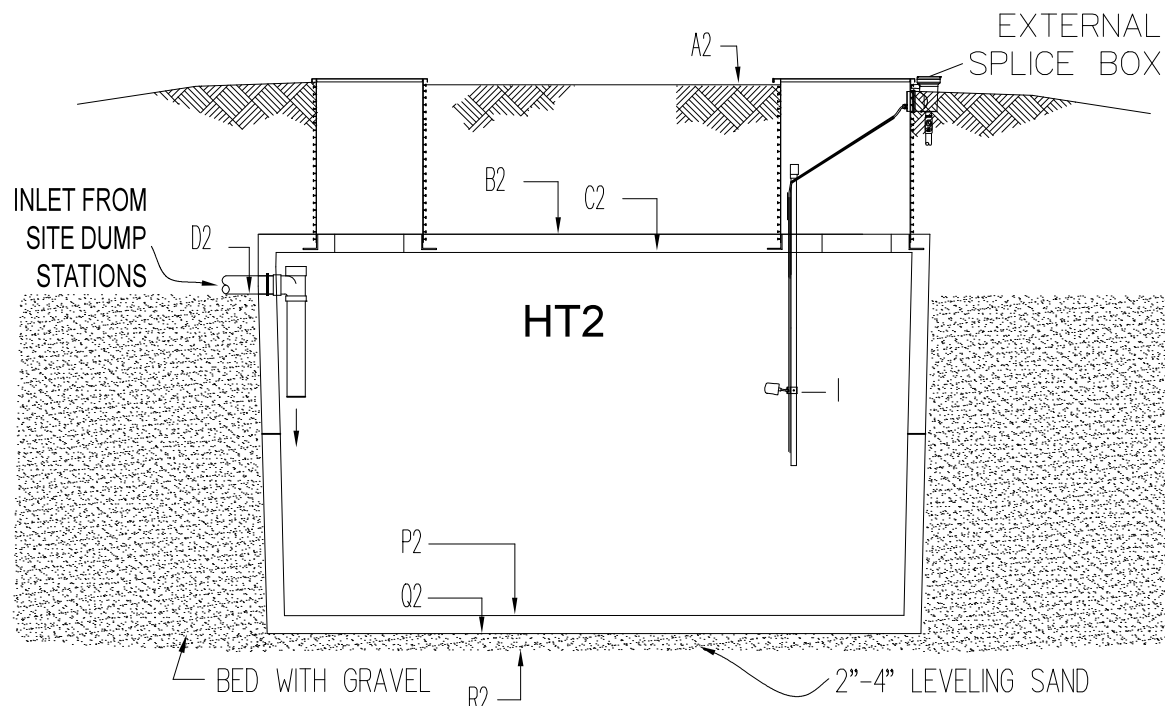
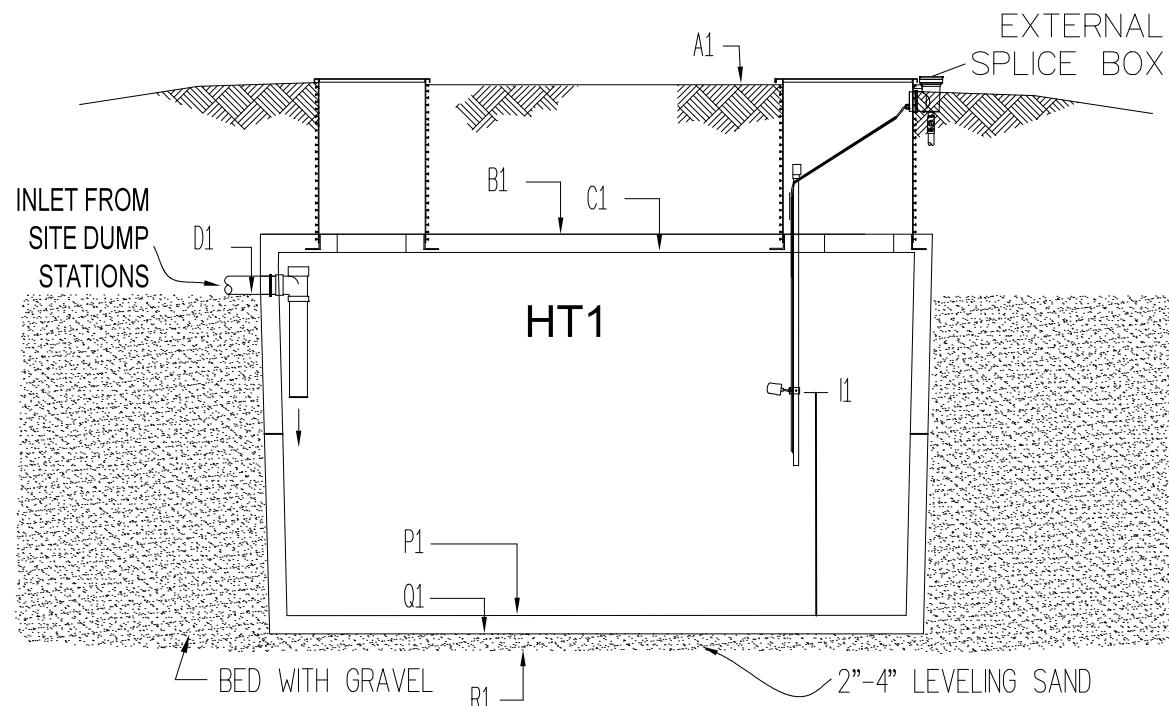
SCALE 1" = 80'
IF THIS BAR DOES NOT MEASURE 1"
THEN DRAWING IS NOT TO SCALE

21-0206-01	TILLAMOOK COAST RV PARK	CHECKED:
11/10/2022	T: 1S, R: 10W, Sec 26, Tls 00500 & 02300	DRAWN:
3 OF 11	SITE PLAN	<p>EMS 4080 SE International Way Sulite, B112 Milwaukie, OR 97222 503-353-9691 360-735-1109 www.envmgtsys.com</p> <p>ENVIRONMENTAL MANAGEMENT SYSTEMS, INC.</p>

85 THIRD ST
TILLAMOOK, OR 97141

Holding Tank (HT1)			
Letter	Component	Elevation from Tank Floor (Inches)	Elevation from Tank Top (Inches)
A1	Ground Surface	126.00	42.00
B1	Top of Tank	84.00	0.00
C1	Ceiling of Tank	80.00	-4.00
D1	Inlet Invert	74.00	-10.00
E1	RSV Manifold	na	na
F1	RSV Stinger Seat	na	na
G1	Outlet Invert	72.00	-12.00
H1	Outlet Opening	na	na
I1	Alarm (HWA)	55.50	-28.50
J1	Pump On	na	na
K1	Pump Off	na	na
L1	na	na	na
M1	Redundant Off	na	na
N1	Vault Inlet Holes	na	na
O1	Pump Intake	na	na
P1	Floor of Tank	0.00	-84.00
Q1	Bottom of Tank	-4.00	-88.00
R1	Excavation	-8.00	-92.00

Holding Tank (HT2)			
Letter	Component	Elevation from Tank Floor (Inches)	Elevation from Tank Top (Inches)
A	Ground Surface	127.00	43.00
B	Top of Tank	84.00	0.00
C	Ceiling of Tank	80.00	-4.00
D	Inlet Invert	74.00	-10.00
E	RSV Manifold	na	na
F	RSV Stinger Seat	na	na
G	Outlet Invert	na	na
H	Outlet Opening	na	na
I	Alarm (HWA)	55.50	-28.50
J	Pump On	na	na
K	Pump Off	na	na
L	na	na	na
M	Redundant Off	na	na
N	Vault Inlet Holes	na	na
O	Pump Intake	na	na
P	Floor of Tank	0.00	-84.00
Q	Bottom of Tank	-4.00	-88.00
R	Excavation	-8.00	-92.00



ALL RISERS 30" PVC W/ FIBERGLASS LID, S.S. BOLTS AND URETHANE GASKET (BONDED TO TANK ADAPTER W/ADHESIVE)

WILLAMETTE GRAYSTONE 3000-GAL HOLDING TANKS HT2 - HT3

21-0206-01

TILLAMOOK COAST RV PARK

11/10/2022

T: 1S, R: 10W, Sec 26, Tls 00500 & 02300

4 OF 11

TANK DETAILS (HT1 & HT2)

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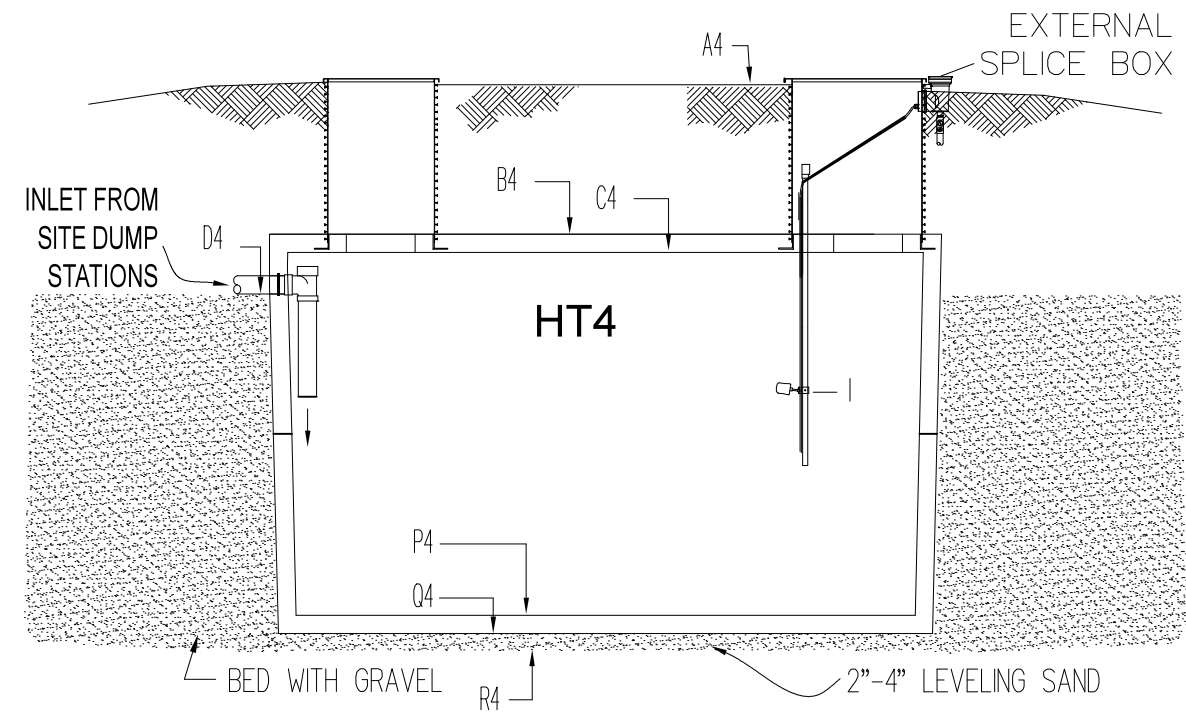
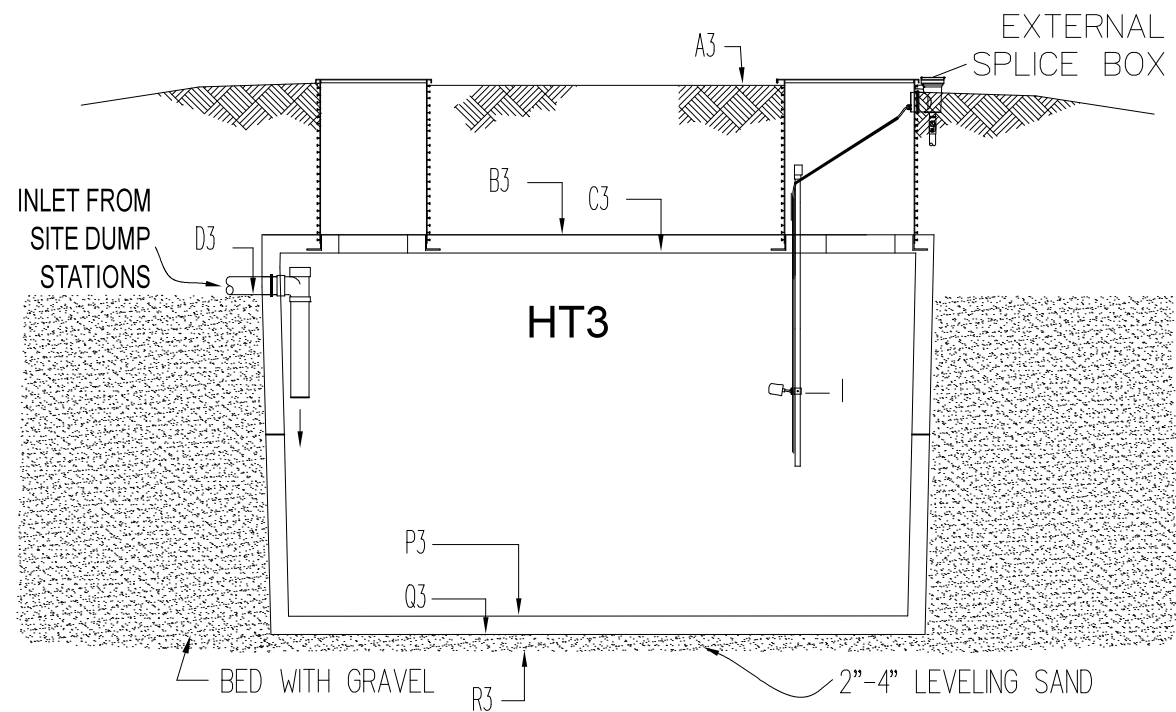
85 THIRD ST
TILLAMOOK, OR 97141

Holding Tank (HT3)

Letter	Component	Elevation from Tank Floor (Inches)	Elevation from Tank Top (Inches)
A	Ground Surface	127.00	43.00
B	Top of Tank	84.00	0.00
C	Ceiling of Tank	80.00	-4.00
D	Inlet Invert	74.00	-10.00
E	RSV Manifold	na	na
F	RSV Stinger Seat	na	na
G	Outlet Invert	na	na
H	Outlet Opening	na	na
I	Alarm (HWA)	55.50	-28.50
J	Pump On	na	na
K	Pump Off	na	na
L	na	na	na
M	Redundant Off	na	na
N	Vault Inlet Holes	na	na
O	Pump Intake	na	na
P	Floor of Tank	0.00	-84.00
Q	Bottom of Tank	-4.00	-88.00
R	Excavation	-8.00	-92.00

Holding Tank (HT4)

Letter	Component	Elevation from Tank Floor (Inches)	Elevation from Tank Top (Inches)
A	Ground Surface	122.00	38.00
B	Top of Tank	84.00	0.00
C	Ceiling of Tank	80.00	-4.00
D	Inlet Invert	74.00	-10.00
E	RSV Manifold	na	na
F	RSV Stinger Seat	na	na
G	Outlet Invert	na	na
H	Outlet Opening	na	na
I	Alarm (HWA)	55.50	-28.50
J	Pump On	na	na
K	Pump Off	na	na
L	na	na	na
M	Redundant Off	na	na
N	Vault Inlet Holes	na	na
O	Pump Intake	na	na
P	Floor of Tank	0.00	-84.00
Q	Bottom of Tank	-4.00	-88.00
R	Excavation	-8.00	-92.00



ALL RISERS 30" PVC W/ FIBERGLASS LID, S.S. BOLTS AND URETHANE GASKET (BONDED TO TANK ADAPTER W/ADHESIVE)

WILLAMETTE GRAYSTONE 3000-GAL HOLDING TANKS HT3 - HT4

21-0206-01

11/10/2022

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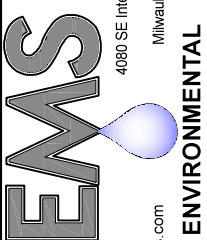
TILLAMOOK COAST RV PARK

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TANK DETAILS (HT3 & HT4)

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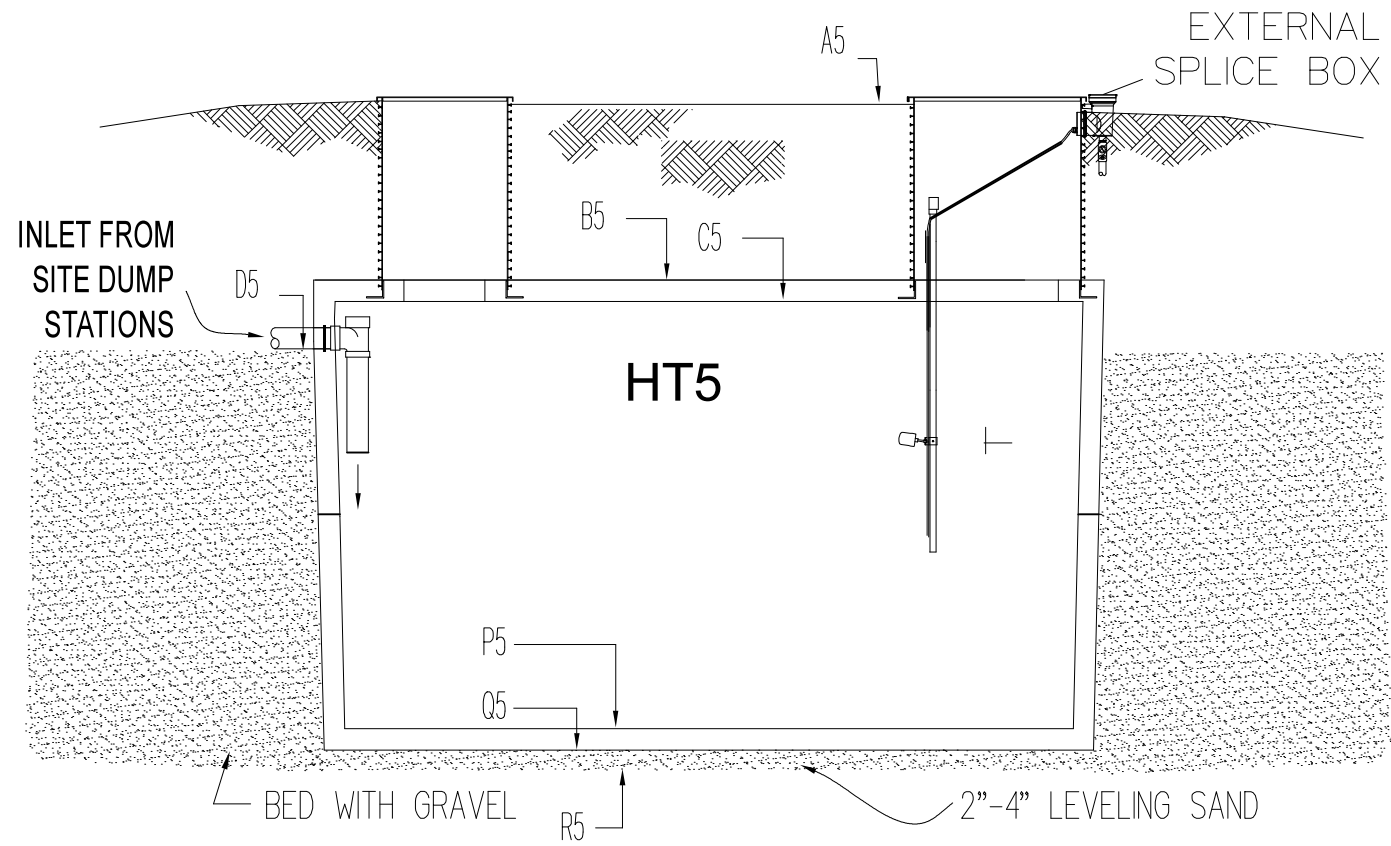
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TILLAMOOK, OR 97141

Holding Tank (HT5)			
Letter	Component	Elevation from Tank Floor (Inches)	Elevation from Tank Top (Inches)
A	Ground Surface	123.00	39.00
B	Top of Tank	84.00	0.00
C	Ceiling of Tank	80.00	-4.00
D	Inlet Invert	74.00	-10.00
E	RSV Manifold	na	na
F	RSV Stinger Seat	na	na
G	Outlet Invert	na	na
H	Outlet Opening	na	na
I	Alarm (HWA)	55.50	-28.50
J	Pump On	na	na
K	Pump Off	na	na
L	na	na	na
M	Redundant Off	na	na
N	Vault Inlet Holes	na	na
O	Pump Intake	na	na
P	Floor of Tank	0.00	-84.00
Q	Bottom of Tank	-4.00	-88.00
R	Excavation	-8.00	-92.00



ALL RISERS 30" PVC W/ FIBERGLASS LID, S.S. BOLTS AND URETHANE GASKET (BONDED TO TANK ADAPTER W/ADHESIVE)

WILLAMETTE GRAYSTONE 3000-GAL HOLDING TANK HT5

21-0206-01

TILLAMOOK COAST RV PARK

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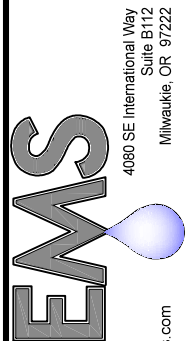
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TANK DETAILS (HT5)

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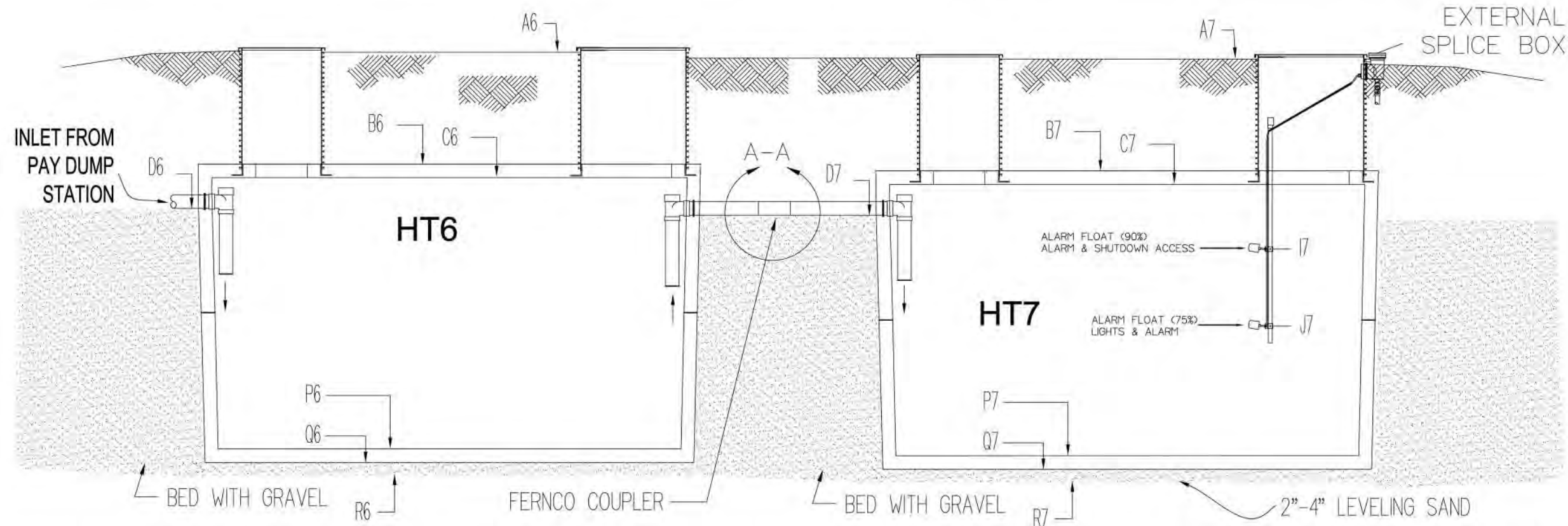
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Holding Tank (HT6)			
Letter	Component	Elevation from Tank Floor (Inches)	Elevation from Tank Top (Inches)
A6	Ground Surface	108.0	24.0
B6	Top of Tank	84	0.0
C6	Ceiling of Tank	80.0	-4.0
D6	Inlet Invert	74.0	-10
E6	RSV Manifold	na	na
F6	RSV Stinger Seat	na	na
G6	Outlet Invert	na	na
H6	Outlet Opening	na	na
I6	Alarm (HWA)	na	na
J6	Pump On	na	na
K6	Pump Off	na	na
L6	na	na	na
M6	Redundant Off	na	na
N6	Vault Inlet Holes	na	na
O6	Pump Intake	na	na
P6	Floor of Tank	0.0	-84.0
Q6	Bottom of Tank	-4.0	-88.0
R6	Excavation	-8.0	-92.0

Holding Tank (HT7)			
Letter	Component	Elevation from Tank Floor (Inches)	Elevation from Tank Top (Inches)
A7	Ground Surface	112.0	28.0
B7	Top of Tank	84	0.0
C7	Ceiling of Tank	80.0	-4.0
D7	Inlet Invert	74.0	-10
E7	RSV Manifold	na	na
F7	RSV Stinger Seat	na	na
G7	Outlet Invert	na	na
H7	Outlet Opening	na	na
I7	Alarm (90%)	59.0	-25.0
J7	Alarm (75%)	37.0	-47.0
K7	Pump Off	na	na
L7	na	na	na
M7	Redundant Off	na	na
N7	Vault Inlet Holes	na	na
O7	Pump Intake	na	na
P7	Floor of Tank	0.0	-84.0
Q7	Bottom of Tank	-4.0	-88.0
R7	Excavation	-8.0	-92.0



WILLAMETTE GRAYSTONE 3000-GAL HOLDING TANKS HT6 - HT7

ALL RISERS 24" PVC W/ FIBERGLASS LID, S.S. BOLTS AND URETHANE GASKET (BONDED TO TANK ADAPTER W/ADHESIVE)

21-0206-01

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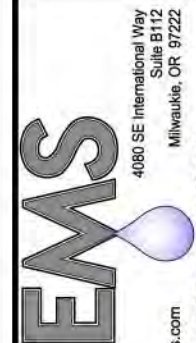
TILLAMOOK COAST RV PARK

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TANK DETAILS (HT6 & HT7)

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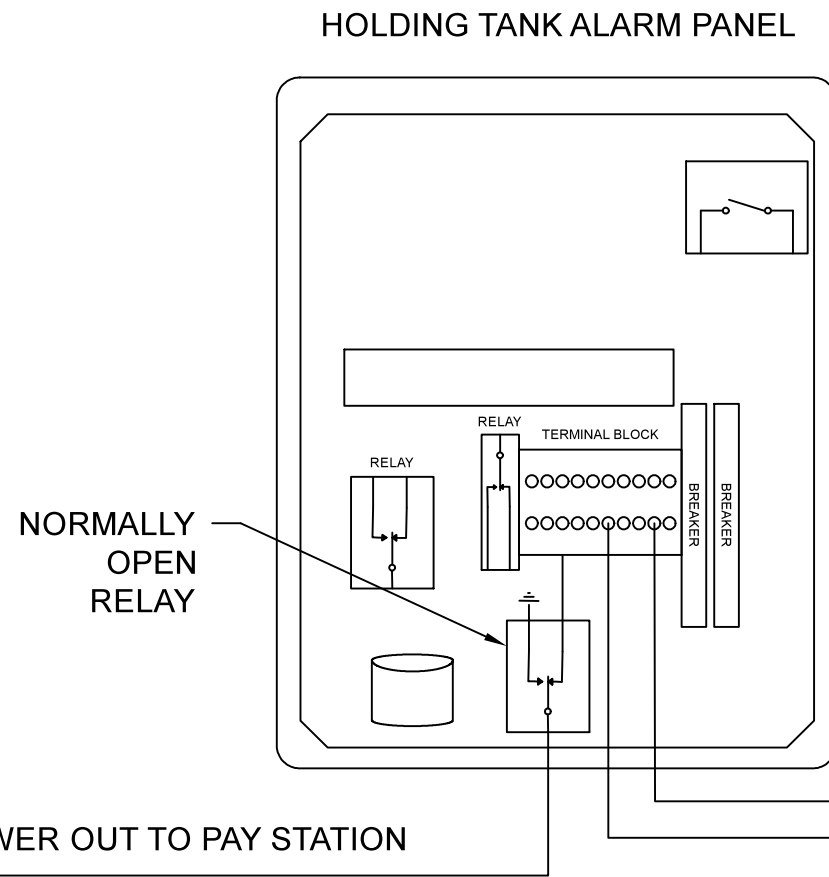
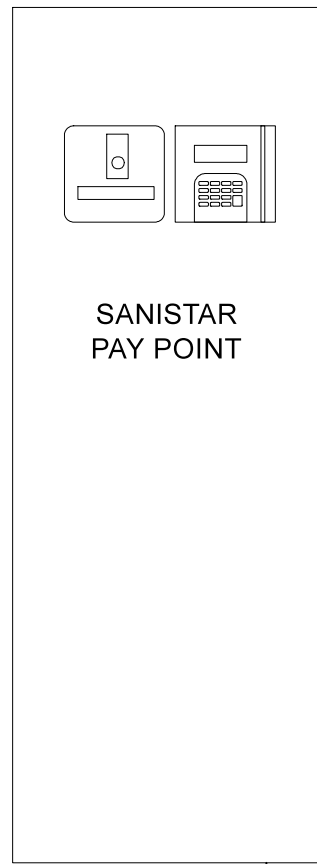
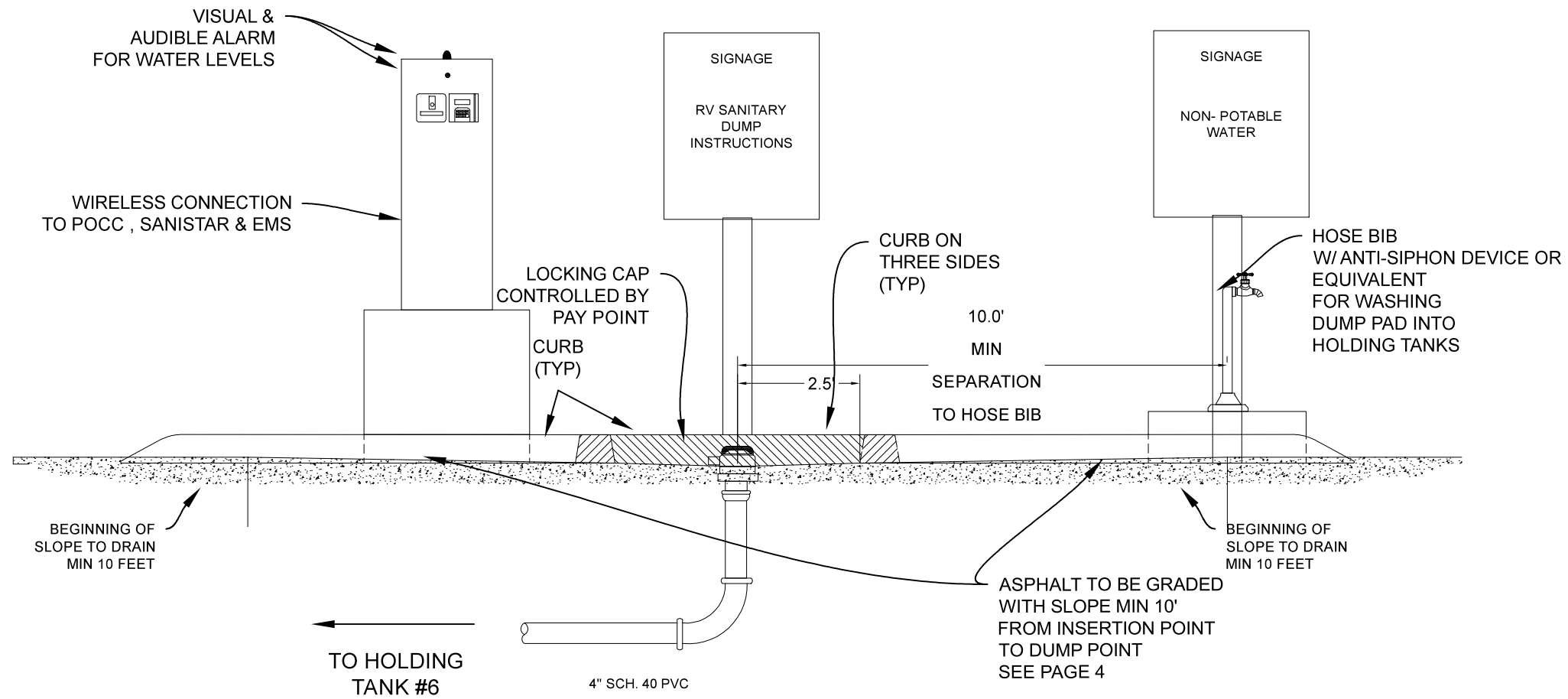


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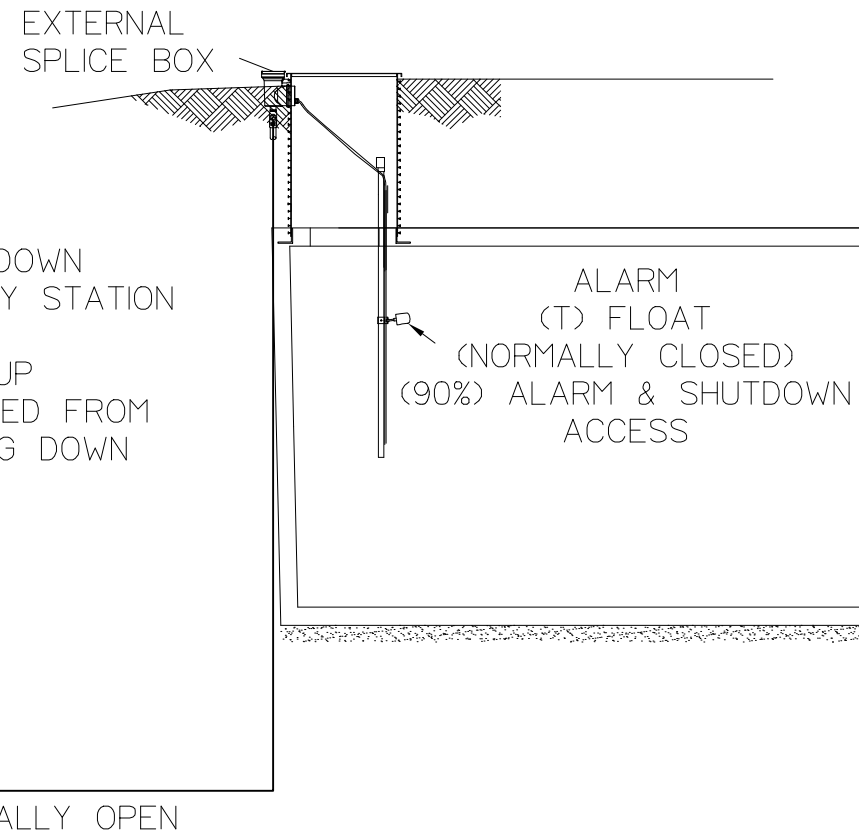
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WHEN 90% FLOAT IS DOWN
POWER FLOWS TO PAY STATION

WHEN 90% FLOAT IS UP
POWER IS DISCONNECTED FROM
PAY STATION SHUTTING DOWN
ACCESS.



FLOAT NORMALLY OPEN

21-0206-01

TILLAMOOK COAST RV PARK

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DUMP STATION DETAILS

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Typical Sanistar paystation location



Paystation Close-up. Typical National Rates \$10-\$25 per dump



Typical pedestal location

Site protected from traffic with curbs



Sanistar paystation with RV
Site protected from traffic with curbs



Foot operated access port
Unlocked by paystation



Pay station with water hose and electrical outlet

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TILLAMOOK COAST RV PARK

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SANISTAR PHOTOS

21-0206-01

11/10/2022

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85 THIRD ST
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PRELIMINARY GUIDANCE LIST ONLY
All items to be reviewed by designer & installer prior to ordering
All part substitutions must be pre-approved by designer.
Major component & tank substitutions require additional design time.

Qty	Product ID	Description
TANKS		
7	Willamette Graystone 3000 Gallon Holding Tank	3000 Gallon Concrete Septic Tank for tanks HT1-HT7
1700'	4" Schedule 40 PVC or greater	Piping from Dump Receptacles to each individual HT
1	MF2TP-51FS	51" Float tree for HT7
7	MF1P-33FS	33" Float tree for HT1-HT5
10	R3044 / FL30G	30" RISERS and 30" LIDS for HT1-HT5
4	R2430 / FL24G	24" RISERS and 24" LIDS for HT6-HT7
6	SBEX2	EXTERNAL SPLICE BOX
6	RRFB	FLOAT BRACKET, BOLT ON
ALARM SYSTEM		
6	AMLAHW	VISUAL & AUDIBLE LIQUID LEVEL ALARM PANEL HT1-HT5, HT7 W/ VISUAL & AUDIBLE W/ SHUTOFF
PAYPOINT SYSTEM		
1	CONTACT SANISTAR OR SIMILAR SYSTEM	Control system for dump station.

Component	Holding Tank 1	Holding Tank 2	Holding Tank 3	Holding Tank 4	Holding Tank 5	Holding Tank 6	Holding Tank 7
Size	3000Gal	3000Gal	3000Gal	3000Gal	3000Gal	3000Gal	3000Gal
Manufacturer	WG	WG	WG	WG	WG	WG	WG
Material	Concrete	Concrete	Concrete	Concrete	Concrete	Concrete	Concrete
Access	Riser Lid	Riser Lid	Riser Lid	Riser Lid	Riser Lid	Riser Lid	Riser Lid
<i>Maintenance</i>							
Event Counter	As Needed	As Needed	As Needed	As Needed	As Needed	As Needed	As Needed
Moisture/Odors	Monthly	Monthly	Monthly	Monthly	Monthly	Monthly	Monthly
Alarms	As Needed	As Needed	As Needed	As Needed	As Needed	As Needed	As Needed
Alarm Noise	Hi/Lo	Hi/Lo	Hi/Lo	Hi/Lo	Hi/Lo	Hi	Hi
Scum, Sludge, Solids	As Needed	As Needed	As Needed	As Needed	As Needed	As Needed	As Needed
Gallons / Inch	43.3	43.3	43.3	43.3	43.3	43.3	43.3
Effluent Sampling	When Pumped	When Pumped	When Pumped	When Pumped	When Pumped	When Pumped	When Pumped

Key: Tanks: W=Waite, WG=Willamette Greystone, M=Michaels, D=D&K,
 X= Xerxes, CSI = Containment Solutions, Inc.
 Material: PVC=Polyvinyl Chloride, FG=Fiberglass
 OSI=Orenco Systems Inc.

TILLAMOOK COAST RV PARK

21-0206-01

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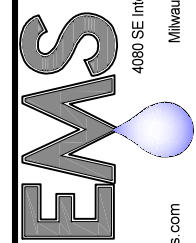
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PARTS LIST and MAINTENANCE

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CHECK OFF	
	GENERAL STANDARDS
	ATTENTION: Oregon law requires you to follow rules adopted by the Oregon Utility Notification Center. Those rules are set forth in OAR 952-001-0010 through OAR 952-001-0090. You may obtain copies of the rules by calling the center. (Note: the telephone number for the Oregon Utility Notification Center is (503) 232-1987).
	All work and material shall conform with OAR 340 Div. 71 & 73 approved design permit, and appropriate laws. Permits relating (but not limited) to plumbing, electrical, and grading must be coordinated with the on-site system installer and designer.
	Minor modifications to accommodate stumps, boulders or other unforeseen obstacles may be needed. Major modification cannot be performed without re-design and regulatory approval.
	If the installation contractor (installer) notes any conflicts with applicable State and/or local laws, rules or requirements, he shall request a clarification before ordering or installing affected materials or work. This may include and is not limited to such factors as: land-use regulations, grading ordinances, erosion control districts, hauling limits, typographical errors, etc. Noreimbursement to the Contractor will be provided for unauthorized work.
	Installer is to obtain copies of all necessary permits, authorizations, licenses etc. prior to initiating construction, including that specialty design work designated to a subcontractor which is directly or indirectly related to the system construction, design, delivery, or installation.
	Installer shall request and obtain utility locates by a qualified service for all potential underground utilities before excavation work commences.
	Installer shall maintain any and all survey monuments, which are affected by work and activities, related to the projects. Monuments, if damaged by the installer, shall be reset by a licensed surveyor at the installer's expense.
	All materials and equipment shall be of the type, model and brand listed for the manufacturers specified, unless otherwise authorized by the system designer. Substitution of materials and equipment shall receive pre-authorization and the contractor/installer will be responsible for providing performance and operating data.
	Installer shall prepare, maintain and provide, at completion of the project, drawings detailing the construction "as-built" and shall provide the owner & designer with the manufacturer's current specification and operating data on all equipment installed prior to final payment to the installer.
	TANK (S)
	Seal all joints and seams with manufacturer-approved sealants. Provide material submittal, and all means and methods for tank and accessory testing.
	Odor proof: Seal riser lid to contact with closed cell plastic foam sheet, or single-side adhesive neoprene foam tape.
	Rises: Tanks must be equipped with one piece watertight risers, with minimum 30" inside diameter, with tank access brought to 3" above finish grade. Joints must be sealed interior and exterior, and pressure tested per plans. (See attached "Tank Inspection and Testing" notes)
	Riser: Tank must be equipped with a watertight riser, with minimum 18" inside diameter, with tank access brought to or above finish grade. Riser must be fiberglass bonded to tank adapter w/ adhesive.
	Knockouts: Perforations and unused knockouts must be grouted or otherwise sealed.
	Watertight: After installation, Tank must be subject to 24 hour test for watertightness. Fill to a maximum 2" into riser. Mark water level, time and date. There may be no more than 1 gallon leakage over 24 hour period.
	THE ABOVE SPECIFICATIONS ARE IN ADDITION TO AND DO NOT REPLACE THE MANUFACTURERS WRITTEN INSTALLATION AND TESTING PROCEDURE REQUIREMENTS.
	Anti-buoyancy: Provide for anti-buoyancy, per manufacturer's installation instructions. Provide copy of instructions to permitting authority.

	ELECTRICAL COMPONENTS
	Wiring of pumps and controls shall be performed by a licensed electrician under the auspices of an electrical permit secured from the local jurisdiction. For details of electrical system, pump controls, floats, and the level of the float settings see the manufacturer's instructions and approved design.
	Splicing of wires at the splice box inside the tank risers shall be done using the heat shrink connectors provided by the manufacturer or with an approved watertight electrical connector nut.
	Wiring from the splice box to the source or the control panel shall be protected in UL approved PVC conduit, constructed watertight. Pump line voltage shall have water proof insulation such as THW, THWN, or HHW. Wire for all connections shall be 14 gauge wire or larger.
	"Seal offs" shall be installed between the splice box and the power source or control panel, either in the horizontal just outside the riser or in the vertical just below the control panel or per connection. "Seal offs" shall be installed per manufacturers written recommendations and shall be equal to or better than the following: Appleton EYF seal off box, PVC terminal adapters (threaded), Killark sealing compound, Killark packing fiber.
	Wiring shall be color coded or numbered and the schedule written inside the control panel or on the wiring diagram.
	Upon completion, the apparatus shall be tested for operation and correctness. Available voltage, pump run voltage and pump run amperage shall be measured and recorded inside the control panel.
	The wiring diagram shall be retained on site (preferably in control panel enclosure) and any as-built notes or comments entered, initialed, and dated.
	CONTROL PANEL (S)
	The electrician shall label the control panel or electrical panel with his business name and the permit number and date of installation.
	Control panel shall be installed per manufacturers written instructions; alarm shall be audible from the living/working space. Pump and alarm must be on separate circuits.
	Panel shall be in accordance with NEMA 4X rating. Panel enclosure shall meet NEMA 4X requirements.
	Panel shall be installed within 50' of tank and preferably within sight of the tank.
	OTHER
	Abandon Tank: Existing septic tank must be pumped and filled with rock or removed in accordance with County and State of Oregon requirements. Submit certificate of abandonment and pump receipt.
	Setbacks: Maintain required setbacks
	Initial and Reserve drainfield areas and system components to be protected with construction fencing, bollards, or other devices before, during, and after septic system installation.
	COLLECTION SYSTEM
	Contractor to obtain plumbing permit.
	Do not use the plumbing system for disposal of non-biodegradable and/or toxic materials such as paints, thinners, gasoline, motor oil, drain cleaners, or other harsh chemicals.
	Do not use the plumbing system for disposal of cooking grease, diapers, sanitary napkins, rags, cigarette butts, rubber or plastic products
	Water softener backwash, storm or ground water sources, floor drains not to be connected to the septic system.
	DISTRIBUTION AND TRANSPORT LINES
	Road crossing: Sleeve transport pipe in Sch. 40 PVC, installed a minimum of 18" below grade, and bedded in ¾ minus to the surface.
	Road/Driveway crossing: Use Sch. 40 or Sch. 80 PVC, installed a minimum of 24" below grade, and bedded in ¾ minus to the surface.
	Trace wire: Provide an electrically continuous 18 gauge green-jacketed copper wire in trench, above the pipe, for the full length of all pressure or gravity transport lines, accessible at the source end.

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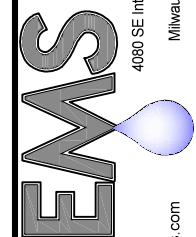
TILLAMOOK COAST RV PARK

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CONSTRUCTION SPECIFICATIONS

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ENVIRONMENTAL
MANAGEMENT SYSTEMS, INC.

Melissa Jenck

From: Trevor Munro <tmunro@beconeng.com>
Sent: Monday, November 14, 2022 5:04 PM
To: Melissa Jenck
Cc: riley shannon; DrRobertShannon; Chris Koback; Sarah Absher
Subject: Re: EXTERNAL: Tillamook Coast RV
Attachments: Tillamook Coast RV - City Sanitary Service Will-Serve.pdf; Tillamook Coast RV Prelim Water Calculations.pdf; TPUD Will-Serve.pdf; Zwald Water Utility Services Will-Serve.pdf; Revised Narrative Statement Tillamook Coast RV Park Expansion.pdf; Becon Mail - Tillamook RV park - Response From ODOT.pdf; Becon Mail - Tillamook Coast RV Park - ROW Vacation.pdf; PRELIMINARY PLANS 11112022.pdf; EMS RV Dump Station and Holding Tank System 11102022.pdf

Melissa,

Please see attached documents and responses to your comments below. Let us know if any of the documents cannot be opened and we will resend. We will mail a full-size and half-size of the prelim site plans to your department.

- 1) There are 26 existing rental RV spaces, and 27 proposed rental RV spaces, totalling 53. There is also the existing manager's space that will remain in use. This has been updated in the narrative and on the plans. The updated EMS plans also show this.
- 2) Our original plan sheets are 22"x34" which can be plotted at half size to 11"x17". We added scale bars near the north arrows. We will mail a full-size and half-size of the site plans to your department. I am not sure of the original size of the EMS plans, but these are less critical for site measurements since they are more schematic of the proposed system.
 - 2.a.1 - Yurts have been removed from the plans and narrative. All existing and proposed spaces are for RV's. Sheet C3.0 shows details for the existing and proposed RV spaces, and provides tables listing various dimensions. All 27 proposed spaces and 22 of the 26 existing spaces have room for an RV and an additional passenger vehicle. The manager's space also has its own parking space for a passenger vehicle.
- 3) Recreational campground standards. Additional text has been added to the narrative for this section.
 - a - Sheet C3.0 shows details for the existing and proposed RV spaces, and provides tables listing various dimensions. These tables list the maximum RV length for each site. Maximum RV length was calculated with 10' separation between the looped road and each RV unit based on TCLUO 5.030(2)(a)(v). If this section is not applicable then the max RV lengths can be longer.
 - b - discussed above
 - c - Proposed trash enclosure has been added to the plans. City Sanitary Services has provided a will-serve letter. Further discussions with them will take place during engineering plans design.
- 4) Additional text has been added to this section of the narrative.

5) Additional text has been added to this section of the narrative. Will-serve letters have been provided by the trash company, power provider, and water district.

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Thanks,

Trevor Munro, PE
BECON www.beconeng.com
549 SW Mill View Way, Suite 100
Bend, OR 97702
Office: (541) 633-3140
Direct: (541) 668-6280
Email: tmunro@beconeng.com

On Fri, Oct 28, 2022 at 1:32 PM Melissa Jenck <mjenck@co.tillamook.or.us> wrote:

Good afternoon Trevor,

The Department has reviewed the updated materials prepared for the Conditional Use review. The Department has determined the request remains incomplete at this time. Staff have provided a summary below, indicating the insufficiencies in the submittal and some potential clarifying questions to assist with your findings.

1. Applicants narrative has conflicting identifying information regarding the proposal. There are sections which state the proposal is for 27-spaces, others stating 26-spaces, expanding the park by 26-spaces, and site plans that would detail 59-spaces.
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2. Site plans remain unscaled or lacking information to confirm appropriate sizes. Please indicate the paper size that Staff should be printing documents (our Department cannot render larger than 11"x17" paper size) or provide the Department with a scaled copy.

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a. No description of max unit size depth for proposed spaces, as required by standards.

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c. No indication of existing or proposed trash location(s).

(4) Criterion #4: What are neighboring property uses and why will the proposed expansion of a Recreational Campground not affect permitted uses on adjacent properties?

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Let the Department know if you’d like to respond to the completeness items above, will provide some updated information regarding the above items, or that no other information will be provided. Should the Applicant deem the materials complete, Staff will move forward with the request with the items presently on the record. Please note that should an Applicant deem the request complete with existing materials, Staff and/or Planning Commission may have difficulty rendering a favorable decision on the request due to the lack of information.

Thank you,



Melissa Jenck (she/her) | CFM, Senior Planner

TILLAMOOK COUNTY | Community Development

1510-B Third Street

Tillamook, OR 97141

Phone (503) 842-3408 x3301

mjenck@co.tillamook.or.us

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From: Trevor Munro <tmunro@beconeng.com>

Sent: Wednesday, September 28, 2022 1:58 PM

To: Melissa Jenck <mjenck@co.tillamook.or.us>

Cc: riley shannon <rishannon96@gmail.com>; DrRobertShannon <rlshannonmd@gmail.com>; Chris Koback <chris@hathawaylarson.com>

Subject: Re: EXTERNAL: Tillamook Coast RV

Melissa,

See attached for the updated plans, narrative, and supplemental information in response to the incomplete letter.

Let us know if anything else is required from us.

Thanks,

Trevor Munro, PE

BECON www.beconeng.com

549 SW Mill View Way, Suite 100

Bend, OR 97702

Office: (541) 633-3140

Direct: (541) 668-6280

Email: tmunro@beconeng.com

On Fri, Aug 19, 2022 at 10:28 AM riley shannon <rishannon96@gmail.com> wrote:

Hey Trevor,

Tillamook county got back to us on the permits they are asking for more detail. Here is the additional information requested. Some of this is related to you guys, some is DEQ stuff with our septic engineers. We will be having the lawyer as well get involved on some of the more critical parts such as the last thing in criteria 3 addressed by the county. If there is anything else you feel uncomfortable with for more detail or think the lawyer needs to address please let us know.

Riley Shannon

----- Forwarded message -----

From: **Melissa Jenck** <mjenck@co.tillamook.or.us>

Date: Wed, Aug 17, 2022 at 4:13 PM

Subject: RE: EXTERNAL: Tillamook Coast RV

To: riley shannon <rishannon96@gmail.com>

Oops, realized I sent one that had the wrong acknowledgement form. Here is the corrected.

I also realized payment of the required fee has already been satisfied. Please disregard that final item on the incomplete letter.

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From: Melissa Jenck
Sent: Wednesday, August 17, 2022 3:51 PM
To: riley shannon <rishannon96@gmail.com>
Subject: RE: EXTERNAL: Tillamook Coast RV

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If you have any specific questions about the incomplete letter and the request for materials, please let me know.

Thank you,



Melissa Jenck (she/her) | CFM, Senior Planner

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Sent: Wednesday, August 17, 2022 10:52 AM
To: Melissa Jenck <mjenck@co.tillamook.or.us>
Subject: EXTERNAL: Tillamook Coast RV

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Hello Melissa,

This is Riley Shannon representing R3 Coastal which owns the Tillamook Coast RV Park. We talked on the phone last week about the additional information that is needed for the conditional use permit. I have not received the email regarding the notes you mentioned. If you could please send over the email with the information so I can get started on them that would be greatly appreciated.

Thank You,

Riley Shannon

Melissa Jenck

From: Trevor Munro <tmunro@beconeng.com>
Sent: Monday, November 14, 2022 5:29 PM
To: Melissa Jenck
Cc: riley shannon; DrRobertShannon; Chris Koback; Sarah Absher
Subject: Re: EXTERNAL: Tillamook Coast RV
Attachments: Cramer Fish Sciences Wetland and Estuary Boundaries Memo.pdf

Melissa,

Here is also the wetlands and estuary memo that was included in the original planning submittal.

Thanks,

Trevor Munro, PE
BECON www.beconeng.com
549 SW Mill View Way, Suite 100
Bend, OR 97702
Office: (541) 633-3140
Direct: (541) 668-6280
Email: tmunro@beconeng.com

On Mon, Nov 14, 2022 at 5:03 PM Trevor Munro <tmunro@beconeng.com> wrote:

Melissa,

Please see attached documents and responses to your comments below. Let us know if any of the documents cannot be opened and we will resend. We will mail a full-size and half-size of the prelim site plans to your department.

- 1) There are 26 existing rental RV spaces, and 27 proposed rental RV spaces, totalling 53. There is also the existing manager's space that will remain in use. This has been updated in the narrative and on the plans. The updated EMS plans also show this.
- 2) Our original plan sheets are 22"x34" which can be plotted at half size to 11"x17". We added scale bars near the north arrows. We will mail a full-size and half-size of the site plans to your department. I am not sure of the original size of the EMS plans, but these are less critical for site measurements since they are more schematic of the proposed system.
 - 2.a.1 - Yurts have been removed from the plans and narrative. All existing and proposed spaces are for RV's. Sheet C3.0 shows details for the existing and proposed RV spaces, and provides tables listing various dimensions. All 27 proposed spaces and 22 of the 26 existing spaces have room for an RV and an additional passenger vehicle. The manager's space also has its own parking space for a passenger vehicle.
- 3) Recreational campground standards. Additional text has been added to the narrative for this section.
 - a - Sheet C3.0 shows details for the existing and proposed RV spaces, and provides tables listing various dimensions. These tables list the maximum RV length for each site. Maximum RV length was calculated

with 10' separation between the looped road and each RV unit based on TCLUO 5.030(2)(a)(v). If this section is not applicable then the max RV lengths can be longer.

b - discussed above

c - Proposed trash enclosure has been added to the plans. City Sanitary Services has provided a will-serve letter. Further discussions with them will take place during engineering plans design.

4) Additional text has been added to this section of the narrative.

5) Additional text has been added to this section of the narrative. Will-serve letters have been provided by the trash company, power provider, and water district.

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Thank You,

Riley Shannon

Application Materials
Submitted
September 28, 2022



BECON, LLC

Civil Engineering and Land Surveying

549 SW Mill View Way, Suite 100 • Bend OR, 97702 • 541.633.3140

**Revised Narrative Statement
Conditional Use Application Review
Tillamook Coast RV Park Expansion**

Applicant/Owner: R3 Coastal, LLC
62570 Eagle Rd
Bend, OR 97701
Robert Shannon MD
541-602-2580
Riley Shannon
541-280-9866

Engineer: BECON Civil Engineering & Land Surveying
549 SW Mill View Way, Suite 100
Bend, OR 97702
Trevor Munro, PE
541-633-3140

Law Firm: Hathaway Larson
1331 NW Lovejoy St, Suite 950
Portland, OR 97209
Chris Koback, Partner
503-303-3107

Location: The subject property is located at 85 Third St, Tillamook, OR 97141. The property tax lots are 1S10260000500 and 1S10260002300.

Request: Conditional use review and approval of the expansion of Tillamook Coast RV Park. The existing RV Park is located on two tax lots in the RC – Rural Commercial zone. The project proposes that the existing Mc Kinley Moorage Rd ROW be vacated to the property owner. The project proposes to expand the existing 27-space RV Park into a total of 54 spaces. Also included is the proposed expansion of the existing restroom and site wide septic system. Existing RV spaces 1-5 are proposed to be converted into yurt sites.

I. Applicable Criteria, Standards, and Procedures:

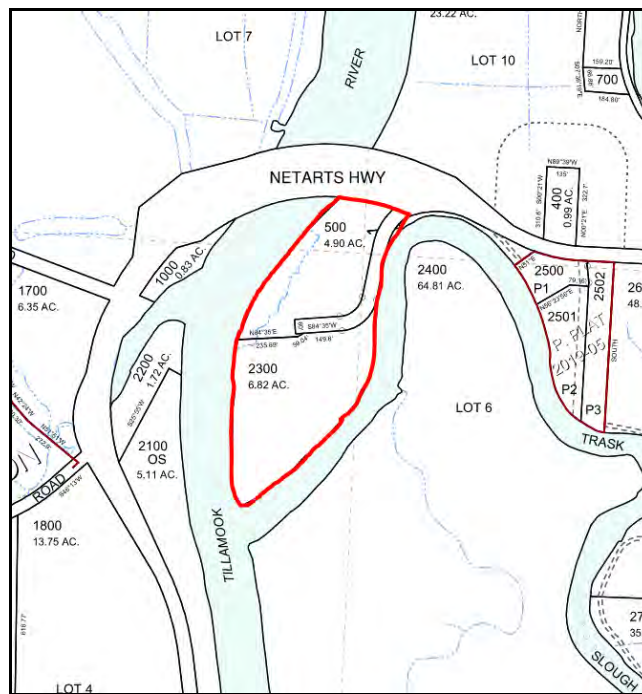
Tillamook County Land Use Ordinance (LUO)

- Article 3 – Zone Regulations
 - 3.020 RC Rural Commercial
 - 3.510 FH Flood Hazard Overlay

- Article 4 – Development Standards
 - 4.005 Residential and Commercial Zone Standards
- Article 5 – Special Use Standards and Exceptions
 - 5.030 Recreational Campground Standards
- Article 6 – Conditional Use Procedures and Criteria
 - 6.010 Purpose
 - 6.020 Procedure
 - 6.030 General Requirements
 - 6.040 Review Criteria
 - 6.070 Conditions of Approval
 - 6.080 Compliance with Conditions
 - 6.090 Time Limit

II. General Facts:

1. **LOCATION:** The subject property is located at 85 Third St, Tillamook, OR 97141. The property tax lots are 1S10260000500 and 1S10260002300, and are outlined in red below.



2. **EXISTING ZONING AND GENERAL PLAN DESIGNATIONS:** The existing RV Park is located on two tax lots in the RC – Rural Commercial zone.
3. **SITE DESCRIPTION & SURROUNDING USES:** The subject properties total approximately 11.72 acres in size. This total area will increase with the vacation of the Mc Kinley Moorage Rd ROW. The properties are currently developed as an RV Park with a boat launch into the Trask Slough. It is surrounded by waterbodies to the west, east, and south. To the north is Netarts Highway.
4. **PROPOSAL:** The owner proposes the expansion of Tillamook Coast RV Park. The project proposes that the existing Mc Kinley Moorage Rd ROW be vacated to the property owner. The project proposes to expand the existing 26-space RV Park into a total of 54 spaces. Also included is the proposed expansion of the existing restroom and site wide septic system. Existing RV spaces 1-5 are proposed to be converted into yurt sites. Other improvements include landscaping, parking, drive aisles, water, sewer, and other utility and site features.

5. **Submittals:** In addition to this narrative statement, the applicant submits the following documents in support of this proposal:

- Signed Application Form
- County Assessor's Summary Reports for Both Tax Lots
- Preliminary Overall Site Plan
- Cramer Fish Sciences Wetland and Estuary Boundaries Memo
- EMS RV Dump Station and Holding Tanks System
- FEMA FIRM 41057C0560F

III. Conformance with the Applicable Approval Criteria:

Article 3 – Zone Regulations

3.020 RC Rural Commercial

(1) Purpose: The purpose of the RC zone is to permit a moderate level of commercial activities to serve the commercial needs of rural areas, and tourist areas. Commercial uses in the RC zone typically provide goods and services that would be required by most households in the area, and they have relatively few impacts on neighboring areas. Land is suitable for the RC zone because it:

- (a) Is needed;
- (b) Is physically capable of being developed;
- (c) Can obtain access to a public road without causing traffic hazards or congestion;
- (d) Will not cause significant conflicts with nearby residential uses; and
- (e) Has sufficient land area to accommodate off-street parking.

Response: *Tillamook County receives a significant number of tourists and visitors particularly during the summer months. There is a need in the county for more well-designed and high-quality RV spaces to meet the increasing demands. This project increases the quantity of available recreational spaces within the County. The site is located perfectly along the Tillamook River and Trask Slough with no other existing structures anywhere near the properties. The park is designed to optimize the space available and provide excellent features and maneuverability. It also reduces the strain on public agencies by being privately owned, while providing taxable income and property taxes.*

The site is physically capable of being developed as an expanded RV park. The site is relatively flat. It is already developed with 26 spaces and a manager quarters. There are no significant trees of natural features that limit development to expand the park. The primary natural feature near the site is the estuary and all proposed development is outside of the required setback from the estuary.

The site has direct access from Highway 101 via a local county road. The county road department has indicated that it supports vacation of the county right-of-way which will make the internal road serving the park a private drive. The applicant understands that it must initiate a formal vacation process and is in the process of doing so. A condition of approval is appropriate because the road department has indicated support for vacation. The access to Highway 101 will remain the same. Comments from ODOT indicate that ODOT is not requiring the applicant to complete a TIA. It recommended requiring certain improvements under an upgrade permit to add 4 inches of asphalt over a 40-foot portion of the approach. That requirement can be included in a condition of approval.

The site is isolated on a peninsula with no other residential uses nearby. The closest residential property is approximately 200ft to the west, and separated by the Tillamook River from the subject site. There will be no conflict between the proposed use and any other residential uses.

The subject site is 11.72 acres. Even subtracting the current public right-of-way and the required setback from the estuary, the site is sufficiently large to accommodate a 53-space RV park. As the site plan and engineering drawings illustrate, using holding tanks as the primary sanitary sewer facilities, there is not a need for any large drain fields on the site. The plans and drawing also illustrate that there are no other significant natural features that limit development to expand the RV park by 26 spaces. All proposed new spaces will be on land that is relatively flat and does not contain significant trees, wetland or other natural features that can impact development.

(3) Uses Permitted Conditionally: In the RC zone, the following uses and their accessory uses are permitted subject to the provisions of Article IV and the requirements of all applicable supplementary regulations contained in this ordinance:

- (i) Mobile home or recreational vehicle
- (r) Recreational campgrounds without full hook-up requiring community septic system

Response: *The proposal is a conditional use in the RC zone.*

(4) Standards: Land divisions and development in the RC zone shall conform to the following standards, unless more restrictive supplemental regulations apply:

- (a) The minimum lot dimensions, yard setbacks, and building height restrictions for structures containing only residential use shall be the same as in the RR zone.

Response: *As the site plans illustrate, the proposed site meets all required minimum lot dimensions, yard setbacks, and building height restrictions. To respond to staff's comment regarding the septic repair area, the existing septic drain field is being decommissioned and a new permitted drain field is being constructed. The included plans illustrate that no proposed RV spaces encroaches into the new drain field.*

- (b) Minimum yards for any structure on a lot or parcel adjacent to a residential zone shall be 5 feet on the side adjacent to the residential zone, and 10 feet in the front yard. No rear yard is required.

Response: *The proposed site meets all required yard sizes.*

- (c) For commercial or combined commercial-residential structures, structures shall be either constructed on the property line or setback at least 3 feet or as required in Section 3.020 (4) (b).

Response: *All structures are greater than 3' from property lines.*

- (d) All structures shall meet the requirements for clear-vision areas specified in Section 4.010.

Response: *All structures meet clear-vision requirements.*

- (e) All uses shall meet off-street parking requirements as provided in Section 4.030.

Response: *The proposed use meets off-street parking requirements. The code requires one space per guest accommodation. Each existing and proposed space will have a space to park one vehicle. In most cases that vehicle will be an RV. Existing spaces 1 through 5, are proposed for Yurts. The applicant does not consider that to be tent camping in that the Yurts remain on the spaces as opposed to guests bringing their own tents. Each such space has one parking space for a vehicle. To accommodate instances where an RV guest may tow a vehicle or where a guest has a short time visitor, the proposal includes 9 extra regular parking spaces (9'x20') and 6 extra oversized parking spaces (10'x30') near the bathrooms/showers building.*

- (f) Outdoor storage abutting or facing a lot in a residential zone shall be screened with a sight-obscuring fence.

Response: *This section is not applicable.*

(g) The maximum building height for commercial structures shall be 35 feet except on ocean or bay frontage lots, where it shall be 24 feet, higher structures may be permitted as a conditional use in accordance with Article VI.

Response: *All buildings are well below the maximum height. The existing managers building and bathrooms/showers building are approximately 12 feet tall.*

(h) Scale of Commercial uses:

- a. Outside an unincorporated community, the use shall not exceed a total of 3,000 square feet of floor area per use within a building(s)
- b. Outside an unincorporated community a lawfully established use that existed prior to the adoption of this Section (December 4, 2002) may be expanded to occupy a maximum of 3,000 square feet of floor area, or an additional 25% of the floor area currently occupied, whichever is greater.

Response: *This section is not applicable.*

3.510 FH Flood Hazard Overlay Zone (FH)

(1) Purpose: It is the purpose of the FH zone to promote the public health, safety and general welfare and to minimize public and private losses or damages due to flood conditions in specific areas of unincorporated Tillamook County by provisions designed to:

- (a) Protect human life and health;
- (b) Minimize expenditure of public money for costly flood control projects;
- (c) Minimize the need for rescue and relief efforts associated with flooding and generally undertaken at the expense of the public;
- (d) Minimize prolonged business interruptions;
- (e) Minimize damage to public facilities and utilities such as water and gas mains, electric, telephone and sewer lines, streets and bridges located in areas of special flood hazards;
- (f) Help maintain a stable tax base by providing for the sound use and development of areas of special flood hazard so as to minimize future flood blight areas;
- (g) Ensure that potential buyers are notified that property is in an area of special flood hazard; and
- (h) Ensure that those who occupy the areas of special flood hazard assume responsibility for their actions.
- (i) Maintain the functions and values associated with Special Flood Hazard Areas which reduce the risk of flooding.

Response: *Section 3.510(1) is a purpose statement and not a specific approval criterion. Nonetheless, the applicant submits that by acknowledging the requirements related to manufactured dwellings, including RVs, in the following sections, the proposed use is consistent with the purpose statement in this subsection.*

(2) Basis for Establishing the Areas of Special Flood Hazard: The areas of special flood hazard identified by the Federal Insurance Administration in a scientific and engineering report entitled "The Flood Insurance Study for Tillamook County" dated September 28, 2018, with an accompanying Flood Insurance Rate Maps (FIRMs), are hereby adopted by reference and declared to be a part of this ordinance. The Flood Insurance Study and the FIRM are on file at the Tillamook County Department of Community Development at 1510-B Third Street, Tillamook, OR 97141. The best available information for flood hazard area identification as outlined in this Section shall be the basis for regulation until a new FIRM is issued that incorporates data utilized under this Section.

Response: Per the FEMA National Flood Insurance Map 41057C0560F dated September 28, 2018, this site is within Zone AE.

(5) General Standards: In all areas of special flood hazards the following are required.

Response: The owner acknowledges that this property is within Zone AE, and will follow all requirements of this section during the building permit and engineering permit processes.

(6) Specific Standards for A Zones (A, AE, or A1-A30): In all areas of special flood hazards where base flood data has been provided as set forth in Section 3.510(2) or other base flood data are utilized, the following provisions are required.

Response: The owner acknowledges that this property is within Zone AE, and will follow all requirements of this section during the building permit and engineering permit processes.

(7) Manufactured Dwellings: Any manufactured dwelling which incurs substantial damage as the result of a flood, must be elevated to the standards listed below.

Response: The owner acknowledges this section specific to manufactured dwellings. It is not yet determined if yurts qualify as manufactured dwellings.

(8) Recreational Vehicles: Recreational vehicles may occupy a site in a Special Flood Hazard Area for periods of 180 consecutive days or less provided they are fully licensed and highway ready. Recreational vehicles are on its wheels or jacking system, is attached to the site only by quick disconnect type utilities and security devices and has no permanently attached additions. Recreational vehicles that do not meet these criteria become manufactured dwellings and must be anchored and elevated pursuant to this ordinance.

Response: The owner acknowledges this section specific to recreational vehicles.

(9) Specific Standards for Floodways: Located within areas of special flood hazard established in Section 3.510(2) are areas designated as regulatory floodways. Since the floodway is an extremely hazardous area due to the velocity of flood waters which carry debris, potential projectiles, and erosion potential, the following provisions apply:

Response: Per the FEMA National Flood Insurance Map 41057C0560F dated September 28, 2018, this site is not within a regulatory floodway.

(12) Warning and Disclaimer of Liability: The degree of flood protection required by this ordinance is considered reasonable for regulatory purposes and is based on scientific and engineering considerations. Larger floods can and will occur on rare occasions. Flood heights may be increased by man-made or natural causes. This ordinance does not imply that land outside the areas of special flood hazard or uses permitted within such areas will be free from flooding or flood damages. This ordinance shall not create liability on the part of Tillamook County, any officer or employee thereof, or the Federal Insurance Administration, for any flood damages that result from reliance on this ordinance or any administrative decision lawfully made hereunder.

Response: The owner acknowledges this section regarding liability.

Article 4 – Development Standards

4.005 Residential and Commercial Zone Standards

PURPOSE: In all RESIDENTIAL AND COMMERCIAL ZONES, the purpose of land use standards are the following:

- (1) To ensure the availability of private open space;
- (2) To ensure that adequate light and air are available to residential and commercial structures;
- (3) To adequately separate structures for emergency access;
- (4) To enhance privacy for occupants of residences;
- (5) To ensure that all private land uses that can be reasonably expected to occur on private land can be entirely accommodated on private land, including but not limited to dwellings, shops, garages, driveways, parking, areas for maneuvering vehicles for safe access to common roads, alternative energy facilities, and private open spaces;
- (6) To ensure that driver visibility on adjacent roads will not be obstructed;
- (7) To ensure safe access to and from common roads;
- (8) To ensure that pleasing views are neither unreasonably obstructed nor obtained;
- (9) To separate potentially incompatible land uses;
- (10) To ensure access to solar radiation for the purpose of alternative energy production.

Response: *The owner acknowledges this section regarding purpose of the land use standards. The proposal is consistent with all applicable development standards. The only structures are the manager's quarters and the showers/restrooms building. Those structures meet all setback and height requirements. The site is not in a geological hazard area. The standards related to natural resources would apply only to the estuary and the proposal satisfied the required setback from the estuary. ODOT has confirmed that there are no traffic related issues and safe access from Highway 101 can be achieved. Internal circulation will be provided via a private drive. There is adequate maneuvering room for all anticipated vehicles. The site has sufficient area to accommodate all needed and required parking. Sanitary sewer will be provided to the manager's quarters with a new septic drain field that will be permitted by the DEQ. All other sanitary sewer/wastewater demands will be addressed using a holding tank system deigned by EMS. The drawings and specifications are included with this Revised Narrative. Holding tanks are one of the systems DEQ can permit and EMS has determined that it is appropriate for the subject site and proposed use. Because it is feasible to use such a system, the county can condition approval on the applicant obtaining a DEQ permit for the holding tank system. All other needed facilities are adequate for the use.*

Article 5 – Special Use Standards and Exceptions

5.030 Recreational Campground Standards

(1) Purpose: The purpose of the RECREATIONAL CAMPGROUND STANDARDS is to insure that each new or enlarged RECREATIONAL CAMPGROUND provides necessary facilities, adequate lot area, set-back, and other needed requirements for the public safety, health, and general welfare. A RECREATIONAL CAMPGROUND is a place where four or more recreational vehicles and/or tents are located on one or more continuous lots, tracts, or parcels of land under a single ownership for temporary recreational camping. A permanent house, mobile home, manufactured home, or recreational vehicle for the owner, operator, or manager of the campground is allowed, however other Sections of the Ordinance pertaining to such use shall apply, including Section 5.010, etc. Accessory uses that may be permitted include recreational cabins, showers, laundry, a grocery, a gas pump, and recreation facilities that are designated for the primary purpose of serving the occupants of the campground. A camper as defined in Article I, shall not be allowed to stay any longer than six (6) months in any twelve (12) month period. The standards contained in this Section are minimum standards. Additional standards may be required where necessary to meet other requirements of this Ordinance, i.e. Floodplain, Geologic Hazard zone, Riparian Vegetation.

Response: *The owner acknowledges this section regarding purpose of these standards.*

(2) Recreational Campground: Shall be built to State standards and shall comply with the following provisions:

- (a) A RECREATIONAL CAMPGROUND shall have:
- i. A minimum size of 1 acre or the minimum lot size of the zone, whichever is greater;
 - ii. A minimum number of 4 sites;
 - iii. A minimum width of space 23 feet or state minimum whichever is greater, for each site;
 - iv. Lot depths may vary in size, however maximum unit lengths shall be designated for each proposed space, and each space shall include enough area for the required set-backs along with the maximum unit length;
 - v. A minimum distance between actual unit location and interior road right-of-way of 10 feet. Each campsite will have direct access to interior road right-of-way;
 - vi. And all property lines not abutting an exterior roadway shall be 10 feet. A minimum distance between actual unit and an exterior roadway shall be 20 feet;
 - vii. A minimum distance between actual units of 15 feet;
 - viii. Minimum distance between actual unit and community or service buildings of 10 feet;
 - ix. Campground roads shall have a surface width of at least 16 feet with 2 foot shoulders on each side. All interior park roads shall be surfaced to minimum County road standards and well-drained. No on-street parking shall be allowed;
 - x. Walkways not less than three (3) feet wide may be required to be provided from trailer spaces to community and service buildings. All access roads and walkways should be well lighted;
 - xi. All areas not used for spaces, motor vehicle parking, traffic circulation, or service or community buildings shall be completely and permanently landscaped or maintain existing natural vegetation. The landscaping shall be maintained in good condition;
 - xii. A sight-obscuring fence and/or buffer strip of vegetation may be required on every side of a RECREATIONAL CAMPGROUND;.
 - xiii. Trash cans shall be provided in convenient locations for the use of guests of the park, and shall be located in such number, and shall be of such capacity, that there is no uncovered accumulation of trash at any time;
 - xiv. All Recreational Vehicles staying in the park shall be assigned to a space. No space shall have more than one (1) Recreational Vehicle or tent assigned to it, except as provided in State law;
 - xv. Approval of a recreational campground shall not be construed to be an approval of the building plans for building permit review purposes. All proposed building construction must meet Uniform Building Code requirements as part of building permit review;
 - xvi. On-site storage areas, for park residents only, may be allowed. If allowed, the storage area shall be screened or combined landscape and screening with a 6 foot high sight obscuring fence or hedge along all exterior property lines of the storage area;
 - xvii. Preliminary plans which contain all the information specified in OAR 333-31-059 shall be submitted to the Planning Department when requesting Conditional Use approval.
 - xviii. All RECREATIONAL CAMPGROUNDS, which legally existed prior to the date of this Ordinance, and which have submitted complete Master Plans to the department for review, shall be considered an "existing use" if:
 1. The RECREATIONAL CAMPGROUND is in compliance with all State regulations and County Sanitation regulations; and
 2. Master Plans and review fees are submitted to the department no later than December 31, 1986; and
 3. The department issues a letter to the RECREATIONAL CAMPGROUND owner Indicating that the campground meets the above two criteria.

If it is determined by the department that the RECREATIONAL CAMPGROUND does meet the first two criteria, the department shall submit the letter, mentioned in (c) above, to the campground owner. At that time, only that portion of the campground identified in the Master Plan, will then be considered an "existing use".

Only those campgrounds who retain the confirmation letter will be considered an "existing use". In the future, if one of the "existing use" campgrounds enlarge or expand, only that new portion of the campground will be required to meet the County standards.

The "existing use" RECREATIONAL CAMPGROUNDS are to be allowed to remain as they are represented within the accepted Master Plan on only that portion of the property designated. If the use is vacated for over one year the "existing use" designation shall be void, and any new use of the property shall conform to the requirements of this Ordinance.

The "existing use" may be sold or transferred to new owners. The new owners will maintain the same rights as the previous owners.

- xix. The accessory commercial uses such as gas pump, laundry, grocery store and recreational facilities shall not exceed the requirements of Rural Commercial, Section 3.020.
- xx. New full hook-up parks requiring a community septic/sewer system are permitted only within adopted unincorporated community boundaries.

Response: *The proposed expansion to the existing RV Park meets all of the provisions listed above. The existing RV Park consists of 26 spaces. 27 spaces are also proposed, totaling 53 spaces. Also included is the proposed expansion of the existing restroom and site wide septic system. Existing RV spaces 1-5 are proposed to be converted into yurt sites. Other improvements include landscaping, parking, drive aisles, water, sewer, and other utility and site features.*

Article 6 – Conditional Use Procedures and Criteria

6.010 Purpose

The purpose of a CONDITIONAL USE is to provide for uses that are not allowed by right in a certain zone because of potentially adverse impacts on uses permitted by right in that zone. Such uses may be made or deemed compatible through the review process contained in this Article, which subjects the proposed CONDITIONAL USE activity to specific requirements, criteria, and conditions. The location and operation of any CONDITIONAL USE listed in this Ordinance shall only be permitted according to the provisions of this Article.

Response: *The proposal is a conditional use in the RC zone.*

6.020 Procedure

The following procedure shall be observed in submitting and acting on a CONDITIONAL USE request:

- (1) A request may be initiated for a CONDITIONAL USE, or the modification of an approved CONDITIONAL USE, by filing an application with the Department. The Department may require any information necessary for a complete understanding of the proposed use and its relationship to surrounding properties.
- (2) The Director shall act administratively according to the procedure set forth in Article 10, or shall refer the application to the Commission for a public hearing and decision. The application shall be referred to the Commission if the director determines that the proposed use would have significant impacts that extend beyond the abutting properties, and that those impacts are not likely to be adequately addressed by response to public notice required by Section 10.070. If the Director elects to refer the application to the Commission, it shall be heard at the next available Commission hearing, unless the applicant requests otherwise.
- (3) No CONDITIONAL USE permit shall be invalidated because of failure to receive the notice provided for in Section 10.070.

Response: *The owner acknowledges this section regarding Conditional Use procedures.*

6.030 General Requirements

A CONDITIONAL USE shall be authorized, pursuant to the procedures set forth in Section 6.020, if the applicant adequately demonstrates that the proposed use satisfies all relevant requirements of this Ordinance, including the review criteria contained in Section 6.040 or the Health Hardship provisions contained in Section 6.050, and the following general requirements:

(1) A CONDITIONAL USE shall be subject to the standards of the zone in which it is located, except as those standards have been modified in authorizing the CONDITIONAL USE. The size of a lot to be used for a public utility facility may be reduced below the minimum required, provided that it will have no adverse effect upon adjacent uses.

(2) A CONDITIONAL USE may be enlarged or altered pursuant to the following:

(a) Major alterations of a CONDITIONAL USE, including changes to or deletion of any imposed conditions, shall be processed as a new CONDITIONAL USE application.

(b) Minor alterations of a CONDITIONAL USE may be approved by the Director according to the procedures used for authorizing a building permit, if such alterations are requested prior to the issuance of a building permit for the CONDITIONAL USE. Minor alterations are those which may affect the siting and dimensions of structural and other improvements relating to the CONDITIONAL USE, and may include small changes in the use itself. Any change which would affect the basic type, character, arrangement, or intent of the approved CONDITIONAL USE shall be considered a major alteration.

(c) The enlargement or alteration of a one- or two-family dwelling, mobile home, manufactured home, or recreational vehicle that is authorized as a CONDITIONAL USE under the provisions of this Ordinance shall not require further authorization, if all applicable standards and criteria are met.

(3) Where the approval of a CONDITIONAL USE request is contingent upon an amendment to this Ordinance, and an application for such amendment has been recommended for approval by the Commission, the CONDITIONAL USE request may be approved upon the condition that the Board approves the Ordinance Amendment.

Response: *The owner acknowledges this section regarding Conditional Use general requirements.*

6.040 Review Criteria

Any CONDITIONAL USE authorized according to this Article shall be subject to the following criteria, where applicable:

(1) The use is listed as a CONDITIONAL USE in the underlying zone, or in an applicable overlying zone.

Response: *The proposal is a conditional use in the RC zone.*

(2) The use is consistent with the applicable goals and policies of the Comprehensive Plan.

Response: *The proposed use is consistent with the goals and policies of the Comprehensive Plan. Goal 5 (Natural Resources) and Goal 8 (Recreation) are particularly relevant to this proposed RV Park expansion.*

Goal 5 seeks to protect natural resources, and conserve scenic and historic areas and open spaces. By expanding the existing RV Park, the owner is assuring that it will be an economically viable business for many years to come. The RV Park provides access to the Tillamook River and Trask Slough, and will maintain required separation distances from these features and adjacent wetland and estuary areas. It provides a great way to protect the surrounding natural resources for a long time to come.

Goal 8 brings up the issues of reaction in the County being quantity, location, and orientation. This project increases the quantity of available recreational spaces within the County. The site is located perfectly along the Tillamook River and Trask Slough with no other existing structures anywhere near the properties. The park is designed to optimize the space available, and provide excellent features and maneuverability. It also reduces the strain on public agencies by being privately owned, while providing taxable income and property taxes.

(3) The parcel is suitable for the proposed use considering its size, shape, location, topography, existence of improvements and natural features.

Response: *The site is currently an RV Park, which is also its future proposed use. The site is located perfectly along the Tillamook River with no other existing structures anywhere near the properties. The park is designed to optimize the available land, and provide excellent features and maneuverability. The RV Park provides access to the Tillamook River and Trask Slough, and will maintain required separation distances from these features and adjacent wetland and estuary areas. It is a great way to protect the surrounding natural resources for a long time to come.*

(4) The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs or prevents the use of surrounding properties for the permitted uses listed in the underlying zone.

Response: *The site is currently an RV Park, which is also its future proposed use. The site is located perfectly along the Tillamook River with no other existing structures anywhere near the properties. There will be no adverse effects on surrounding properties.*

(5) The proposed use will not have detrimental effect on existing solar energy systems, wind energy conversion systems or wind mills.

Response: *There are no existing solar energy systems, wind energy conversion systems, or wind mills within the vicinity of this project.*

(6) The proposed use is timely, considering the adequacy of public facilities and services existing or planned for the area affected by the use.

Response: *The RV Park is designed with modern codes and features. The use is currently a very popular activity, and is anticipated to continue being so for a long time.*

6.070 Conditions of Approval

In approving a CONDITIONAL USE or a modification of a CONDITIONAL USE, any conditions which are considered necessary to protect the area surrounding the proposed use, and to preserve the basic purpose and intent of the underlying zone, may be imposed. These may include, but are not limited to, the following:

- (1) Increasing the required parcel area or yard dimensions.
- (2) Limiting the height, size, or location of buildings and structures.
- (3) Modifying the location and number of required off-street parking and loading spaces.
- (4) Controlling the location and number of vehicle access points.
- (5) Limiting the number, size and location of signs.
- (6) Requiring diking, fencing, screening, landscaping, or other measures to protect adjacent or nearby properties from the effects of the use.
- (7) Prescribing a time limit within which to fulfill any established conditions.

Response: *The owner acknowledges this section regarding Conditional Use conditions of approval.*

6.080 Compliance with Conditions

Adherence to the approved plot plan and compliance with the conditions imposed in approving a CONDITIONAL USE request shall be required. Any departure from the conditions of approval or approved plans constitutes a violation of this Ordinance.

Response: *The owner acknowledges this section regarding compliance with conditions of approval.*

6.090 Time Limit

All CONDITIONAL USES except those approved for a Health Hardship may be approved for a 24-month period. If construction has not begun on the approved development, such approvals may be extended beyond 24 months only if the Director determines that a review would be unlikely to reveal new information which could lead to different conclusions than those reflected in the original staff report. For the purposes of such a determination, the Director may rely on such things as:

- (1) Changes in Ordinance requirements or the requirements of State law;
- (2) The extent and character of new development in the vicinity of the request;
- (3) The adequacy of the review upon which the original was based;
- (4) Any other circumstances which could change the substance of the original staff report.

If the Director determines that a new review is warranted, then the applicant shall provide all information and fees required by this Article.

Response: *The owner acknowledges this section regarding time limit.*

IV. Summary and Conclusion

The preceding sections document that the proposed RV Park expansion conforms to the applicable zoning and design standards of the Tillamook County Land Use Ordinance. Because the proposal conforms to all applicable criteria and standards, the applicant requests that the County approve the site and design review application as proposed.

Tillamook River RV Park

T: 1S, R: 10W, Sec 26, Tls 00500 & 02300
 85 Third Street Tillamook, OR 97141

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Page 4	Tank Details (HT1 & HT2)	Page 9	Sanistar Photos
Page 5	Tank Details (HT3 & HT4)	Page 10	Parts List
		Page 11	Construction Specifications

Project Description

A RV Dump Station and Holding Tank System is proposed for a 59 space RV park and campground. Incoming RVs will dump black and greywater tanks into the holding tank system prior to entering the park or at the RV site in which they occupy. The estimated daily flow is 5,900 gallons per day (59 RVs @ 100 gallons per day). RV waste flows into the system via a hose connection port which unlocks upon payment. Sewage will flow into a series of 2x 3,000-gallon holding tanks (HT6-HT7). HT6 will be equipped with an audible alarm (75% of capacity). When HT7 reaches 91% of the system's capacity, the pay station is disabled, locking the hose connection cap, and preventing further use. Each RV site will be equipped with individual dump hookup with waste flow to an assigned holding tank split between 10 sites (HT1 & HT2) or 13 sites (HT3, HT4, HT5). Onsite restrooms are available for occupants to use and are connected to a separate onsite holding tank system. The manager trailer is connected to a separate existing AX20 wastewater treatment system with a failing drain field. A proposed repair drain field is pending pit approval. A certified licensed pumper will need to be hired prior to permit approval.

ATTENTION: Oregon law requires you to follow rules adopted by the Oregon Utility Notification Center. Those rules are set forth in OAR 952-001-0010 through OAR 952-001-0090. You may obtain copies of the rules by calling the center. (Note: the telephone number for the Oregon Utility Notification Center is (503) 232-1987).

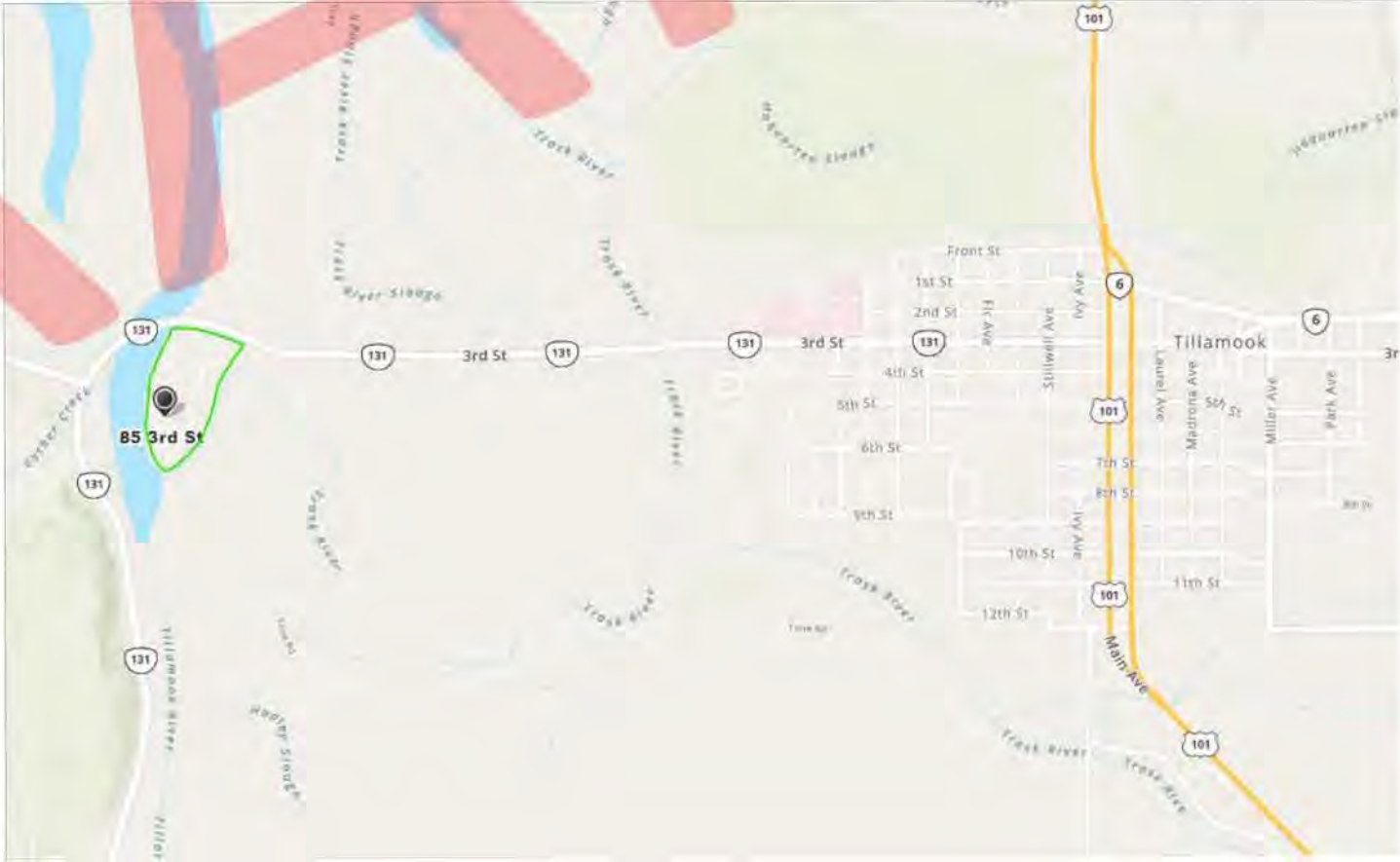
PERMITS TO NOTIFY EXCAVATOR OF REQUIREMENTS OF LAW
 952-001-0030 Any entity authorized to issue permits for construction which requires excavation shall include on such permits the language set out in OAR 952-001-0020.

Site and Soils

- Site Sloping 0-2%
- Soil Types per Tillamook County Soil Survey consist primarily of **104A Coquille-Brenner-Nehalem**

INSTALLER: _____
 LICENSE #: _____

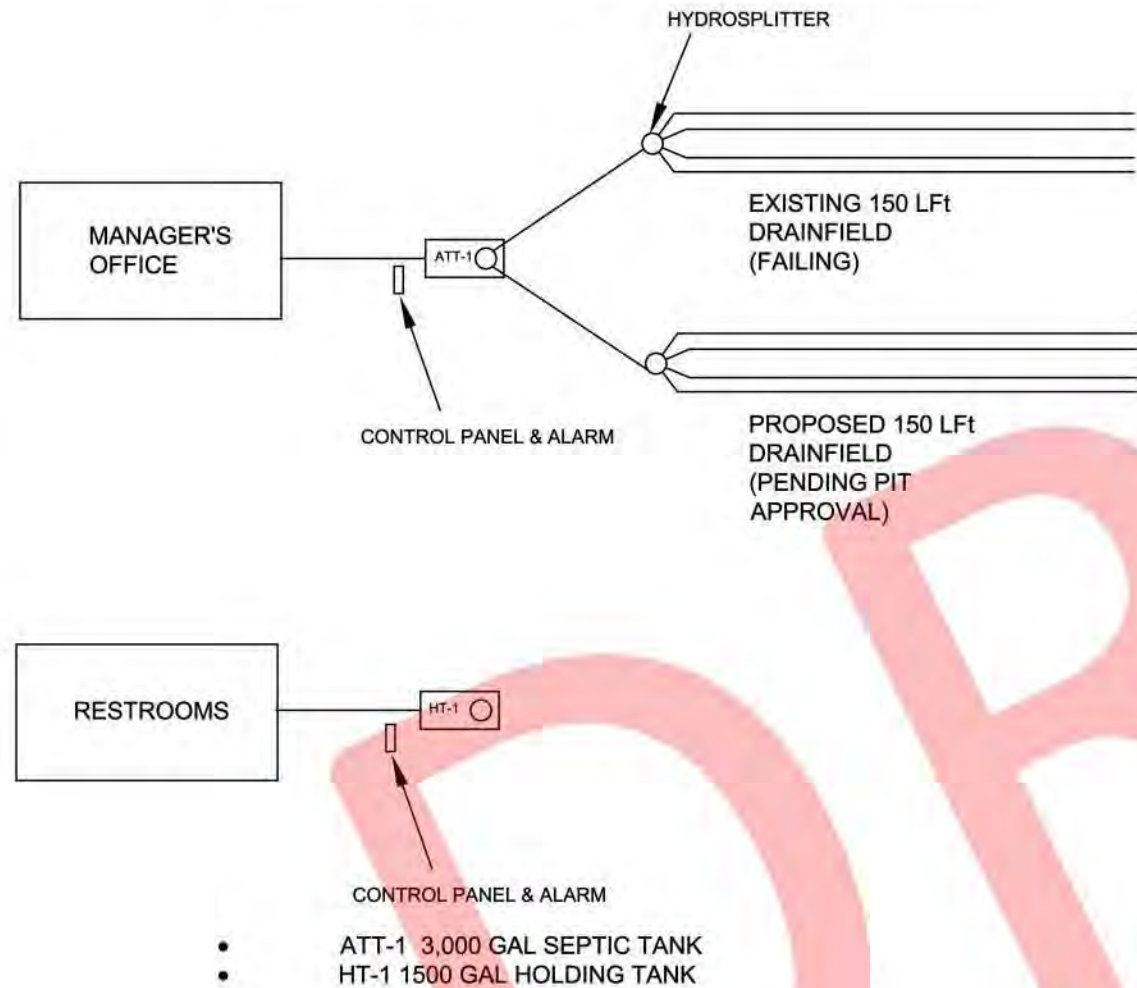
VICINITY MAP



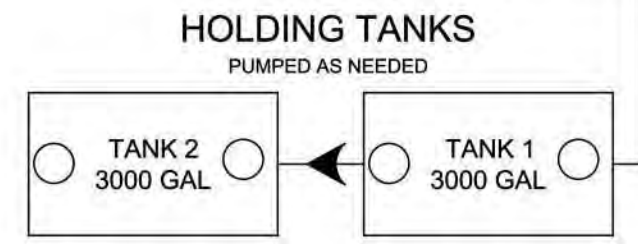
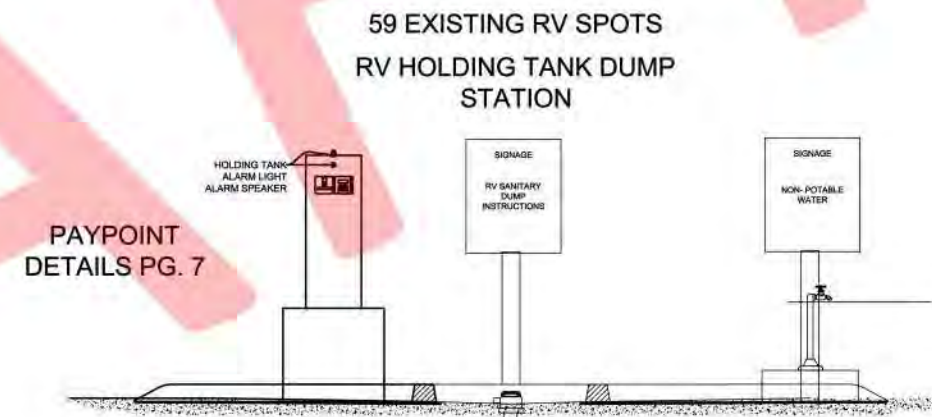
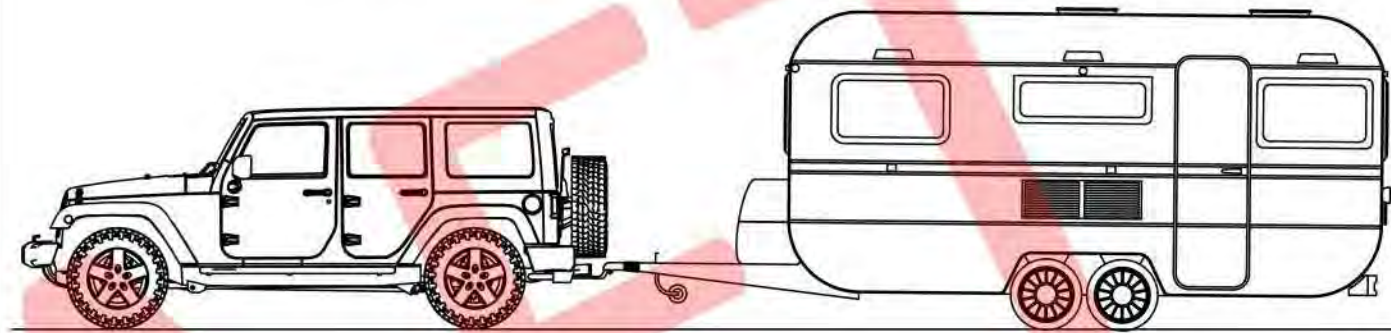
21-0206-01	Tillamook River RV Park	COVER SHEET
5/25/2022	T: 1S, R: 10W, Sec 26, Tls 00500 & 02300	
1 OF 11		
CHECKED:	DRAWN:	
503-353-9691 360-735-1109 www.enringsys.com	4080 SE International Way Suite B112 Milwaukie, OR 97222	EMS ENVIRONMENTAL MANAGEMENT SYSTEMS, INC.

85 THIRD ST
TILLAMOOK, OR 97141

EXISTING SYSTEM AS BUILT SCHEMATIC



HOLDING TANK FOR CUSTOMERS INITIAL WASTEWATER DUMP

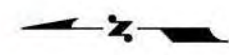


2x 3000 GALLON TANKS
75% LEVEL ALARM -> LIGHT & AUDIBLE
90% SYSTEM ACCESS SHUTDOWN

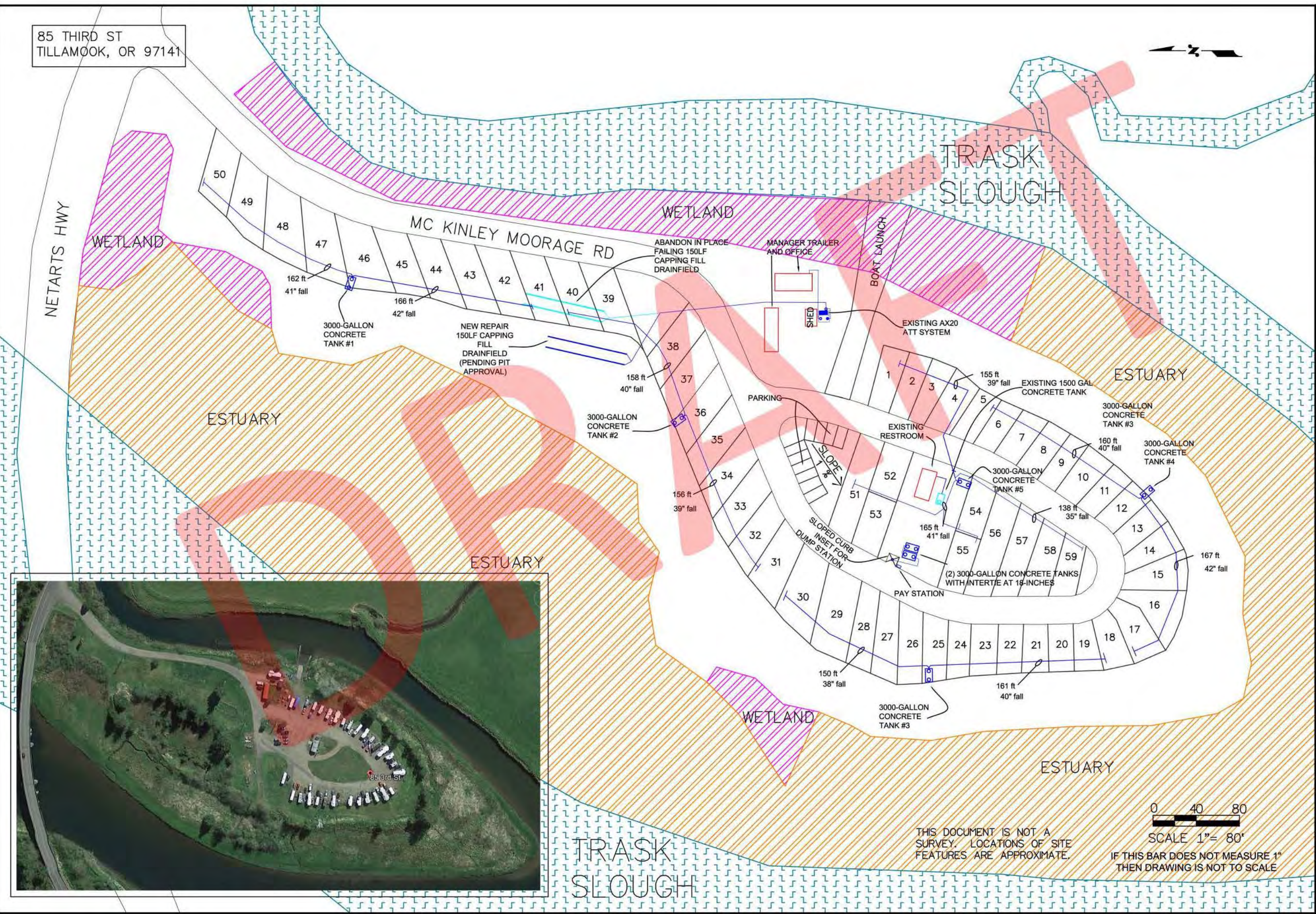
$$\frac{100\text{Gal}}{\text{Day}} \times 59 \text{ RVs} = \frac{5900\text{Gal}}{\text{Day}} \text{ Peak Flow}$$

21-0206-01	Tillamook River RV Park	CHECKED:
5/25/2022	T: 1S, R: 10W, Sec 26, Tls 00500 & 02300	DRAWN:
2 OF 11	SCHEMATIC	<p>4000 SE International Way Suite B112 Milwaukie, OR 97222</p> <p>503-353-9691 360-735-1109 www.emvmtgms.com</p> <p>ENVIRONMENTAL MANAGEMENT SYSTEMS, INC.</p>

85 THIRD ST
TILLAMOOK, OR 97141



NETARTS HWY



21-0206-01	Tillamook River RV Park	CHECKED:
5/25/2022	T: 1S, R: 10W, Sec 26, Tls 00500 & 02300	DRAWN:
3 OF 11	SITE PLAN	<p>EMS ENVIRONMENTAL MANAGEMENT SYSTEMS, INC.</p> <p>4080 SE International Way Suite B112 Milwaukie, OR 97222 503-353-9691 360-735-1109 www.enmgsys.com</p>

THIS DOCUMENT IS NOT A SURVEY. LOCATIONS OF SITE FEATURES ARE APPROXIMATE.

0 40 80
SCALE 1" = 80'

IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE

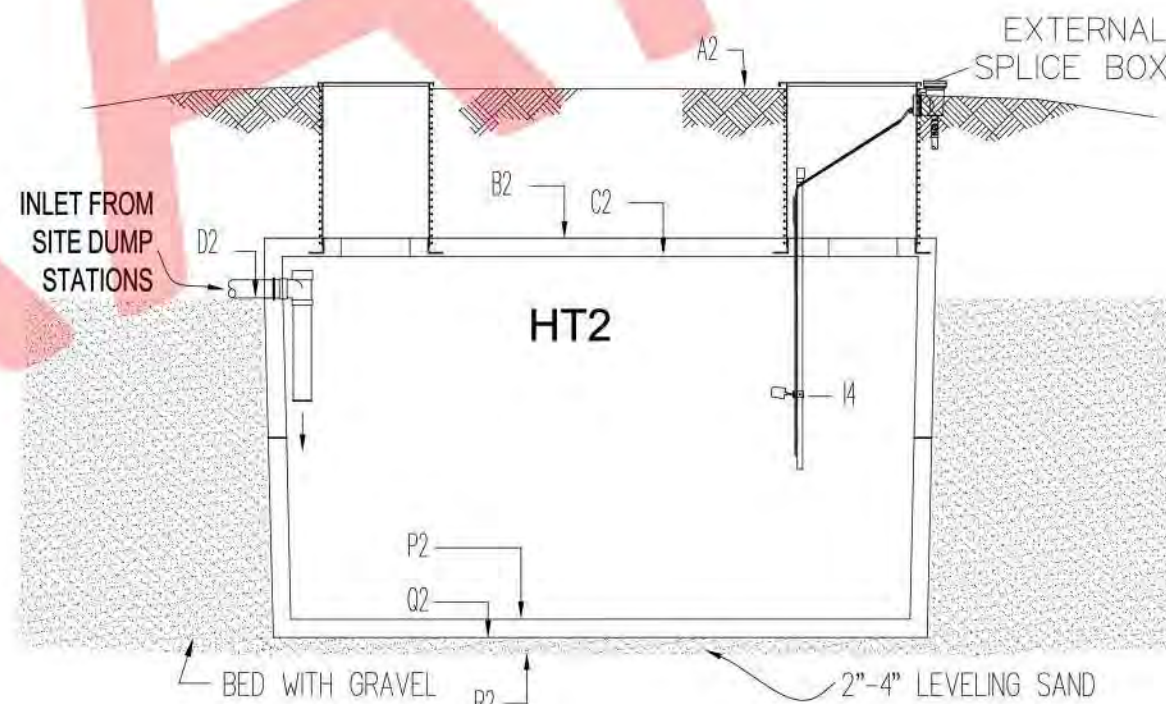
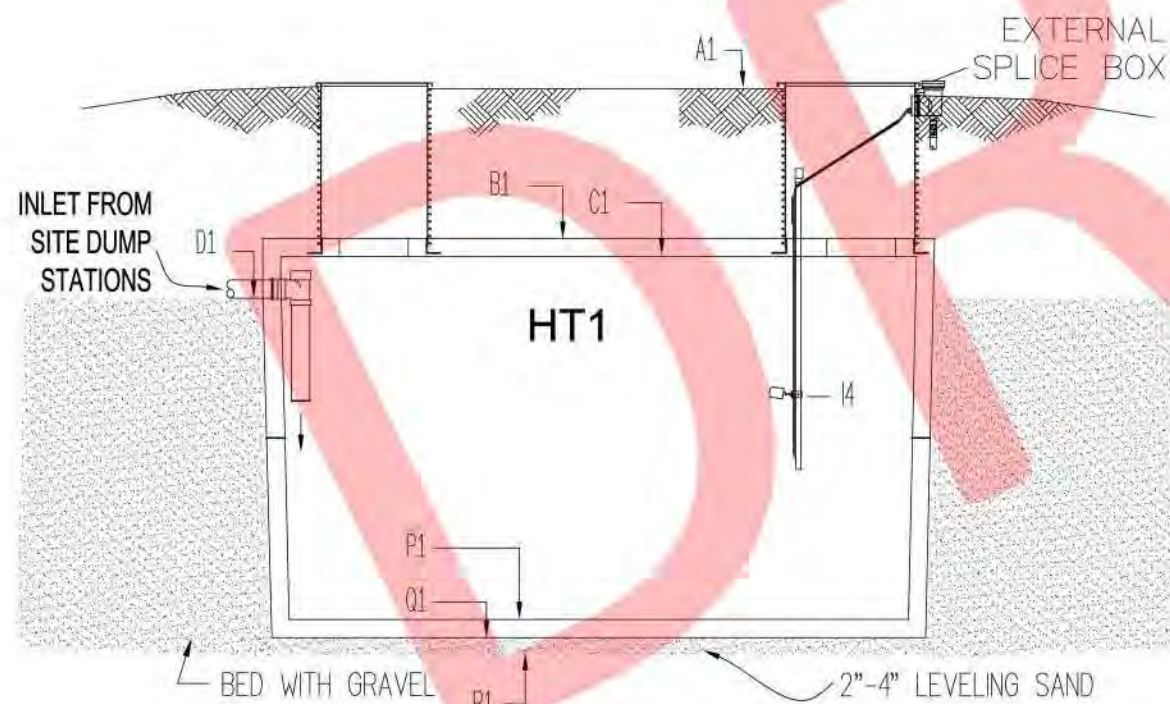
85 THIRD ST
TILLAMOOK, OR 97141

Holding Tank (HT1)

Letter	Component	Elevation from Tank Floor (Inches)	Elevation from Tank Top (Inches)	Estimated Elevation from TBM (feet)
A1	Ground Surface	126.0	42.0	102.50
B1	Top of Tank	84	0.0	99.00
C1	Ceiling of Tank	80.0	-4.0	100.17
D1	Inlet Invert	74.0	-10	99.67
E1	RSV Manifold	na	na	na
F1	RSV Stinger Seat	na	na	na
G1	Outlet Invert	na	na	na
H1	Outlet Opening	na	na	na
I1	Alarm (HWA)	na	na	na
J1	Pump On	na	na	na
K1	Pump Off	na	na	na
L1	na	na	na	na
M1	Redundant Off	na	na	na
N1	Vault Inlet Holes	na	na	na
O1	Pump Intake	na	na	na
P1	Floor of Tank	0.0	-84.0	93.50
Q1	Bottom of Tank	-4.0	-88.0	93.17
R1	Excavation	-8.0	-92.0	92.83

Holding Tank (HT2)

Letter	Component	Elevation from Tank Floor (Inches)	Elevation from Tank Top (Inches)	Estimated Elevation from TBM (feet)
A2	Ground Surface	124.0	40.0	102.50
B2	Top of Tank	84	0.0	99.17
C2	Ceiling of Tank	80.0	-4.0	100.17
D2	Inlet Invert	74.0	-10	99.67
E2	RSV Manifold	na	na	na
F2	RSV Stinger Seat	na	na	na
G2	Outlet Invert	na	na	na
H2	Outlet Opening	na	na	na
I2	Alarm (HWA)	na	na	na
J2	Pump On	na	na	na
K2	Pump Off	na	na	na
L2	na	na	na	na
M2	Redundant Off	na	na	na
N2	Vault Inlet Holes	na	na	na
O2	Pump Intake	na	na	na
P2	Floor of Tank	0.0	-84.0	93.50
Q2	Bottom of Tank	-4.0	-88.0	93.17
R2	Excavation	-8.0	-92.0	92.83



ALL RISERS 24" PVC W/ FIBERGLASS LID, S.S. BOLTS AND URETHANE GASKET (BONDED TO TANK ADAPTER W/ADHESIVE)

WILLAMETTE GRAYSTONE 3000-GAL HOLDING TANKS HT1 - HT2

21-0206-01

Tillamook River RV Park

5/25/2022

T: 1S, R: 10W, Sec 26, Tls 00500 & 02300

4 OF 11

TANK DETAILS (HT1 & HT2)

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MANAGEMENT SYSTEMS, INC.

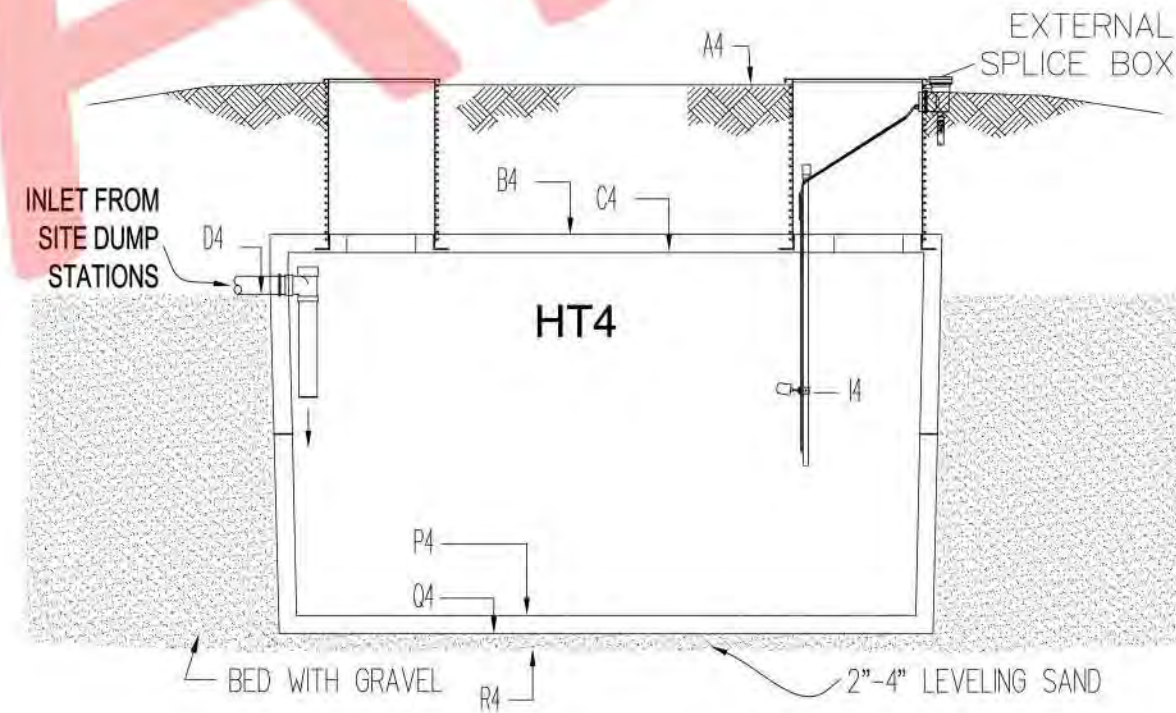
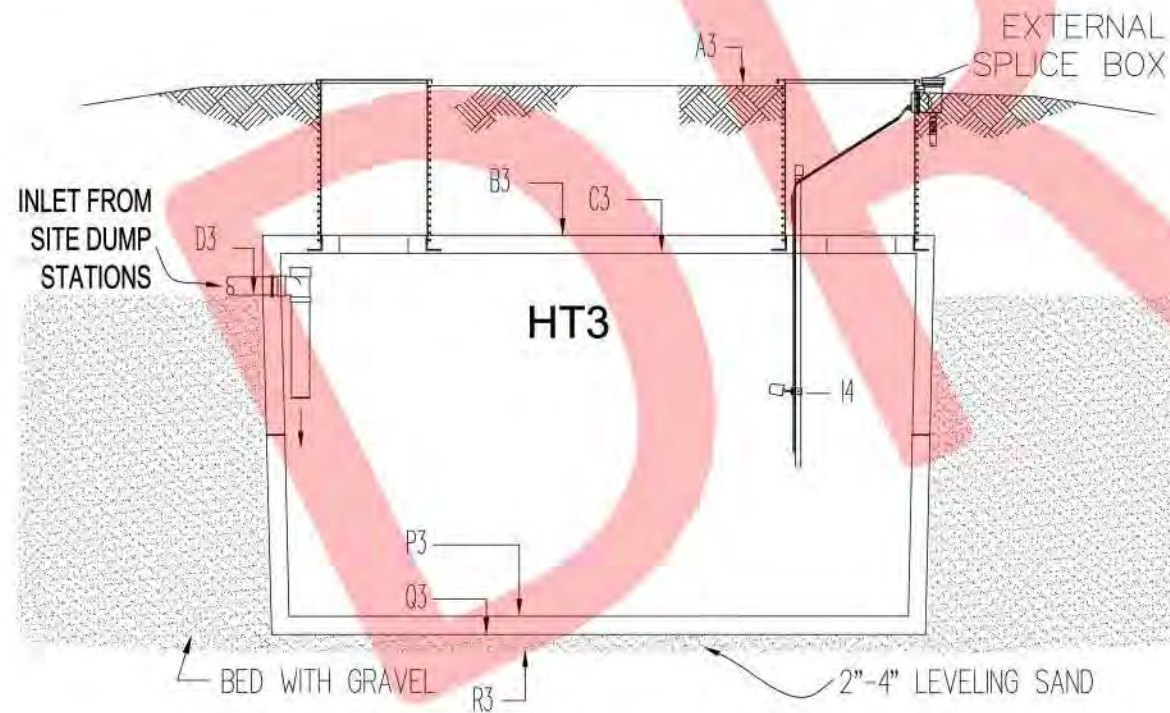
85 THIRD ST
TILLAMOOK, OR 97141

Holding Tank (HT3)

Letter	Component	Elevation from Tank Floor (Inches)	Elevation from Tank Top (Inches)	Estimated Elevation from TBM (feet)
A3	Ground Surface	124.0	40.0	102.50
B3	Top of Tank	84	0.0	99.17
C3	Ceiling of Tank	80.0	-4.0	100.17
D3	Inlet Invert	74.0	-10	99.67
E3	RSV Manifold	na	na	na
F3	RSV Stinger Seat	na	na	na
G3	Outlet Invert	na	na	na
H3	Outlet Opening	na	na	na
I3	Alarm (HWA)	na	na	na
J3	Pump On	na	na	na
K3	Pump Off	na	na	na
L3	na	na	na	na
M3	Redundant Off	na	na	na
N3	Vault Inlet Holes	na	na	na
O3	Pump Intake	na	na	na
P3	Floor of Tank	0.0	-84.0	93.50
Q3	Bottom of Tank	-4.0	-88.0	93.17
R3	Excavation	-8.0	-92.0	92.83

Holding Tank (HT4)

Letter	Component	Elevation from Tank Floor (Inches)	Elevation from Tank Top (Inches)	Estimated Elevation from TBM (feet)
A4	Ground Surface	126.0	42.0	102.50
B4	Top of Tank	84	0.0	99.00
C4	Ceiling of Tank	80.0	-4.0	100.17
D4	Inlet Invert	74.0	-10	99.67
E4	RSV Manifold	na	na	na
F4	RSV Stinger Seat	na	na	na
G4	Outlet Invert	na	na	na
H4	Outlet Opening	na	na	na
I4	Alarm (HWA)	na	na	na
J4	Pump On	na	na	na
K4	Pump Off	na	na	na
L4	na	na	na	na
M4	Redundant Off	na	na	na
N4	Vault Inlet Holes	na	na	na
O4	Pump Intake	na	na	na
P4	Floor of Tank	0.0	-84.0	93.50
Q4	Bottom of Tank	-4.0	-88.0	93.17
R4	Excavation	-8.0	-92.0	92.83



ALL RISERS 24" PVC W/ FIBERGLASS LID, S.S. BOLTS AND URETHANE GASKET (BONDED TO TANK ADAPTER W/ADHESIVE)

WILLAMETTE GRAYSTONE 3000-GAL HOLDING TANKS HT3 - HT4

21-0206-01

Tillamook River RV Park

5/25/2022

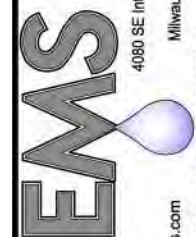
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5 OF 11

TANK DETAILS (HT3 & HT4)

CHECKED:

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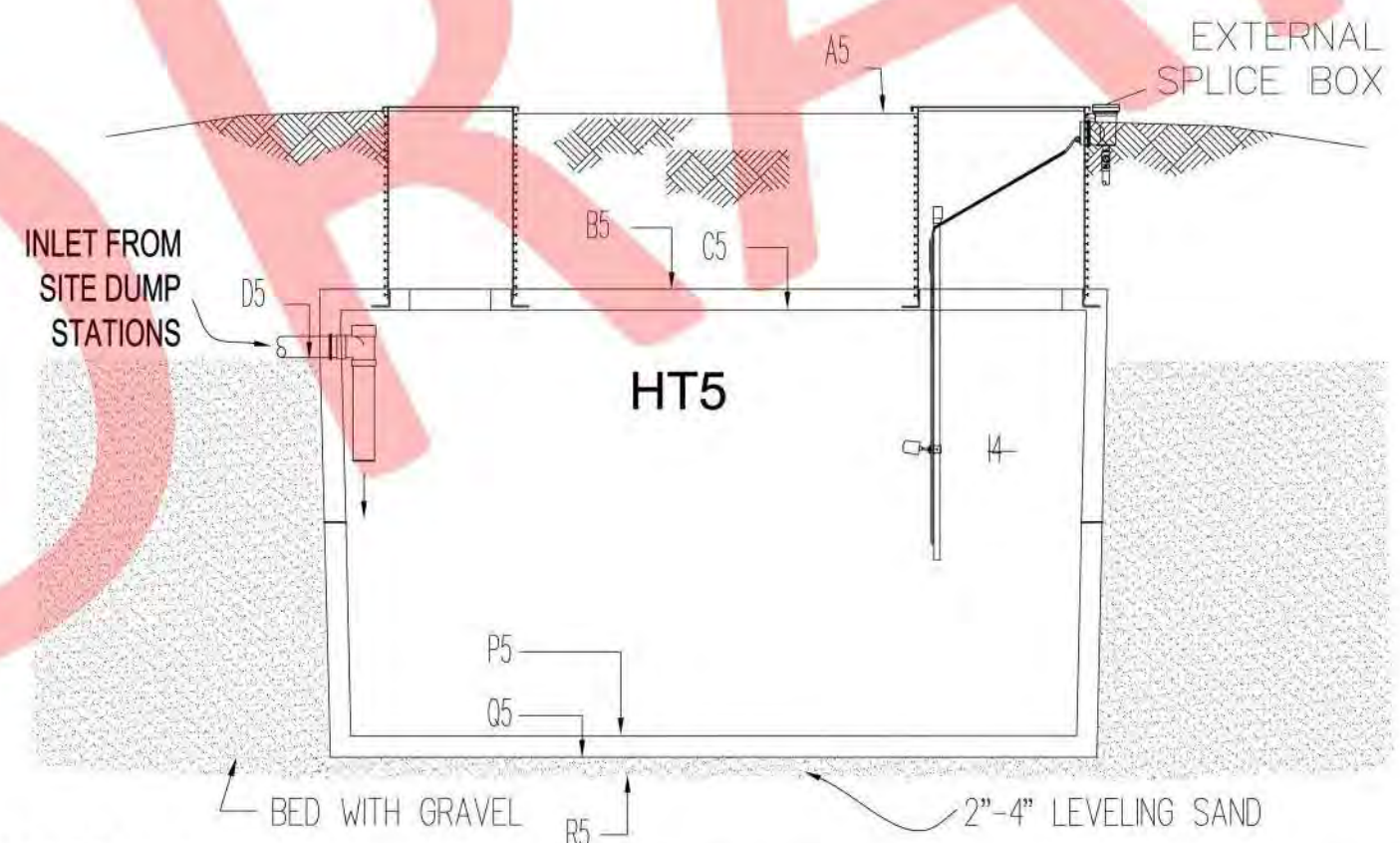
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Holding Tank (HT5)				
Letter	Component	Elevation from Tank Floor (Inches)	Elevation from Tank Top (Inches)	Estimated Elevation from TBM (feet)
A5	Ground Surface	125.0	41.0	102.50
B5	Top of Tank	84	0.0	99.08
C5	Ceiling of Tank	80.0	-4.0	100.17
D5	Inlet Invert	74.0	-10	99.67
E5	RSV Manifold	na	na	na
F5	RSV Stinger Seat	na	na	na
G5	Outlet Invert	na	na	na
H5	Outlet Opening	na	na	na
I5	Alarm (HWA)	na	na	na
J5	Pump On	na	na	na
K5	Pump Off	na	na	na
L5	na	na	na	na
M5	Redundant Off	na	na	na
N5	Vault Inlet Holes	na	na	na
O5	Pump Intake	na	na	na
P5	Floor of Tank	0.0	-84.0	93.50
Q5	Bottom of Tank	-4.0	-88.0	93.17
R5	Excavation	-8.0	-92.0	92.83



ALL RISERS 24" PVC W/ FIBERGLASS LID, S.S. BOLTS AND URETHANE GASKET (BONDED TO TANK ADAPTER W/ADHESIVE)

WILLAMETTE GRAYSTONE 3000-GAL HOLDING TANK HT5

21-0206-01

Tillamook River RV Park

5/25/2022

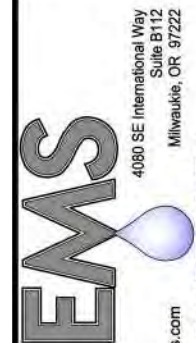
T: 1S, R: 10W, Sec 26, Tls 00500 & 02300

6 OF 11

TANK DETAILS (H5)

CHECKED:

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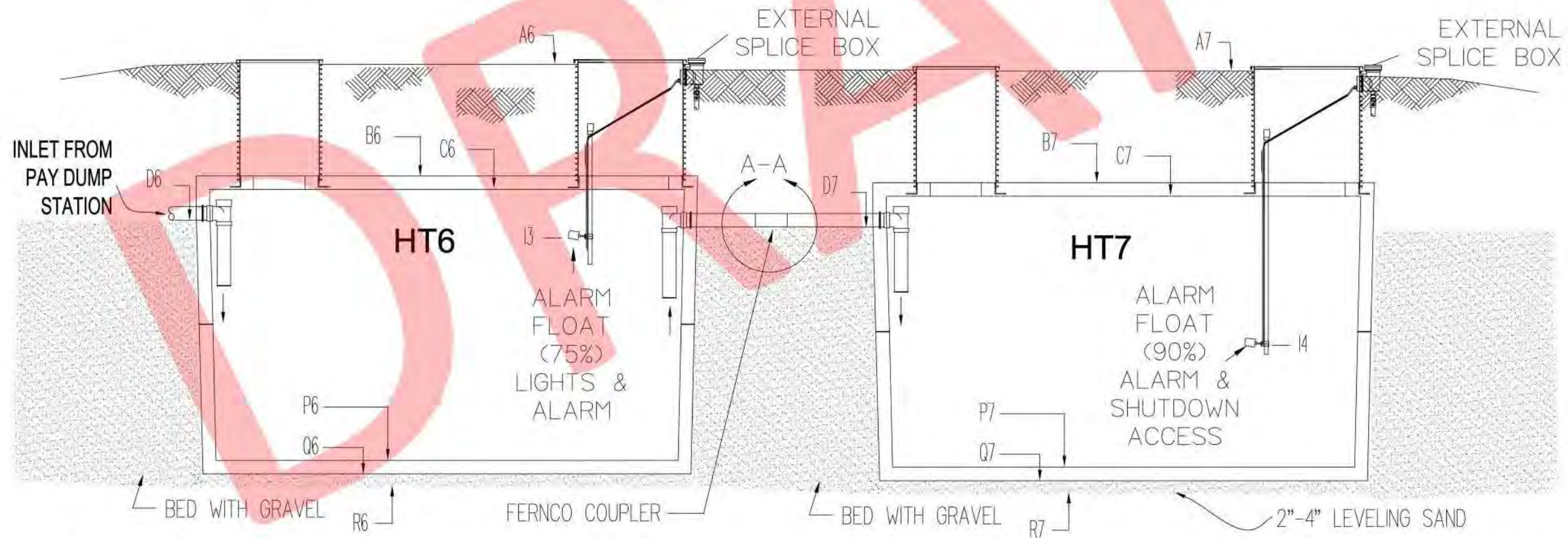
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MANAGEMENT SYSTEMS, INC.**

Holding Tank (HT6)				
Letter	Component	Elevation from Tank Floor (Inches)	Elevation from Tank Top (Inches)	Estimated Elevation from TBM (feet)
A6	Ground Surface	108.0	24.0	102.50
B6	Top of Tank	84	0.0	100.50
C6	Ceiling of Tank	80.0	-4.0	100.17
D6	Inlet Invert	74.0	-10	99.67
E6	RSV Manifold	na	na	na
F6	RSV Stinger Seat	na	na	na
G6	Outlet Invert	na	na	na
H6	Outlet Opening	na	na	na
I6	Alarm (HWA)	na	na	na
J6	Pump On	na	na	na
K6	Pump Off	na	na	na
L6	na	na	na	na
M6	Redundant Off	na	na	na
N6	Vault Inlet Holes	na	na	na
O6	Pump Intake	na	na	na
P6	Floor of Tank	0.0	-84.0	93.50
Q6	Bottom of Tank	-4.0	-88.0	93.17
R6	Excavation	-8.0	-92.0	92.83

Holding Tank (HT7)				
Letter	Component	Elevation from Tank Floor (Inches)	Elevation from Tank Top (Inches)	Estimated Elevation from TBM (feet)
A7	Ground Surface	112.0	28.0	102.50
B7	Top of Tank	84	0.0	100.17
C7	Ceiling of Tank	80.0	-4.0	100.17
D7	Inlet Invert	74.0	-10	99.67
E7	RSV Manifold	na	na	na
F7	RSV Stinger Seat	na	na	na
G7	Outlet Invert	na	na	na
H7	Outlet Opening	na	na	na
I7	Alarm (HWA)	na	na	na
J7	Pump On	na	na	na
K7	Pump Off	na	na	na
L7	na	na	na	na
M7	Redundant Off	na	na	na
N7	Vault Inlet Holes	na	na	na
O7	Pump Intake	na	na	na
P7	Floor of Tank	0.0	-84.0	93.50
Q7	Bottom of Tank	-4.0	-88.0	93.17
R7	Excavation	-8.0	-92.0	92.83



WILLAMETTE GRAYSTONE 3000-GAL HOLDING TANKS HT6 - HT7

ALL RISERS 24" PVC W/ FIBERGLASS LID, S.S. BOLTS AND URETHANE GASKET (BONDED TO TANK ADAPTER W/ADHESIVE)

21-0206-01

5/25/2022

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Tillamook River RV Park

T: 1S, R: 10W, Sec 26, Tls 00500 & 02300

TANK DETAILS (HT6 & HT7)

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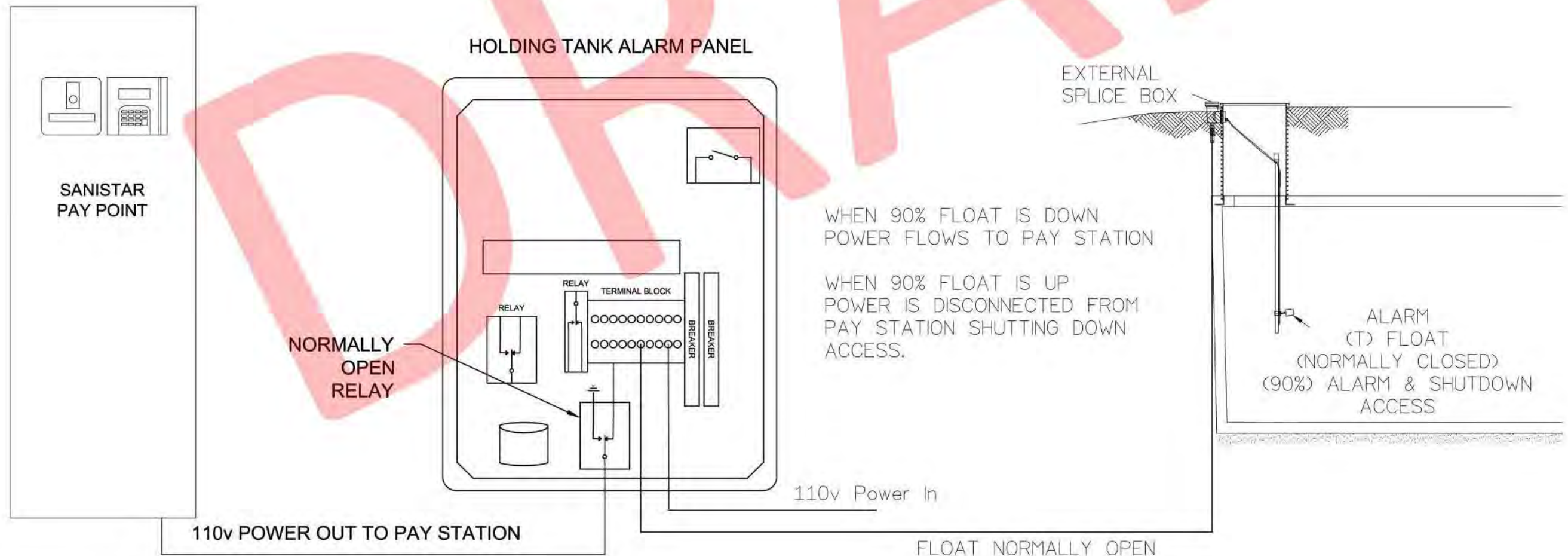
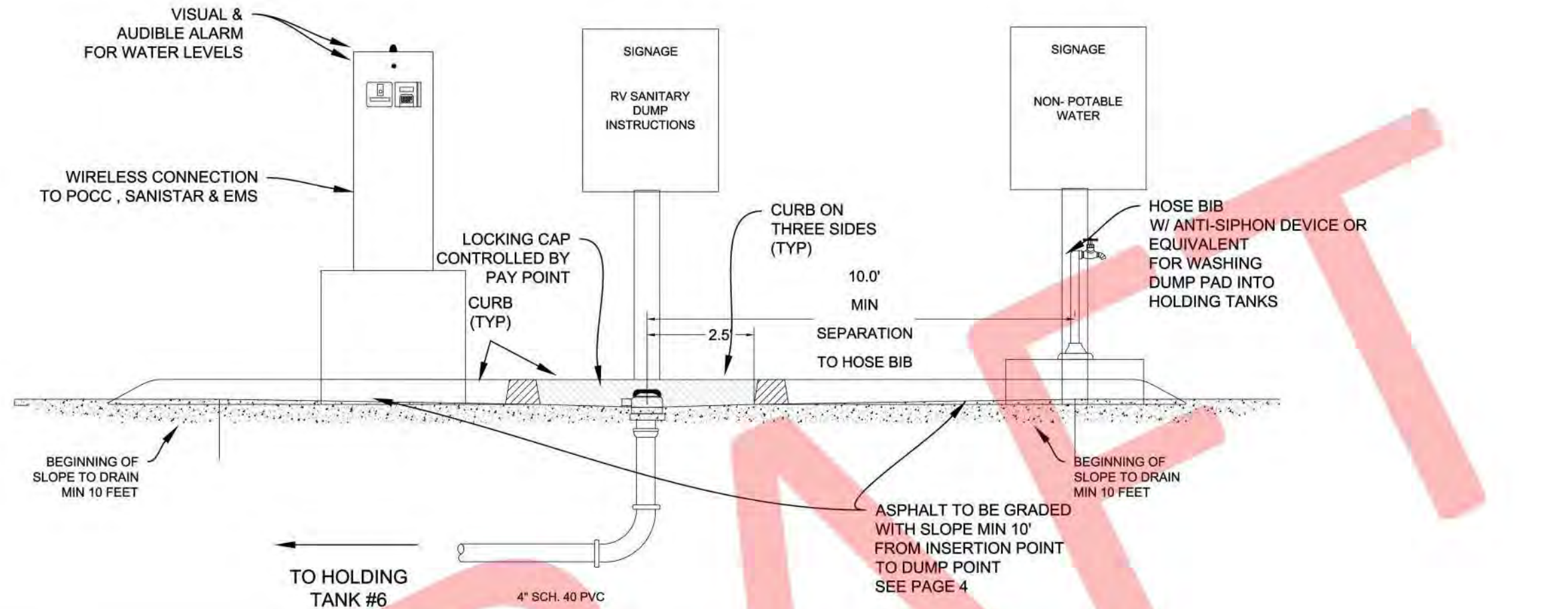


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21-0206-01	Tillamook River RV Park	5/25/2022	8 OF 11
T: 1S, R: 10W, Sec 26, Tls 00500 & 02300		DUMP STATION DETAILS	
CHECKED:	DRAWN:	 ENVIRONMENTAL MANAGEMENT SYSTEMS, INC.	
<small>503-353-9691 360-735-1109 www.envmgtsys.com 4080 SE International Way Suite B112 Milwaukie, OR 97222</small>			

85 THIRD ST
TILLAMOOK, OR 97141



Typical Sanistar paystation location



Paystation Close-up. Typical National Rates \$10-\$25 per dump



Typical pedestal location

Site protected from traffic with curbs



Sanistar paystation with RV
Site protected from traffic with curbs



Foot operated access port
Unlocked by paystation



Pay station with water hose and electrical outlet



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21-0206-01

Tillamook River RV Park

DRAWN:

5/25/2022

T: 1S, R: 10W, Sec 26, Tls 00500 & 02300

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SANISTAR PHOTOS



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85 THIRD ST
TILLAMOOK, OR 97141

PRELIMINARY GUIDANCE LIST ONLY
All items to be reviewed by designer & installer prior to ordering
All part substitutions must be pre-approved by designer.
Major component & tank substitutions require additional design time.

Qty	Product ID	Description
TANKS		
7	Willamette Graystone 3000 Gallon Holding Tank	3000 Gallon Concrete Septic Tank for tanks HT1-HT7
1750'	4" Schedule 40 PVC or greater	Piping from both sides of Dump Receptacles to each individual HT
1	MF1B-21FS	21" Float tree for HT6
7	MF1T-37FS	37" Float tree for HT1-HT5, HT7
1	GR2424 / FL24G	GRADE RING/ RISER LID
1	GR2428 / FL24G	GRADE RING/ RISER LID
2	GR2440 / FL24G	GRADE RING/ RISER LID
3	GR2442 / FL24G	GRADE RING/ RISER LID
1	GR3024 / FL30G	GRADE RING/ RISER LID
1	GR3028 / FL30G	GRADE RING/ RISER LID
2	GR3040 / FL30G	GRADE RING/ RISER LID
3	GR3042 / FL30G	GRADE RING/ RISER LID
7	SBEX2	EXTERNAL SPLICE BOX
ALARM SYSTEM		
7	AMLAHW	VISUAL & AUDIBLE LIQUID LEVEL ALARM PANEL HT1-HT5, HT7 W/ VISUAL & AUDIBLE W/ SHUTOFF HT6 VISUAL & AUDIBLE ONLY
PAYPOINT SYSTEM		
1	CONTACT SANISTAR OR SIMILAR SYSTEM	Control system for dump station.

Component	Holding Tank 1	Holding Tank 2	Holding Tank 3	Holding Tank 4	Holding Tank 5	Holding Tank 6	Holding Tank 7
Size	3000Gal	3000Gal	3000Gal	3000Gal	3000Gal	3000Gal	3000Gal
Manufacturer	WG	WG	WG	WG	WG	WG	WG
Material	Concrete	Concrete	Concrete	Concrete	Concrete	Concrete	Concrete
Access	Riser Lid	Riser Lid	Riser Lid	Riser Lid	Riser Lid	Riser Lid	Riser Lid
<i>Maintenance</i>							
Event Counter	As Needed	As Needed	As Needed	As Needed	As Needed	As Needed	As Needed
Moisture/Odors	Monthly	Monthly	Monthly	Monthly	Monthly	Monthly	Monthly
Alarms	As Needed	As Needed	As Needed	As Needed	As Needed	As Needed	As Needed
Alarm Noise	Hi/Lo	Hi/Lo	Hi/Lo	Hi/Lo	Hi/Lo	Hi	Hi
Scum, Sludge, Solids	As Needed	As Needed	As Needed	As Needed	As Needed	As Needed	As Needed
Gallons / Inch	43.3	43.3	43.3	43.3	43.3	43.3	43.3
Effluent Sampling	When Pumped	When Pumped	When Pumped	When Pumped	When Pumped	When Pumped	When Pumped

Key: Tanks: W=Waite, WG=Willamette Greystone, M=Michaels, D=D&K,
 X= Xerxes, CSI = Containment Solutions, Inc.
 Material: PVC=Polyvinyl Chloride, FG=Fiberglass
 OSI=Orenco Systems Inc.

21-0206-01	Tillamook River RV Park	5/25/2022
T: 1S, R: 10W, Sec 26, TLs 00500 & 02300		
PARTS LIST		
10 OF 11		

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EMS
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MANAGEMENT SYSTEMS, INC.

85 THIRD ST
TILLAMOOK, OR 97141

CHECK OFF	
	GENERAL STANDARDS
	ATTENTION: Oregon law requires you to follow rules adopted by the Oregon Utility Notification Center. Those rules are set forth in OAR 952-001-0010 through OAR 952-001-0090. You may obtain copies of the rules by calling the center. (Note: the telephone number for the Oregon Utility Notification Center is (503) 232-1987).
	All work and material shall conform with OAR 340 Div. 71 & 73 approved design permit, and appropriate laws. Permits relating (but not limited) to plumbing, electrical, and grading must be coordinated with the on-site system installer and designer.
	Minor modifications to accommodate stumps, boulders or other unforeseen obstacles may be needed. Major modification cannot be performed without re-design and regulatory approval.
	If the installation contractor (installer) notes any conflicts with applicable State and/or local laws, rules or requirements, he shall request a clarification before ordering or installing affected materials or work. This may include and is not limited to such factors as: land-use regulations, grading ordinances, erosion control districts, hauling limits, typographical errors, etc. Noreimbursement to the Contractor will be provided for unauthorized work
	Installer is to obtain copies of all necessary permits, authorizations, licenses etc. prior to initiating construction, including that specialty design work designated to a subcontractor which is directly or indirectly related to the system construction, design, delivery, or installation.
	Installer shall request and obtain utility locates by a qualified service for all potential underground utilities before excavation work commences.
	Installer shall maintain any and all survey monuments, which are affected by work and activities, related to the projects. Monuments, if damaged by the installer, shall be reset by a licensed surveyor at the installer's expense.
	All materials and equipment shall be of the type, model and brand listed for the manufacturers specified, unless otherwise authorized by the system designer. Substitution of materials and equipment shall receive pre-authorization and the contractor/installer will be responsible for providing performance and operating data.
	Installer shall prepare, maintain and provide, at completion of the project, drawings detailing the construction "as-built" and shall provide the owner & designer with the manufacturer's current specification and operating data on all equipment installed prior to final payment to the installer.
	TANK (S)
	Seal all joints and seams with manufacturer-approved sealants. Provide material submittal, and all means and methods for tank and accessory testing.
	Odor proof: Seal riser lid to contact with closed cell plastic foam sheet, or single-side adhesive neoprene foam tape.
	Risers: Tanks must be equipped with one piece watertight risers, with minimum 30" inside diameter, with tank access brought to 3" above finish grade. Joints must be sealed interior and exterior, and pressure tested per plans. (See attached "Tank Inspection and Testing" notes)
	Riser: Tank must be equipped with a watertight riser, with minimum 18" inside diameter, with tank access brought to or above finish grade. Riser must be fiberglass bonded to tank adapter w/ adhesive.
	Knockouts: Perforations and unused knockouts must be grouted or otherwise sealed.
	Watertight: After installation, Tank must be subject to 24 hour test for watertightness. Fill to a maximum 2" into riser. Mark water level, time and date. There may be no more than 1 gallon leakage over 24 hour period.
	THE ABOVE SPECIFICATIONS ARE IN ADDITION TO AND DO NOT REPLACE THE MANUFACTURERS WRITTEN INSTALLATION AND TESTING PROCEDURE REQUIREMENTS.
	Anti-buoyancy: Provide for anti-buoyancy, per manufacturer's installation instructions. Provide copy of instructions to permitting authority.

	ELECTRICAL COMPONENTS
	Wiring of pumps and controls shall be performed by a licensed electrician under the auspices of an electrical permit secured from the local jurisdiction. For details of electrical system, pump controls, floats, and the level of the float settings see the manufacturer's instructions and approved design.
	Splicing of wires at the splice box inside the tank risers shall be done using the heat shrink connectors provided by the manufacturer or with an approved watertight electrical connector nut.
	Wiring from the splice box to the source or the control panel shall be protected in UL approved PVC conduit, constructed watertight. Pump line voltage shall have water proof insulation such as THW, THWN, or HHW. Wire for all connections shall be 14 gauge wire or larger.
	"Seal offs" shall be installed between the splice box and the power source or control panel, either in the horizontal just outside the riser or in the vertical just below the control panel or per connection. "Seal offs" shall be installed per manufacturers written recommendations and shall be equal to or better than the following: Appleton EYF seal off box, PVC terminal adapters (threaded), Killark sealing compound, Killark packing fiber.
	Wiring shall be color coded or numbered and the schedule written inside the control panel or on the wiring diagram.
	Upon completion, the apparatus shall be tested for operation and correctness. Available voltage, pump run voltage and pump run amperage shall be measured and recorded inside the control panel.
	The wiring diagram shall be retained on site (preferably in control panel enclosure) and any as-built notes or comments entered, initialed, and dated.
	CONTROL PANEL (S)
	The electrician shall label the control panel or electrical panel with his business name and the permit number and date of installation.
	Control panel shall be installed per manufacturers written instructions; alarm shall be audible from the living/working space. Pump and alarm must be on separate circuits.
	Panel shall be in accordance with NEMA 4X rating. Panel enclosure shall meet NEMA 4X requirements.
	Panel shall be installed within 50' of tank and preferably within sight of the tank.
	OTHER
	Abandon Tank: Existing septic tank must be pumped and filled with rock or removed in accordance with County and State of Oregon requirements. Submit certificate of abandonment and pump receipt.
	Setbacks: Maintain required setbacks
	Initial and Reserve drainfield areas and system components to be protected with construction fencing, bollards, or other devices before, during, and after septic system installation.
	COLLECTION SYSTEM
	Contractor to obtain plumbing permit.
	Do not use the plumbing system for disposal of non-biodegradable and/or toxic materials such as paints, thinners, gasoline, motor oil, drain cleaners, or other harsh chemicals.
	Do not use the plumbing system for disposal of cooking grease, diapers, sanitary napkins, rags, cigarette butts, rubber or plastic products
	Water softener backwash, storm or ground water sources, floor drains not to be connected to the septic system.
	DISTRIBUTION AND TRANSPORT LINES
	Road crossing: Sleeve transport pipe in Sch. 40 PVC, installed a minimum of 18" below grade, and bedded in ¾ minus to the surface.
	Road/Driveway crossing: Use Sch. 40 or Sch. 80 PVC, installed a minimum of 24" below grade, and bedded in ¾ minus to the surface.
	Trace wire: Provide an electrically continuous 18 gauge, green-jacketed copper wire in trench, above the pipe, for the full length of all pressure or gravity transport lines, accessible at the source end.

21-0206-01

5/25/2022

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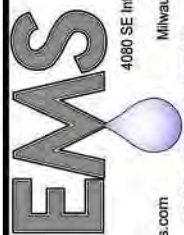
Tillamook River RV Park

T: 1S, R: 10W, Sec 26, Tls 00500 & 02300

CONSTRUCTION SPECIFICATIONS

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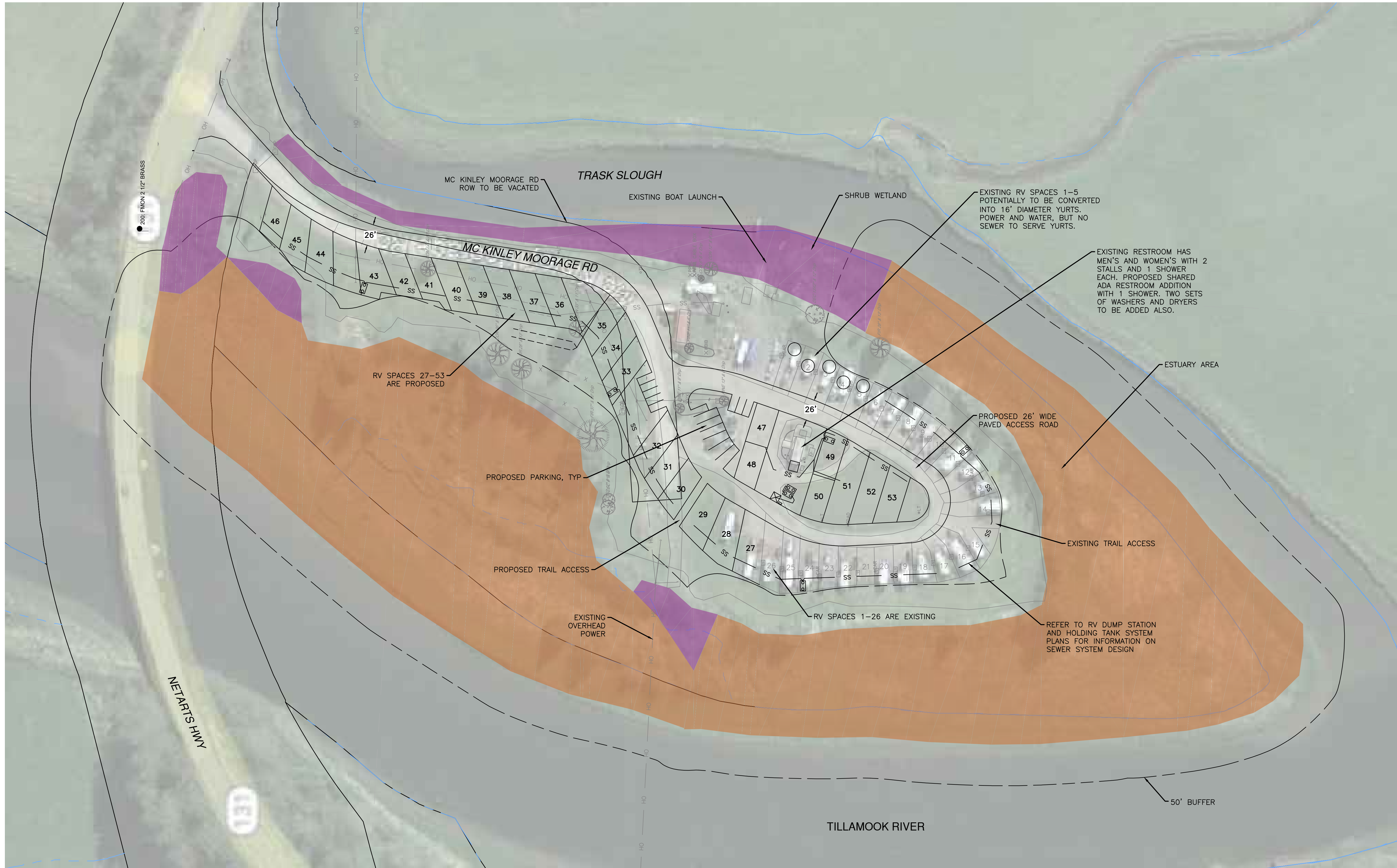
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ENVIRONMENTAL
MANAGEMENT SYSTEMS, INC.



SITE PLAN
SCALE: 1"=60'

RIDGE DEVELOPMENT
TILLAMOOK RV PARK EXPANSION
OVERALL SITE PLAN
TILLAMOOK COUNTY, OREGON

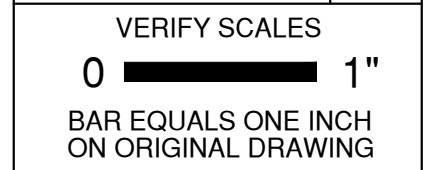
REVISIONS:

1.	
2.	
3.	

549 SW MILL VIEW WAY
SUITE 100
BEND, OREGON 97702
(541) 633-3140
www.becong.com

BECON
Civil Engineering & Land Surveying

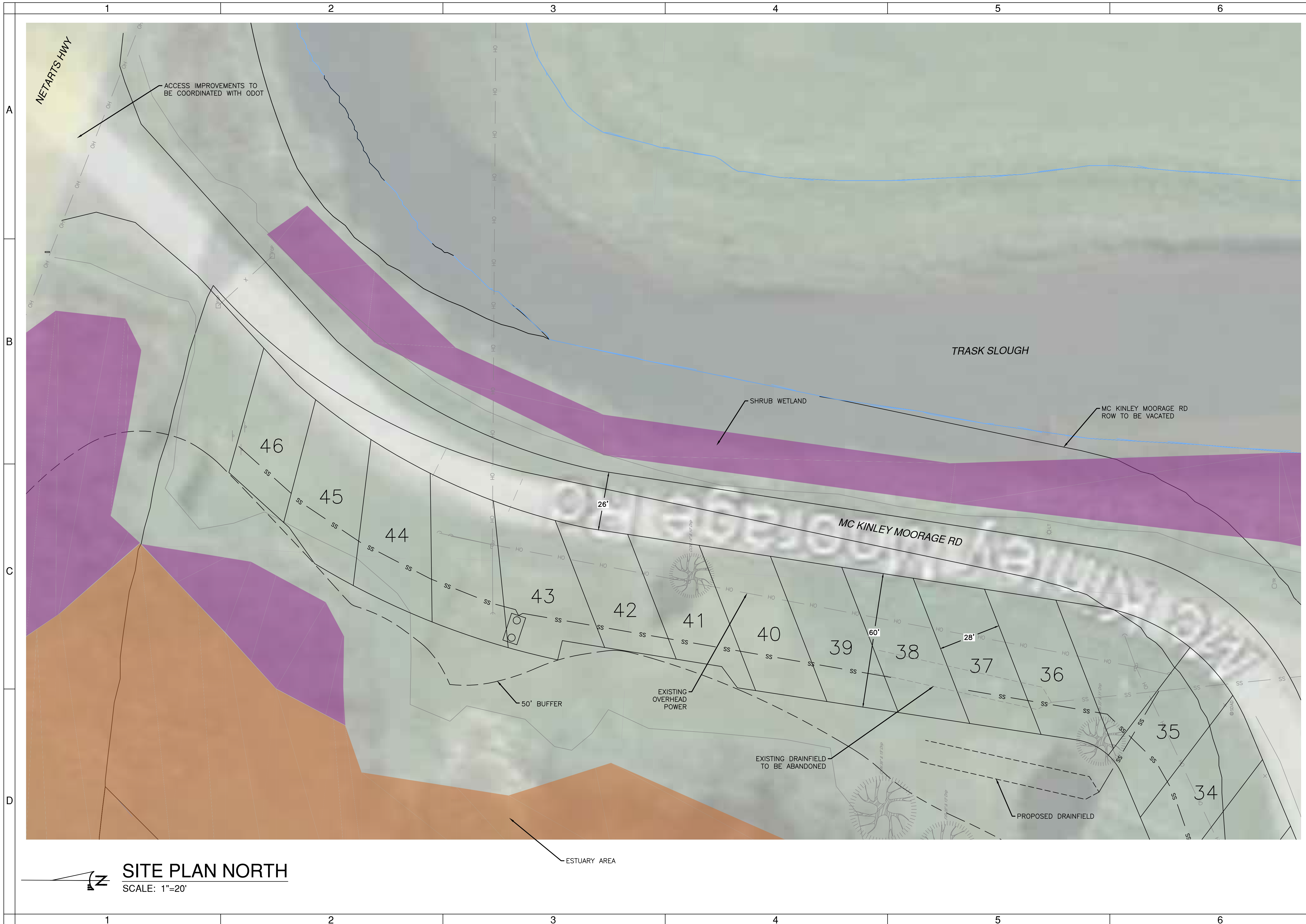
DESIGNED BY: TRM
DRAWN BY: BECON
SCALE: 1" = 60'
FILE: 21264
DATE: 08/29/2022



SHEET: C1.0

1 OF 3

851-22-000286-PLNG



SITE PLAN NORTH
SCALE: 1"=20'

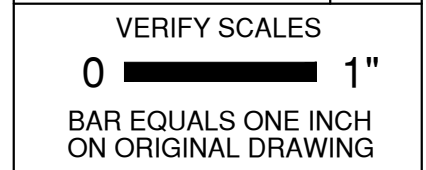
RIDGE DEVELOPMENT
TILLAMOOK RV PARK EXPANSION
SITE PLAN NORTH
TILLAMOOK COUNTY, OREGON

REVISIONS:

1.	
2.	
3.	

BECON
Civil Engineering & Land Surveying
549 SW MILL VIEW WAY
SUITE 100
BEND, OREGON 97702
(541) 633-3140
www.beconeg.com

DESIGNED BY: TRM
DRAWN BY: BECON
SCALE: 1" = 20'
FILE: 21264
DATE: 08/29/2022



SHEET: C1.1

2 OF 3

851-22-000286-PLNG



SITE PLAN SOUTH
SCALE: 1"=20'

RIDGE DEVELOPMENT
TILLAMOOK RV PARK EXPANSION
SITE PLAN SOUTH
TILLAMOOK COUNTY, OREGON

REVISIONS:

1.	
2.	
3.	

BECON
Civil Engineering & Land Surveying
549 SW MILL VIEW WAY
SUITE 100
BEND, OREGON 97702
(541) 633-3140
www.beconing.com

DESIGNED BY: TRM
DRAWN BY: BECON
SCALE: 1" = 20'
FILE: 21264
DATE: 08/29/2022

VERIFY SCALES
0 1"
BAR EQUALS ONE INCH
ON ORIGINAL DRAWING

SHEET: C1.2

3 OF 3

851-22-000286-PLNG



Trevor Munro <tmunro@beconeng.com>

Tillamook RV park

1 message

KEARNS Richard A <Richard.A.KEARNS@odot.oregon.gov>

Thu, Sep 15, 2022 at 2:11 PM

To: "tmunro@beconeng.com" <tmunro@beconeng.com>, BUFFINGTON Mark W <Mark.W.BUFFINGTON@odot.oregon.gov>, Melissa Jenck <mjenck@co.tillamook.or.us>

Cc: WILLIAMS Virginia L <Virginia.L.WILLIAMS@odot.oregon.gov>

<https://www.oregon.gov/odot/Forms/2ODOT/7345114.pdf>

Trevor / Melissa

The Access Engineer out of Salem took a look at this last Tuesday and his comments are below;

Here is the photos I took at the RV Park, I'd estimate about 700' ISD to the west and about 800' to the east. The low rail on the bridge and the superelevation of the roadway throughout the curve make it easy to see vehicles on the bridge from the approach. I can't see any benefit or justification in requiring a TIA. My recommendation would be to require them to submit an upgrade application to add up to 4" of asphalt on their approach to a distance 40' from the fog line (I recommend longer than our normal 20' since the approach will see a lot of bigger vehicles).

The link above is the UGRADE APPLICATION

Richard Kearns

D1 Permits

503-325-6490

 Tillamook County 286 Incomplete Application.pdf
949K

Application Materials

Submitted July 19, 2022



Tillamook County Department of Community Development
 1510-B Third Street, Tillamook, OR 97141 | Tel: 503-842-3408 Fax: 503-842-1819
www.co.tillamook.or.us

PLANNING APPLICATION

OFFICE USE ONLY	
Date Stamp	
<input type="checkbox"/> Approved <input type="checkbox"/> Denied	
Received by:	
Receipt #:	
Fees: 13,000.00	
Permit No: 851-22-000281-PLNG	

Applicant (Check Box if Same as Property Owner)

Name: R3 Coastal, LLC Phone: 541-602-2580 / 541-280-8966
 Address: 62570 Eagle Rd
 City: Bend State: OR Zip: 97701
 Email: rishannonmd@gmail.com / rishannon96@gmail.com

Property Owner

Name: Phone:
 Address:
 City: State: Zip:
 Email:

Request: See attached narrative statement and other submittals

Type II

- Farm/Forest Review
- Conditional Use Review
- Variance
- Exception to Resource or Riparian Setback
- Nonconforming Review (Major or Minor)
- Development Permit Review for Estuary Development
- Non-farm dwelling in Farm Zone
- Foredune Grading Permit Review
- Neskowin Coastal Hazards Area

Type III

- Appeal of Director's Decision
- Extension of Time
- Detailed Hazard Report
- Conditional Use (As deemed by Director)
- Ordinance Amendment
- Map Amendment
- Goal Exception

Type IV

- Appeal of Planning Commission Decision
- Ordinance Amendment
- Large-Scale Zoning Map Amendment
- Plan and/or Code Text Amendment

Location:

Site Address: 85 Third St, Tillamook, OR 97141

Map Number: 1S10260000500 and 1S10260002300

Township

Range

Section

Tax Lot(s)

Clerk's Instrument #: _____

Authorization

This permit application does not assure permit approval. The applicant and/or property owner shall be responsible for obtaining any other necessary federal, state, and local permits. The applicant verifies that the information submitted is complete, accurate, and consistent with other information submitted with this application.



 Property Owner Signature (Required)

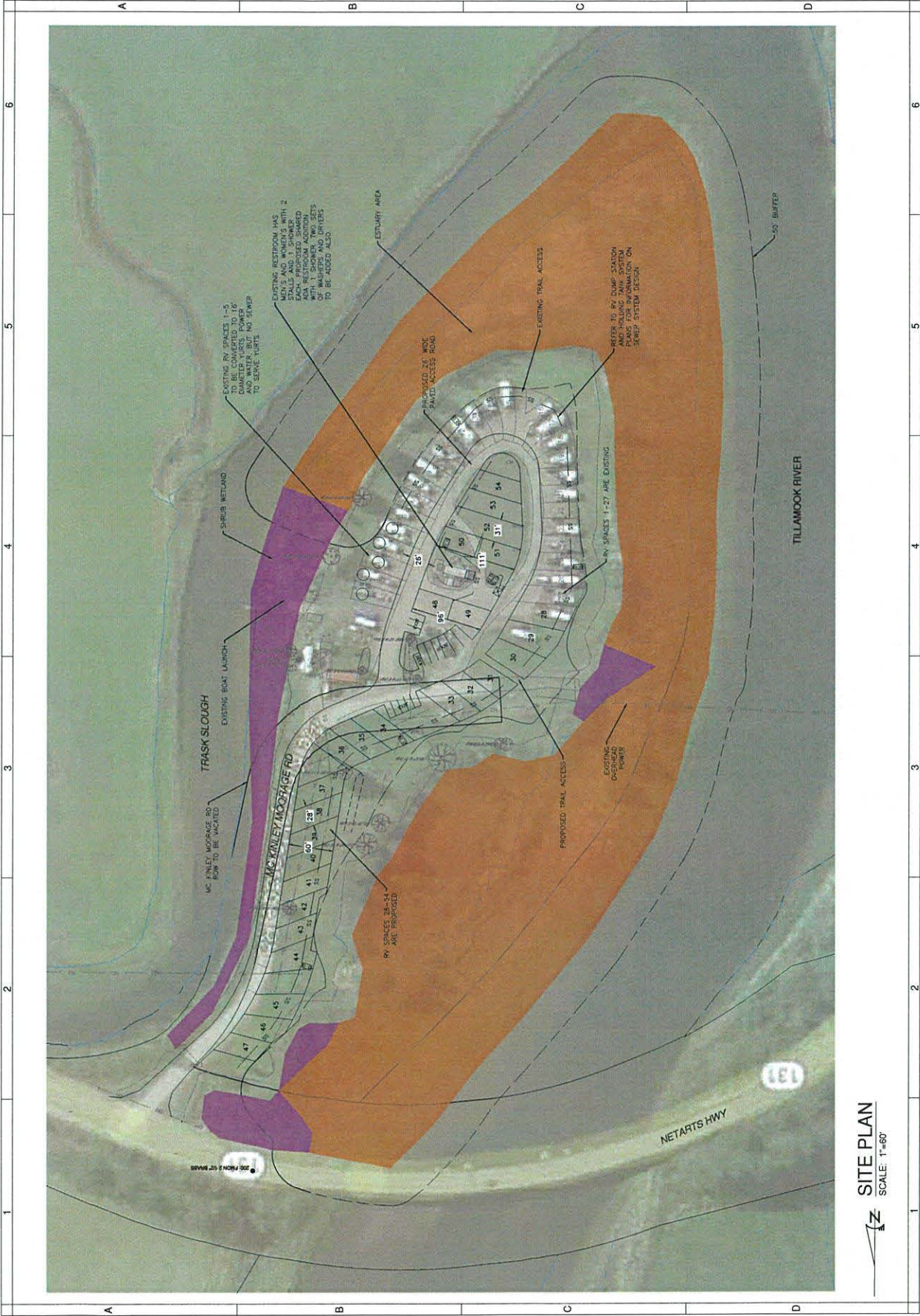
7/19/22

 Date

Applicant Signature

Date

<p>BECON CIVIL ENGINEERING 488 SW MILL VIEW WAY SUITE 100 BEND OREGON 97702 503.325.5183 www.beconeng.com</p>		<p>DATE: 07/19/2022 DESIGNED BY: TFM DRAWN BY: TFM SCALE: 1" = 60' FILE: 21284</p>
<p>SITE PLAN RIDGE DEVELOPMENT TILLAMOOK RV PARK EXPANSION TILLAMOOK COUNTY, OREGON</p>		<p>0 VERIFY SCALES 1" BAR EQUALS ONE INCH ON ORIGINAL DRAWING SHEET: C1.0 1 OF 1 FILE#</p>



SITE PLAN
 SCALE: 1"=60'

TILLAMOOK County Assessor's Summary Report

Real Property Assessment Report

FOR ASSESSMENT YEAR 2021

July 6, 2022 11:38:19 am

Account # 171860 Map # 1S10260000500 Code - Tax # 0912-171860 Legal Descr See Record Mailing Name R3 COASTAL, LLC Agent In Care Of Mailing Address 62570 EAGLE RD BEND, OR 97701	Tax Status ASSESSABLE Acct Status ACTIVE Subtype NORMAL Deed Reference # 2022-1777 Sales Date/Price 03-11-2022 / \$1,400,000.00 Appraiser KARI FLEISHER
--	--

Prop Class	201	MA	SA	NH	Unit
RMV Class	201	07	AC	500	10088-1

Situs Address(s)	Situs City
-------------------------	-------------------

Code Area	RMV	MAV	Value Summary AV	RMV Exception	CPR %
0912 Land	5,230			Land	0
Impr.	6,300			Impr.	0
Code Area Total	11,530	11,180	11,180		0
Grand Total	11,530	11,180	11,180		0

Land Breakdown										
Code Area	ID#	RFPD	Ex	Plan Zone	Value Source	TD%	LS	Size	Land Class	Trended RMV
0912	1	<input checked="" type="checkbox"/>		RC	Commercial Site	110	A	4.90		5,230
Grand Total								4.90		5,230

Improvement Breakdown									
Code Area	ID#	Yr Built	Stat Class	Description	TD%	Total Sq. Ft.	Ex%	MS Acct #	Trended RMV
0912	1	2009	493	Miscellaneous - Yard Imps	110	10			6,300
Grand Total							10		6,300

Exemptions / Special Assessments / Potential Liability

NOTATIONS:
 ■ CHANGES TO VALUATION JUDGMENT (REDUCTION) 308.242 ADDED 2012

Comments: 4/15/10 Added new sign. Moved to MA 7, NH 500 part of Tillamook River RV Park. KF 10/20/10 Added back 2010 trends. KF 11/28/11 Commercial stat class conversion to 493. KF 12/27/12 Change in valuation judgment 308.242; reviewed per owner request. Lowered RMV to bring more in line with other counties. RBB 12/27/12 Brought values forward after 2012 correction. RBB 10/30/13 Reappraised RMV for 2014/15 using 2013/14 setup. KF 7/25/19 Due to a partition of TL 2500 and survey, there was a size correction on TL 500, 2500 and 2600. KF

TILLAMOOK County Assessor's Summary Report

Real Property Assessment Report

FOR ASSESSMENT YEAR 2021

July 6, 2022 11:38:58 am

Account # 172949 Map # 1S10260002300 Code - Tax # 0912-172949 Legal Descr See Record Mailing Name R3 COASTAL, LLC Agent In Care Of Mailing Address 62570 EAGLE RD BEND, OR 97701 Prop Class 807 MA SA NH Unit RMV Class 201 07 AC 500 21828-1	Tax Status ASSESSABLE Acct Status ACTIVE Subtype NORMAL Deed Reference # 2022-1777 Sales Date/Price 03-11-2022 / \$1,400,000.00 Appraiser KARI FLEISHER
--	--

Situs Address(s)	Situs City
ID# 1 85 THIRD ST	COUNTY

Code Area	RMV	MAV	Value Summary AV	RMV Exception	CPR %
0912	Land	319,380		Land	0
	Impr.	43,860		Impr.	0
Code Area Total		363,240	178,960		0
Grand Total		363,240	178,960		0

Code Area	ID#	RFPD	Ex	Plan Zone	Value Source	Land Breakdown		Size	Land Class	Trended RMV
						TD%	LS			
0912	1	<input checked="" type="checkbox"/>		RC	Commercial Site	110	A	6.82		246,830
0912					LANDSCAPE - AVERAGE	100				1,500
0912					OSD - AVERAGE	100				18,000
0912					SITE DEVELOPMENT	100				53,050
Grand Total								6.82		319,380

Code Area	ID#	Yr Built	Stat Class	Description	Improvement Breakdown			Trended RMV
					TD%	Total Sq. Ft.	Ex% MS Acct #	
0912	1	1993	511	RV Park/Campground	110	300		43,860
Grand Total						300		43,860

Exemptions / Special Assessments / Potential Liability					
Code Area	0912				
SPECIAL ASSESSMENTS:					
■ SOLID WASTE		Amount	12.00	Acres	0 Year 2021
NOTATIONS:					
■ DEMOLISHED PROPERTY RMV & MAV ADJUSTED 308.146 ADDED 2008					

PP Account(s): 0912-3259
Comments: 5/14/08 Old residence and several outbuildings were demolished prior to 1/1/08. Adjusted RMV/MAV to reflect. KF 5/15/08 Revalued land & imps based on property review after demolition/sale. RMV change only, KF 2/9/09 Changed PCA. RV Park. KF 10/30/13 Reappraised RMV for 2014/15 using 2013/14 setup. KF



BECON, LLC

Civil Engineering and Land Surveying

549 SW Mill View Way, Suite 100 • Bend OR, 97702 • 541.633.3140

Narrative Statement
Conditional Use Application Review
Tillamook Coast RV Park Expansion

- Applicant/Owner:** R3 Coastal, LLC
62570 Eagle Rd
Bend, OR 97701
Robert Shannon MD
541-602-2580
Riley Shannon
541-280-9866
- Engineer:** BECON Civil Engineering & Land Surveying
549 SW Mill View Way, Suite 100
Bend, OR 97702
Trevor Munro, PE
541-633-3140
- Location:** The subject property is located at 85 Third St, Tillamook, OR 97141. The property tax lots are 1S10260000500 and 1S10260002300.
- Request:** Conditional use review and approval of the expansion of Tillamook Coast RV Park. The existing RV Park is located on two tax lots in the RC – Rural Commercial zone. The project proposes that the existing Mc Kinley Moorage Rd ROW be vacated to the property owner. The project proposes to expand the existing 27-space RV Park into a total of 54 spaces. Also included is the proposed expansion of the existing restroom and site wide septic system. Existing RV spaces 1-5 are proposed to be converted into yurt sites.

I. Applicable Criteria, Standards, and Procedures:

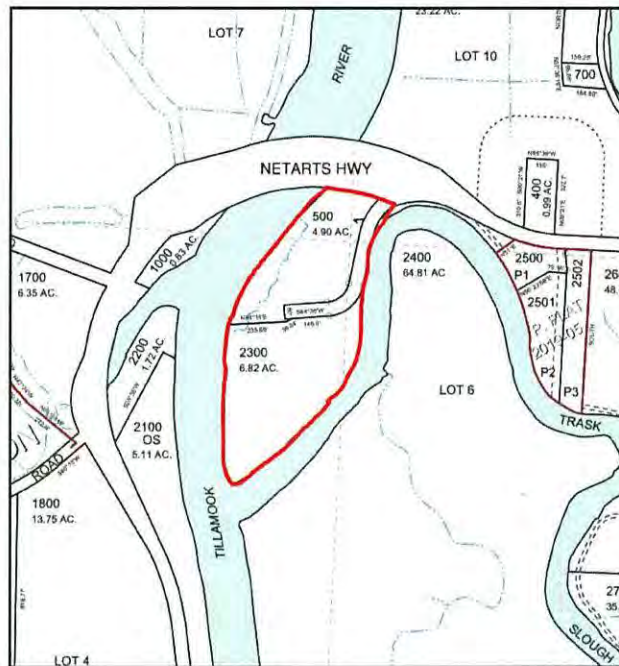
Tillamook County Land Use Ordinance (LUO)

- Article 3 – Zone Regulations
 - 3.020 RC Rural Commercial
 - 3.510 FH Flood Hazard Overlay
- Article 4 – Development Standards
 - 4.005 Residential and Commercial Zone Standards
- Article 5 – Special Use Standards and Exceptions
 - 5.030 Recreational Campground Standards
- Article 6 – Conditional Use Procedures and Criteria
 - 6.010 Purpose

- 6.020 Procedure
- 6.030 General Requirements
- 6.040 Review Criteria
- 6.070 Conditions of Approval
- 6.080 Compliance with Conditions
- 6.090 Time Limit

II. General Facts:

1. **LOCATION:** The subject property is located at 85 Third St, Tillamook, OR 97141. The property tax lots are 1S10260000500 and 1S10260002300, and are outlined in red below.



2. **EXISTING ZONING AND GENERAL PLAN DESIGNATIONS:** The existing RV Park is located on two tax lots in the RC – Rural Commercial zone.

3. **SITE DESCRIPTION & SURROUNDING USES:** The subject properties total approximately 11.72 acres in size. This total area will increase with the vacation of the Mc Kinley Moorage Rd ROW. The properties are currently developed as an RV Park with a boat launch into the Trask Slough. It is surrounded by waterbodies to the west, east, and south. To the north is Netarts Highway.

4. **PROPOSAL:** The owner proposes the expansion of Tillamook Coast RV Park. The project proposes that the existing Mc Kinley Moorage Rd ROW be vacated to the property owner. The project proposes to expand the existing 27-space RV Park into a total of 54 spaces. Also included is the proposed expansion of the existing restroom and site wide septic system. Existing RV spaces 1-5 are proposed to be converted into yurt sites. Other improvements include landscaping, parking, drive aisles, water, sewer, and other utility and site features.

5. **Submittals:** In addition to this narrative statement, the applicant submits the following documents in support of this proposal:

- Signed Application Form
- County Assessor's Summary Reports for Both Tax Lots
- Preliminary Overall Site Plan

- Cramer Fish Sciences Wetland and Estuary Boundaries Memo
- EMS RV Dump Station and Holding Tanks System
- FEMA FIRM 41057C0560F

III. Conformance with the Applicable Approval Criteria:

Article 3 – Zone Regulations

3.020 RC Rural Commercial

(1) Purpose: The purpose of the RC zone is to permit a moderate level of commercial activities to serve the commercial needs of rural areas, and tourist areas. Commercial uses in the RC zone typically provide goods and services that would be required by most households in the area, and they have relatively few impacts on neighboring areas. Land is suitable for the RC zone because it:

- (a) Is needed;
- (b) Is physically capable of being developed;
- (c) Can obtain access to a public road without causing traffic hazards or congestion;
- (d) Will not cause significant conflicts with nearby residential uses; and
- (e) Has sufficient land area to accommodate off-street parking.

(3) Uses Permitted Conditionally: In the RC zone, the following uses and their accessory uses are permitted subject to the provisions of Article IV and the requirements of all applicable supplementary regulations contained in this ordinance:

- (i) Mobile home or recreational vehicle
- (r) Recreational campgrounds without full hook-up requiring community septic system

Response: The proposal is a conditional use in the RC zone.

(4) Standards: Land divisions and development in the RC zone shall conform to the following standards, unless more restrictive supplemental regulations apply:

- (a) The minimum lot dimensions, yard setbacks, and building height restrictions for structures containing only residential use shall be the same as in the RR zone.

Response: The proposed site meets all required minimum lot dimensions, yard setbacks, and building height restrictions.

- (b) Minimum yards for any structure on a lot or parcel adjacent to a residential zone shall be 5 feet on the side adjacent to the residential zone, and 10 feet in the front yard. No rear yard is required.

Response: The proposed site meets all required yard sizes.

- (c) For commercial or combined commercial-residential structures, structures shall be either constructed on the property line or setback at least 3 feet or as required in Section 3.020 (4) (b).

Response: All structures are greater than 3' from property lines.

- (d) All structures shall meet the requirements for clear-vision areas specified in Section 4.010.

Response: All structures meet clear-vision requirements.

- (e) All uses shall meet off-street parking requirements as provided in Section 4.030.

Response: The proposed use meets off-street parking requirements.

(f) Outdoor storage abutting or facing a lot in a residential zone shall be screened with a sight-obscuring fence.

Response: This section is not applicable.

(g) The maximum building height for commercial structures shall be 35 feet except on ocean or bay frontage lots, where it shall be 24 feet, higher structures may be permitted as a conditional use in accordance with Article VI.

Response: All buildings are well below the maximum height.

- (h) Scale of Commercial uses:
- a. Outside an unincorporated community, the use shall not exceed a total of 3,000 square feet of floor area per use within a building(s)
 - b. Outside an unincorporated community a lawfully established use that existed prior to the adoption of this Section (December 4, 2002) may be expanded to occupy a maximum of 3,000 square feet of floor area, or an additional 25% of the floor area currently occupied, whichever is greater.

Response: This section is not applicable.

3.510 FH Flood Hazard Overlay Zone (FH)

(1) Purpose: It is the purpose of the FH zone to promote the public health, safety and general welfare and to minimize public and private losses or damages due to flood conditions in specific areas of unincorporated Tillamook County by provisions designed to:

- (a) Protect human life and health;
- (b) Minimize expenditure of public money for costly flood control projects;
- (c) Minimize the need for rescue and relief efforts associated with flooding and generally undertaken at the expense of the public;
- (d) Minimize prolonged business interruptions;
- (e) Minimize damage to public facilities and utilities such as water and gas mains, electric, telephone and sewer lines, streets and bridges located in areas of special flood hazards;
- (f) Help maintain a stable tax base by providing for the sound use and development of areas of special flood hazard so as to minimize future flood blight areas;
- (g) Ensure that potential buyers are notified that property is in an area of special flood hazard; and
- (h) Ensure that those who occupy the areas of special flood hazard assume responsibility for their actions.
- (i) Maintain the functions and values associated with Special Flood Hazard Areas which reduce the risk of flooding.

(2) Basis for Establishing the Areas of Special Flood Hazard: The areas of special flood hazard identified by the Federal Insurance Administration in a scientific and engineering report entitled "The Flood Insurance Study for Tillamook County" dated September 28, 2018, with an accompanying Flood Insurance Rate Maps (FIRMs), are hereby adopted by reference and declared to be a part of this ordinance. The Flood Insurance Study and the FIRM are on file at the Tillamook County Department of Community Development at 1510-B Third Street, Tillamook, OR 97141. The best available information for flood hazard area identification as outlined in this Section shall be the basis for regulation until a new FIRM is issued that incorporates data utilized under this Section.

Response: Per the FEMA National Flood Insurance Map 41057C0560F dated September 28, 2018, this site is within Zone AE.

(5) **General Standards:** In all areas of special flood hazards the following are required.

Response: The owner acknowledges that this property is within Zone AE, and will follow all requirements of this section during the building permit and engineering permit processes.

(6) **Specific Standards for A Zones (A, AE, or A1-A30):** In all areas of special flood hazards where base flood data has been provided as set forth in Section 3.510(2) or other base flood data are utilized, the following provisions are required.

Response: The owner acknowledges that this property is within Zone AE, and will follow all requirements of this section during the building permit and engineering permit processes.

(7) **Manufactured Dwellings:** Any manufactured dwelling which incurs substantial damage as the result of a flood, must be elevated to the standards listed below.

Response: The owner acknowledges this section specific to manufactured dwellings. It is not yet determined if your's qualify as manufactured dwellings.

(8) **Recreational Vehicles:** Recreational vehicles may occupy a site in a Special Flood Hazard Area for periods of 180 consecutive days or less provided they are fully licensed and highway ready. Recreational vehicles are on its wheels or jacking system, is attached to the site only by quick disconnect type utilities and security devices and has no permanently attached additions. Recreational vehicles that do not meet these criteria become manufactured dwellings and must be anchored and elevated pursuant to this ordinance.

Response: The owner acknowledges this section specific to recreational vehicles.

(9) **Specific Standards for Floodways:** Located within areas of special flood hazard established in Section 3.510(2) are areas designated as regulatory floodways. Since the floodway is an extremely hazardous area due to the velocity of flood waters which carry debris, potential projectiles, and erosion potential, the following provisions apply:

Response: Per the FEMA National Flood Insurance Map 41057C0560F dated September 28, 2018, this site is not within a regulatory floodway.

(12) **Warning and Disclaimer of Liability:** The degree of flood protection required by this ordinance is considered reasonable for regulatory purposes and is based on scientific and engineering considerations. Larger floods can and will occur on rare occasions. Flood heights may be increased by man-made or natural causes. This ordinance does not imply that land outside the areas of special flood hazard or uses permitted within such areas will be free from flooding or flood damages. This ordinance shall not create liability on the part of Tillamook County, any officer or employee thereof, or the Federal Insurance Administration, for any flood damages that result from reliance on this ordinance or any administrative decision lawfully made hereunder.

Response: The owner acknowledges this section regarding liability.

Article 4 – Development Standards

4.005 Residential and Commercial Zone Standards

PURPOSE: In all RESIDENTIAL AND COMMERCIAL ZONES, the purpose of land use standards are the following:

- (1) To ensure the availability of private open space;
- (2) To ensure that adequate light and air are available to residential and commercial structures;
- (3) To adequately separate structures for emergency access;
- (4) To enhance privacy for occupants of residences;
- (5) To ensure that all private land uses that can be reasonably expected to occur on private land can be entirely accommodated on private land, including but not limited to dwellings, shops, garages, driveways, parking, areas for maneuvering vehicles for safe access to common roads, alternative energy facilities, and private open spaces;
- (6) To ensure that driver visibility on adjacent roads will not be obstructed;
- (7) To ensure safe access to and from common roads;
- (8) To ensure that pleasing views are neither unreasonably obstructed nor obtained;
- (9) To separate potentially incompatible land uses;
- (10) To ensure access to solar radiation for the purpose of alternative energy production.

Response: The owner acknowledges this section regarding purpose of the land use standards.

Article 5 – Special Use Standards and Exceptions

5.030 Recreational Campground Standards

(1) Purpose: The purpose of the RECREATIONAL CAMPGROUND STANDARDS is to insure that each new or enlarged RECREATIONAL CAMPGROUND provides necessary facilities, adequate lot area, set-back, and other needed requirements for the public safety, health, and general welfare. A RECREATIONAL CAMPGROUND is a place where four or more recreational vehicles and/or tents are located on one or more continuous lots, tracts, or parcels of land under a single ownership for temporary recreational camping. A permanent house, mobile home, manufactured home, or recreational vehicle for the owner, operator, or manager of the campground is allowed, however other Sections of the Ordinance pertaining to such use shall apply, including Section 5.010, etc. Accessory uses that may be permitted include recreational cabins, showers, laundry, a grocery, a gas pump, and recreation facilities that are designated for the primary purpose of serving the occupants of the campground. A camper as defined in Article 1, shall not be allowed to stay any longer than six (6) months in any twelve (12) month period. The standards contained in this Section are minimum standards. Additional standards may be required where necessary to meet other requirements of this Ordinance, i.e. Floodplain, Geologic Hazard zone, Riparian Vegetation.

Response: The owner acknowledges this section regarding purpose of these standards.

(2) Recreational Campground: Shall be built to State standards and shall comply with the following provisions:

(a) A RECREATIONAL CAMPGROUND shall have:

- i. A minimum size of 1 acre or the minimum lot size of the zone, whichever is greater;
- ii. A minimum number of 4 sites;
- iii. A minimum width of space 23 feet or state minimum whichever is greater, for each site;
- iv. Lot depths may vary in size, however maximum unit lengths shall be designated for each proposed space, and each space shall include enough area for the required set-backs along with the maximum unit length;
- v. A minimum distance between actual unit location and interior road right-of-way of 10 feet. Each campsite will have direct access to interior road right-of-way;
- vi. And all property lines not abutting an exterior roadway shall be 10 feet. A minimum distance between actual unit and an exterior roadway shall be 20 feet;
- vii. A minimum distance between actual units of 15 feet;
- viii. Minimum distance between actual unit and community or service buildings of 10 feet;
- ix. Campground roads shall have a surface width of at least 16 feet with 2 foot shoulders on each side. All interior park roads shall be surfaced to minimum County road standards and

- well-drained. No on-street parking shall be allowed;
- x. Walkways not less than three (3) feet wide may be required to be provided from trailer spaces to community and service buildings. All access roads and walkways should be well lighted;
 - xi. All areas not used for spaces, motor vehicle parking, traffic circulation, or service or community buildings shall be completely and permanently landscaped or maintain existing natural vegetation. The landscaping shall be maintained in good condition;
 - xii. A sight-obscuring fence and/or buffer strip of vegetation may be required on every side of a RECREATIONAL CAMPGROUND;
 - xiii. Trash cans shall be provided in convenient locations for the use of guests of the park, and shall be located in such number, and shall be of such capacity, that there is no uncovered accumulation of trash at any time;
 - xiv. All Recreational Vehicles staying in the park shall be assigned to a space. No space shall have more than one (1) Recreational Vehicle or tent assigned to it, except as provided in State law;
 - xv. Approval of a recreational campground shall not be construed to be an approval of the building plans for building permit review purposes. All proposed building construction must meet Uniform Building Code requirements as part of building permit review;
 - xvi. On-site storage areas, for park residents only, may be allowed. If allowed, the storage area shall be screened or combined landscape and screening with a 6 foot high sight obscuring fence or hedge along all exterior property lines of the storage area;
 - xvii. Preliminary plans which contain all the information specified in OAR 333-31-059 shall be submitted to the Planning Department when requesting Conditional Use approval.
 - xviii. All RECREATIONAL CAMPGROUNDS, which legally existed prior to the date of this Ordinance, and which have submitted complete Master Plans to the department for review, shall be considered an "existing use" if:
 1. The RECREATIONAL CAMPGROUND is in compliance with all State regulations and County Sanitation regulations; and
 2. Master Plans and review fees are submitted to the department no later than December 31, 1986; and
 3. The department issues a letter to the RECREATIONAL CAMPGROUND owner indicating that the campground meets the above two criteria.

If it is determined by the department that the RECREATIONAL CAMPGROUND does meet the first two criteria, the department shall submit the letter, mentioned in (c) above, to the campground owner. At that time, only that portion of the campground identified in the Master Plan, will then be considered an "existing use".

Only those campgrounds who retain the confirmation letter will be considered an "existing use". In the future, if one of the "existing use" campgrounds enlarge or expand, only that new portion of the campground will be required to meet the County standards.

The "existing use" RECREATIONAL CAMPGROUNDS are to be allowed to remain as they are represented within the accepted Master Plan on only that portion of the property designated. If the use is vacated for over one year the "existing use" designation shall be void, and any new use of the property shall conform to the requirements of this Ordinance.

The "existing use" may be sold or transferred to new owners. The new owners will maintain the same rights as the previous owners.

- xix. The accessory commercial uses such as gas pump, laundry, grocery store and recreational facilities shall not exceed the requirements of Rural Commercial, Section 3.020.
- xx. New full hook-up parks requiring a community septic/sewer system are permitted only within adopted unincorporated community boundaries.

Response: The proposed expansion to the existing RV Park meets all of the provisions listed above. The existing RV Park consists of 27 spaces, 27 spaces are also proposed, totaling 54 spaces. Also included is the proposed expansion of the existing restroom and site wide septic system. Existing RV spaces 1-5 are proposed to be converted into yurt sites. Other improvements include landscaping, parking, drive aisles, water, sewer, and other utility and site features.

Article 6 – Conditional Use Procedures and Criteria

6.010 Purpose

The purpose of a CONDITIONAL USE is to provide for uses that are not allowed by right in a certain zone because of potentially adverse impacts on uses permitted by right in that zone. Such uses may be made or deemed compatible through the review process contained in this Article, which subjects the proposed CONDITIONAL USE activity to specific requirements, criteria, and conditions. The location and operation of any CONDITIONAL USE listed in this Ordinance shall only be permitted according to the provisions of this Article.

Response: The proposal is a conditional use in the R0 zone.

6.020 Procedure

The following procedure shall be observed in submitting and acting on a CONDITIONAL USE request:

(1) A request may be initiated for a CONDITIONAL USE, or the modification of an approved CONDITIONAL USE, by filing an application with the Department. The Department may require any information necessary for a complete understanding of the proposed use and its relationship to surrounding properties.

(2) The Director shall act administratively according to the procedure set forth in Article 10, or shall refer the application to the Commission for a public hearing and decision. The application shall be referred to the Commission if the director determines that the proposed use would have significant impacts that extend beyond the abutting properties, and that those impacts are not likely to be adequately addressed by response to public notice required by Section 10.070. If the Director elects to refer the application to the Commission, it shall be heard at the next available Commission hearing, unless the applicant requests otherwise.

(3) No CONDITIONAL USE permit shall be invalidated because of failure to receive the notice provided for in Section 10.070.

Response: The owner acknowledges this section regarding Conditional Use procedures.

6.030 General Requirements

A CONDITIONAL USE shall be authorized, pursuant to the procedures set forth in Section 6.020, if the applicant adequately demonstrates that the proposed use satisfies all relevant requirements of this Ordinance, including the review criteria contained in Section 6.040 or the Health Hardship provisions contained in Section 6.050, and the following general requirements:

(1) A CONDITIONAL USE shall be subject to the standards of the zone in which it is located, except as those standards have been modified in authorizing the CONDITIONAL USE. The size of a lot to be used for a public utility facility may be reduced below the minimum required, provided that it will have no adverse effect upon adjacent uses.

(2) A CONDITIONAL USE may be enlarged or altered pursuant to the following:

- (a) Major alterations of a CONDITIONAL USE, including changes to or deletion of any imposed conditions, shall be processed as a new CONDITIONAL USE application.
- (b) Minor alterations of a CONDITIONAL USE may be approved by the Director according to the procedures used for authorizing a building permit, if such alterations are requested prior to the issuance of a building permit for the CONDITIONAL USE. Minor alterations are those which may affect the siting and dimensions of structural and other improvements relating to the CONDITIONAL USE, and may include small changes in the use itself. Any change which would affect the basic type, character, arrangement, or intent of the approved CONDITIONAL USE shall be considered a major alteration.
- (c) The enlargement or alteration of a one-or two-family dwelling, mobile home, manufactured home, or recreational vehicle that is authorized as a CONDITIONAL USE under the provisions of this Ordinance shall not require further authorization, if all applicable standards and criteria are met.

(3) Where the approval of a CONDITIONAL USE request is contingent upon an amendment to this Ordinance, and an application for such amendment has been recommended for approval by the Commission, the CONDITIONAL USE request may be approved upon the condition that the Board approves the Ordinance Amendment.

Response: The owner acknowledges this section regarding Conditional Use general requirements.

6.040 Review Criteria

Any CONDITIONAL USE authorized according to this Article shall be subject to the following criteria, where applicable:

(1) The use is listed as a CONDITIONAL USE in the underlying zone, or in an applicable overlying zone.

Response: The proposal is a conditional use in the RC zone.

(2) The use is consistent with the applicable goals and policies of the Comprehensive Plan.

Response: The proposed use is consistent with the goals and policies of the Comprehensive Plan. Goal 5 (Natural Resources) and Goal 8 (Recreation) are particularly relevant to this proposed RV Park expansion.

Goal 5 seeks to protect natural resources, and conserve scenic and historic areas and open spaces. By expanding the existing RV Park, the owner is assuring that it will be an economically viable business for many years to come. The RV Park provides access to the Tillamook River and Trask Slough, and will maintain required separation distances from these features and adjacent wetland and estuary areas. It provides a great way to protect the surrounding natural resources for a long time to come.

Goal 8 brings up the issues of reaction in the County being quantity, location, and orientation. This project increases the quantity of available recreational spaces within the County. The site is located perfectly along the Tillamook River and Trask Slough with no other existing structures anywhere near the properties. The park is designed to optimize the space available, and provide excellent features and maneuverability. It also reduces the strain on public agencies by being privately owned, while providing taxable income and property taxes.

(3) The parcel is suitable for the proposed use considering its size, shape, location, topography, existence of improvements and natural features.

Response: The site is currently an RV Park, which is also its future proposed use. The site is located perfectly along the Tillamook River with no other existing structures anywhere near the properties. The park is designed to optimize the available land, and provide excellent features and maneuverability.

The RV Park provides access to the Tillamook River and Trask Slough, and will maintain required separation distances from these features and adjacent wetland and estuary areas. It is a great way to protect the surrounding natural resources for a long time to come.

(4) The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs or prevents the use of surrounding properties for the permitted uses listed in the underlying zone.

Response: The site is currently an RV Park, which is also its future proposed use. The site is located perfectly along the Tillamook River with no other existing structures anywhere near the properties. There will be no adverse effects on surrounding properties.

(5) The proposed use will not have detrimental effect on existing solar energy systems, wind energy conversion systems or wind mills.

Response: There are no existing solar energy systems, wind energy conversion systems, or wind mills within the vicinity of this project.

(6) The proposed use is timely, considering the adequacy of public facilities and services existing or planned for the area affected by the use.

Response: The RV Park is designed with modern codes and features. The use is currently a very popular activity, and is anticipated to continue being so for a long time.

6.070 Conditions of Approval

In approving a CONDITIONAL USE or a modification of a CONDITIONAL USE, any conditions which are considered necessary to protect the area surrounding the proposed use, and to preserve the basic purpose and intent of the underlying zone, may be imposed. These may include, but are not limited to, the following:

- (1) Increasing the required parcel area or yard dimensions.
- (2) Limiting the height, size, or location of buildings and structures.
- (3) Modifying the location and number of required off-street parking and loading spaces.
- (4) Controlling the location and number of vehicle access points.
- (5) Limiting the number, size and location of signs.
- (6) Requiring diking, fencing, screening, landscaping, or other measures to protect adjacent or nearby properties from the effects of the use.
- (7) Prescribing a time limit within which to fulfill any established conditions.

Response: The owner acknowledges this section regarding Conditional Use conditions of approval.

6.080 Compliance with Conditions

Adherence to the approved plot plan and compliance with the conditions imposed in approving a CONDITIONAL USE request shall be required. Any departure from the conditions of approval or approved plans constitutes a violation of this Ordinance.

Response: The owner acknowledges this section regarding compliance with conditions of approval.

6.090 Time Limit

All CONDITIONAL USES except those approved for a Health Hardship may be approved for a 24-month period. If construction has not begun on the approved development, such approvals may be extended beyond 24 months only if the Director determines that a review would be unlikely to reveal new information which could lead to different conclusions than those reflected in the original staff report. For the purposes of such a determination, the Director may rely on such things as:

- (1) Changes in Ordinance requirements or the requirements of State law;
- (2) The extent and character of new development in the vicinity of the request;
- (3) The adequacy of the review upon which the original was based;
- (4) Any other circumstances which could change the substance of the original staff report.

If the Director determines that a new review is warranted, then the applicant shall provide all information and fees required by this Article.

Response: The owner acknowledges this section regarding time limit.

IV. Summary and Conclusion

The preceding sections document that the proposed RV Park expansion conforms to the applicable zoning and design standards of the Tillamook County Land Use Ordinance. Because the proposal conforms to all applicable criteria and standards, the applicant requests that the County approve the site and design review application as proposed.



Date: 11/17/2021
To: Robert Shannon
Cc: Hans Berge, Cramer Fish Sciences
From: Kaedra Emmons, Cramer Fish Sciences
Subject: 85 Third Street, Tillamook, OR 97141 Wetland & Estuary Boundaries

The purpose of this memo is to describe the methods used to document the wetland and estuarine boundary at 85 Third Street, Tillamook, OR 97141 on 12 November 2021 by staff from Cramer Fish Sciences (CFS). The result of field survey includes a map documenting the boundaries that can be used to inform potential future expansion of the property.

Methods:

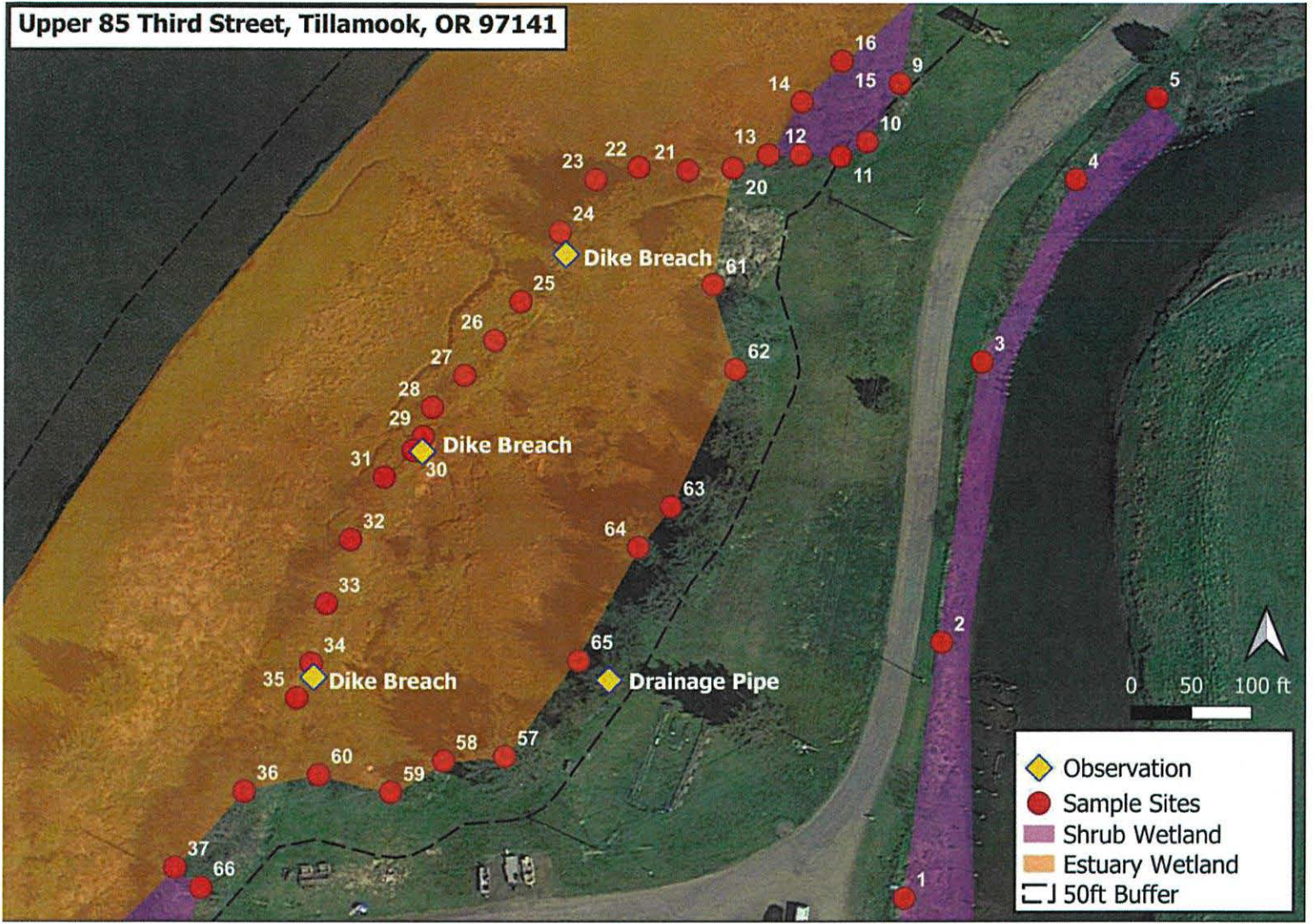
Cramer Fish Sciences' Fisheries Biologist, Ryan Flaherty, and Biological Technician, Kaedra Emmons, conducted a wetland site survey on November 12, 2021. The team followed an adapted protocol from the 1987 Army Corps of Engineers Wetlands Delineation Manual, focusing upon the core wetland characteristics of vegetation, soils, and hydrology to demark the wetlands and estuary boundaries during their site visit. The NRCS National Cooperative Soil Survey's Web Soil Survey and U.S. Fish & Wildlife Service's National Wetlands Inventory Wetlands Mapper were used as references for the survey area and provided coarse information regarding wetland and estuarine boundaries. The CFS team took 68 sample points throughout the property, along wetland and estuary boundaries, to identify characteristics and features of each habitat type. At each sample point, a GPS location, vegetation type, soil type, hydrologic conditions (based on soil type, vegetation, and visual indicators), and photos were documented. Additionally, survey stakes were placed at sample points throughout the property. The sample points were chosen based on vegetation type and topographic conditions indicative of wetland and/or estuary and were located on the edge of transition to document the boundary of wetland and/or estuary.

Results:

The 85 Third Street, Tillamook, OR 97141 site included both shrub wetland and estuarine wetland surrounding the developed property. Hydric soils were found throughout, the dominant estuarine plants documented were *Carex obnupta* (slough sedge), *Juncus effusus* (soft rush), *Deschampsia cespitosa* (tussock grass), and the dominant shrub wetland plant was *Salix* sp. (willow). Several observations were made at sites with photo documentation of exposed drainage pipe and breaches in the dike on the western side of the property (adjacent to estuary).

Applied Research in Fisheries, Restoration, Ecology and Aquatic Sciences

Map 1.



Map 2.



Findings at each sample site are summarized in the table below.

Wetland Boundary Site	Hydrophytic Vegetation	Estuarine Wetland Obligate Vegetation	Hydric Soil	Wetland Hydrology
1-12	x		x	x
13-54	x	x	x	x
55,56	x		x	x
57-65	x	x	x	x
66-68	x		x	x

Below are sample photos of estuary and shrub wetland sites.

Site 1

Shrub Wetland Site. Willow and reed canary shown in the left picture, Low soil chroma (10YR, Chroma 2, Value 3) shown in the center and right pictures.



Site 10

Shrub Wetland Site. Willow and soft rush shown in the left and center pictures, mottled soil shown in the right picture.



Site 13

Estuary Site. Slough sedge and soft rush shown in the left picture, mottled, sulfuric soil with thick organic layer shown in the right picture.



Site 34

Estuary Site. Slough sedge, tussock grass and willow shown in photo.



Site 64

Estuary Site. Soft rush, willow, reed canary, slough sedge, spruce, cattail shown in photo.



Site 67

Shrub wetland site. Willow and blackberry shown in the left picture and mottled, low chroma soil in the right.



The table and pictures below summarize the observation sites on the property.

Observation	Description
1	Dike breach
2	Dike breach
3	Dike Failing
4	Drainage pipe

Observation 1

Breach in the dike on the west side of the property.



Observation 2

Breach in the dike on the west side of the property.



Observation 3

Section of the dike that is starting to fail on the west side of the property.



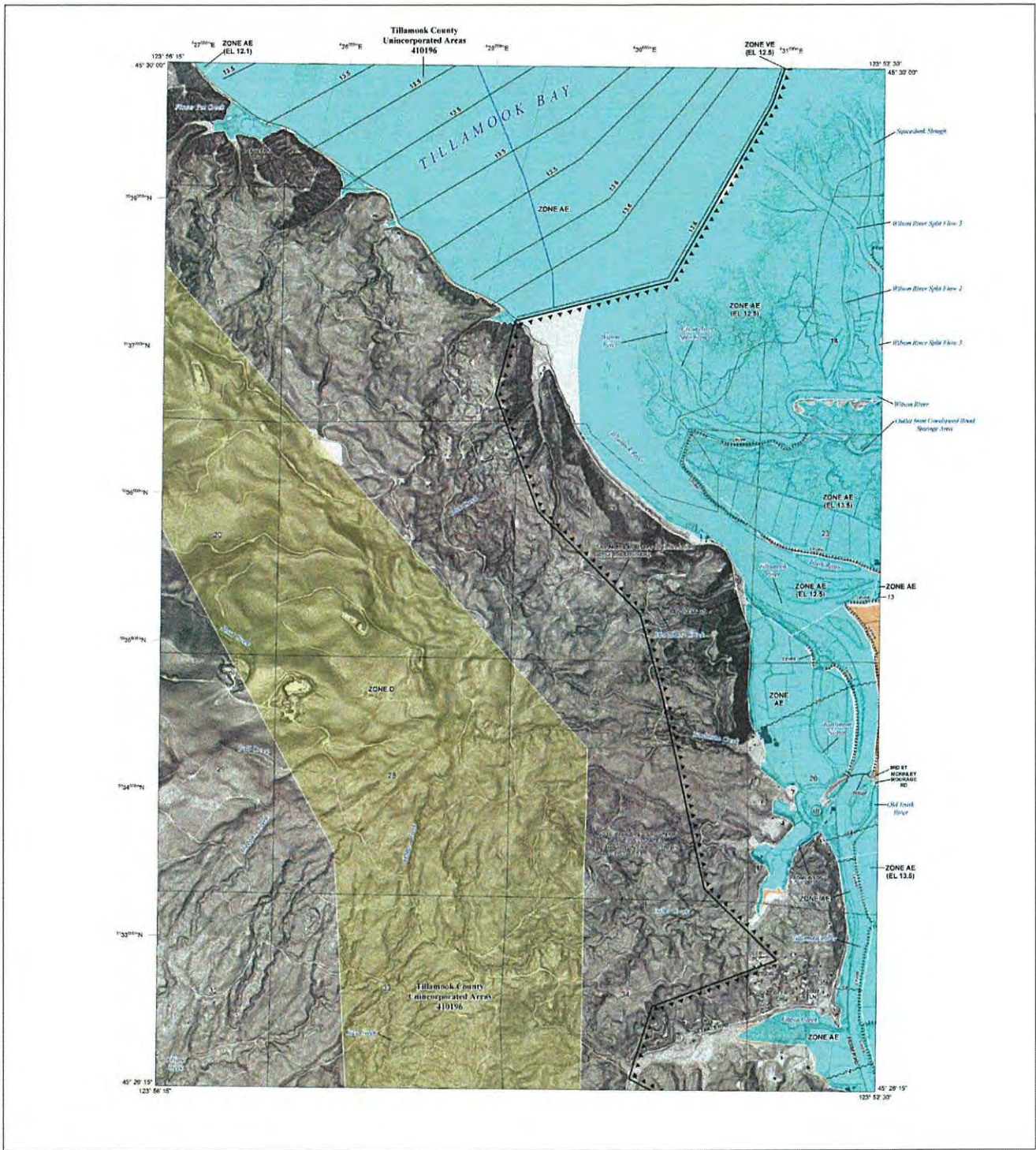
Observation 4

Exposed drainage pipe.



Field Notes by Sample Site.

Sample Site	Latitude	Longitude	Type	Species Present	Soil Characteristics
1	45.455157	-123.875622	ShrubWetland	Willow, reed canary	10YR chroma 2 value 3
2	45.455549	-123.87554	ShrubWetland	Reed canary	10YR chroma 2 value 3
3	45.455981	-123.875453	ShrubWetland	Willow, reed canary	10YR chroma 2 value 3
4	45.456261	-123.875248	ShrubWetland	Willow, reed canary	10YR chroma 2 value 3
5	45.456387	-123.87507	ShrubWetland	Pacific ninebark, willow, sword fem	Slightly mottled sandy 10YR chroma 2 value 3
6	45.456557	-123.8754	Estuary	Willow, soft rush, slough sedge	Mottled, sulfuric
7	45.456578	-123.87555	Estuary	Willow, English ivy, blackberry	10YR chroma 2 value 3
8	45.456543	-123.875598	Estuary	Willow, English ivy, blackberry	10YR chroma 2 value 3
9	45.456409	-123.875635	ShrubWetland	Willow, reed canary, blackberry	10YR CHROMA 2 value 3
10	45.456319	-123.875707	ShrubWetland	Willow, soft rush	Mottled
11	45.456296	-123.875765	ShrubWetland	Willow	Mottled
12	45.456299	-123.875852	ShrubWetland	Willow, slough sedge	Mottled
13	45.456299	-123.875923	Estuary	Slough sedge, soft rush, few cattails	Mottled, thick upper organic layer, sulfuric
14	45.45638	-123.87585	Estuary	Slough sedge	Mottled, thick upper organic layer, sulfuric
15	45.456443	-123.875762	Estuary	Slough sedge	Mottled, thick upper organic layer, sulfuric
16	45.456443	-123.875762	Estuary	Soft rush, slough sedge	Mottled, thick upper organic layer, sulfuric
17	45.456643	-123.875722	Estuary	Slough sedge	Mottled, thick upper organic layer, sulfuric
18	45.456706	-123.87577	Estuary	Slough sedge, Sitka spruce, soft rush	Mottled, thick upper organic layer, sulfuric
19	45.456774	-123.875755	Estuary	Slough sedge, Sitka spruce, soft rush, willow	Mottled, thick upper organic layer, sulfuric
20	45.456278	-123.876	Estuary	Slough sedge, cattails, soft rush	Mottled, thick upper organic layer, sulfuric
21	45.456274	-123.876098	Estuary	Slough sedge, cattails, soft rush	Mottled, thick upper organic layer, sulfuric
22	45.456279	-123.876206	Estuary	Slough sedge	Mottled, thick upper organic layer, sulfuric
23	45.45626	-123.876301	Estuary	Slough sedge	Mottled, thick upper organic layer, sulfuric
24	45.45618	-123.876379	Estuary	Slough sedge, tussock grass	Mottled, thick upper organic layer, sulfuric
25	45.456073	-123.876465	Estuary	Slough sedge, tussock	Mottled, thick upper organic layer, sulfuric
26	45.456013	-123.876521	Estuary	Slough sedge, tussock grass	Mottled, thick upper organic layer, sulfuric
27	45.45596	-123.876587	Estuary	Slough sedge, tussock grass, yarrow, willow	Mottled, thick upper organic layer, sulfuric
28	45.45591	-123.876657	Estuary	Slough sedge, willow, tussock grass	Mottled, thick upper organic layer, sulfuric
29	45.455865	-123.876678	Estuary	Willow, tussock grass	Mottled, thick upper organic layer, sulfuric
30	45.455844	-123.876699	Estuary	Tussock Grass, willow	Mottled, thick upper organic layer, sulfuric
31	45.455803	-123.876762	Estuary	Slough sedge, tussock, willow	Mottled, thick upper organic layer, sulfuric
32	45.455707	-123.876836	Estuary	Slough sedge, reed canary, twin berry, willow	Mottled, thick upper organic layer, sulfuric
33	45.455609	-123.876888	Estuary	Slough sedge, reed canary, twin berry, willow	Mottled, thick upper organic layer, sulfuric
34	45.455517	-123.876921	Estuary	Slough sedge, willow, tussock grass	Mottled, thick upper organic layer, sulfuric
35	45.455464	-123.876952	Estuary	Willow, spruce, reed canary, grass tussock, twin berry	Mottled, thick upper organic layer, sulfuric
36	45.45532	-123.877066	Estuary	Cattails, reed canary, willow, Sitka spruce	Mottled, thick upper organic layer, sulfuric
37	45.455204	-123.877217	Estuary	Willow, cattail, Sitka spruce	Mottled, thick upper organic layer, sulfuric
38	45.455117	-123.87733	Estuary	Reed canary, willow, Sitka spruce, slough sedge, twinberry	Mottled, thick upper organic layer, sulfuric
39	45.454919	-123.877326	Estuary	Willow, slough sedge	Mottled, thick upper organic layer, sulfuric
40	45.455001	-123.877593	Estuary	Willow, reed canary,	Mottled, thick upper organic layer, sulfuric
41	45.454842	-123.877382	Estuary	Slough sedge, reed canary	Mottled, thick upper organic layer, sulfuric
42	45.454785	-123.877423	Estuary	Slough sedge, reed canary	Mottled, thick upper organic layer, sulfuric
43	45.454635	-123.877434	Estuary	Slough sedge, reed canary	Mottled, thick upper organic layer, sulfuric
44	45.454504	-123.877401	Estuary	Tussock grass, slough sedge, reed canary	Mottled, thick upper organic layer, sulfuric
45	45.454289	-123.877394	Estuary	Slough sedge,	Mottled, thick upper organic layer, sulfuric
46	45.454077	-123.877399	Estuary	Tussock, soft rush, slough sedge, reed canary grass	Mottled, thick upper organic layer, sulfuric
47	45.453909	-123.877349	Estuary	Tussock, reed canary, soft rush, slough sedge, Sitka spruce	Mottled, thick upper organic layer, sulfuric
48	45.453837	-123.877294	Estuary	Reed canary, willow, slough sedge, tussock, Sitka spruce	Mottled, thick upper organic layer, sulfuric
49	45.45382	-123.877175	Estuary	Slough sedge, reed canary, tussock, Sitka spruce	Mottled, thick upper organic layer, sulfuric
50	45.453834	-123.876997	Estuary	Reed canary, slough sedge, Sitka spruce, soft rush	Mottled, thick upper organic layer, sulfuric
51	45.453831	-123.876788	Estuary	Slough sedge, reed canary, soft rush, spruce	Mottled, thick upper organic layer, sulfuric
52	45.453926	-123.876499	Estuary	Reed canary, tussock, soft rush, spruce	10YR chroma 2 value 3
53	45.454021	-123.87635	Estuary	Twin berry, reed canary, tussock, slough sedge	10YR chroma 2 value 3
54	45.454295	-123.876082	Estuary	Reed canary, soft rush, tussock	10YR chroma 2 value 3
55	45.454514	-123.87591	ShrubWetland	Willow, reed canary	10YR chroma 2 value 3
56	45.454772	-123.875738	ShrubWetland	Willow	10YR chroma 2 value 3
57	45.455374	-123.876498	Estuary	Cattail, slough sedge, spruce, willow	Mottled, thick upper organic layer, sulfuric
58	45.455367	-123.876631	Estuary	Reed canary, willow, soft rush, spruce, slough sedge	Mottled, thick upper organic layer, sulfuric
59	45.455319	-123.876746	Estuary	Reed canary, willow, soft rush, spruce, slough sedge	Mottled, thick upper organic layer, sulfuric
60	45.455346	-123.876904	Estuary	Reed canary, willow, soft rush, spruce, slough sedge	Mottled, thick upper organic layer, sulfuric
61	45.456099	-123.876042	Estuary	Soft rush, willow, reed canary, slough sedge, spruce, cattail	Mottled, thick upper organic layer, sulfuric
62	45.455969	-123.875993	Estuary	Soft rush, willow, reed canary, slough sedge, spruce, cattail	Mottled, thick upper organic layer, sulfuric
63	45.455758	-123.876134	Estuary	Soft rush, willow, reed canary, slough sedge, spruce, cattail	Mottled, thick upper organic layer, sulfuric
64	45.455695	-123.876206	Estuary	Soft rush, willow, reed canary, slough sedge, spruce, cattail	Mottled, thick upper organic layer, sulfuric
65	45.455521	-123.876336	Estuary	Pacific water parsley, spruce, cattail	Mottled, thick upper organic layer, sulfuric
66	45.455173	-123.877161	ShrubWetland	Willow	10YR chroma 2 value 3
67	45.45508	-123.877201	ShrubWetland	Willow, blackberry	Mottled, low chroma
68	45.455008	-123.877293	ShrubWetland	Willow, blackberry	Mottled, low chroma



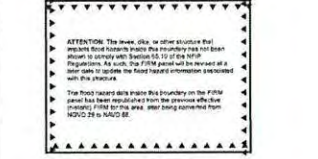
FLOOD HAZARD INFORMATION

SEE THE REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT
THE INFORMATION DEPICTED ON THIS MAP AND SUPPORTING DOCUMENTATION ARE ALSO AVAILABLE IN DIGITAL FORMAT AT [HTTP://MSC.FEMA.GOV](http://MSC.FEMA.GOV)

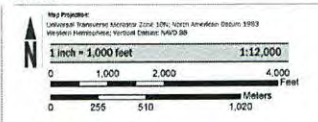
- SPECIAL FLOOD HAZARD AREAS**
 - Without Base Flood Elevation (BFE)
 - With BFE or Depth (Zone AE, AO, AH, VE, AR)
 - Regulatory Floodway
 - 0.2% Annual Chance Flood Hazard, Areas of 1% Annual Chance Flood with average depth less than one foot or with drainage areas of less than one square mile (Zone X)
 - Future Conditions 1% Annual Chance Flood Hazard (Zone X)
 - Area with Reduced Flood Risk due to Levee (See Notes, Zone X)
 - Area with Flood Risk due to Levee (Zone X)
- OTHER AREAS OF FLOOD HAZARD**
 - Area of Minimal Flood Hazard (Zone X)
 - Area of Undetermined Flood Hazard (Zone D)
- OTHER AREAS**
 - Channel, Culvert, or Storm Sewer
 - Levee, Dike, or Floodwall
 - Cross Sections with 1% Annual Chance Water Surface Elevation
 - Coastal Transverse
 - Coastal Transverse Baseline
 - Profile Baseline
 - Hydrographic Feature
 - Base Flood Elevation Line (BFE)
 - Limit of Study
 - Jurisdiction Boundary
 - Seclusion Zone

NOTES TO USERS

For information and questions about this map, available products associated with this FIRM including historic versions of this FIRM, are in order products of the National Flood Insurance Program in general, please refer to the FEMA Map Information Page at FEMA.GOV or MSC.FEMA.GOV. For more information on the FIRM data, please refer to the FEMA Map Information Page at FEMA.GOV or MSC.FEMA.GOV. For more information on the FIRM data, please refer to the FEMA Map Information Page at FEMA.GOV or MSC.FEMA.GOV. For more information on the FIRM data, please refer to the FEMA Map Information Page at FEMA.GOV or MSC.FEMA.GOV.



SCALE



PANEL LOCATOR



National Flood Insurance Program

**NATIONAL FLOOD INSURANCE PROGRAM
 FLOOD INSURANCE RATE MAP**

**TILLAMOOK COUNTY, OREGON
 And Unincorporated Areas**

PANEL 560 of 1075

Community: TILLAMOOK COUNTY
 Number: 410196
 Panel: 0560
 Suffix: F

VERSION NUMBER: 2.3.2.1
 MAP NUMBER: 41057C0560F
 EFFECTIVE DATE: SEPTEMBER 28, 2018

Tillamook River RV Park

T: 1S, R: 10W, Sec 26, Tls 00500 & 02300
85 Third Street Tillamook, OR 97141

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Page 2	System Schematic	Page 7	Tank Details (HT6 & HT7)
Page 3	Site Plan	Page 8	Dump Station Details
Page 4	Tank Details (HT1 & HT2)	Page 9	Sanistar Photos
Page 5	Tank Details (HT3 & HT4)	Page 10	Parts List
		Page 11	Construction Specifications

Project Description

An RV Dump Station and Holding Tank System is proposed for a 59 space RV park and campground. Incoming RVs will dump black and greywater tanks into the holding tank system prior to entering the park or at the RV site in which they occupy. The estimated daily flow is 5,900 gallons per day (59 RVs @ 100 gallons per day). RV waste flows into the system via a hose connection port which unlocks upon payment. Sewage will flow into a series of 2x 3,000-gallon holding tanks (HT6-HT7). HT6 will be equipped with an audible alarm (75% of capacity). When HT7 reaches 91% of the system's capacity, the pay station is disabled, locking the hose connection cap, and preventing further use. Each RV site will be equipped with individual dump hookup with waste flow to an assigned holding tank split between 10 sites (HT1 & HT2) or 13 sites (HT3, HT4, HT5). Onsite restrooms are available for occupants to use and are connected to a separate onsite holding tank system. The manager trailer is connected to a separate existing AX20 wastewater treatment system with a falling drain field. A proposed repair drain field is pending pit approval. A certified licensed pumper will need to be hired prior to permit approval.

ATTENTION: Oregon law requires you to follow rules adopted by the Oregon Utility Notification Center. Those rules are set forth in OAR 952-001-0010 through OAR 952-001-0090. You may obtain copies of the rules by calling the center. (Note: the telephone number for the Oregon Utility Notification Center is (503) 232-1987).

PERMITS TO NOTIFY EXCAVATOR OF REQUIREMENTS OF LAW
952-001-0030 Any entity authorized to issue permits for construction which requires excavation shall include on such permits the language set out in OAR 952-001-0020.

Site and Soils

- Site Sloping 0-2%
- Soil Types per Tillamook County Soil Survey consist primarily of 104A Coquille-Brenner-Nehalem

INSTALLER: _____
LICENSE #: _____

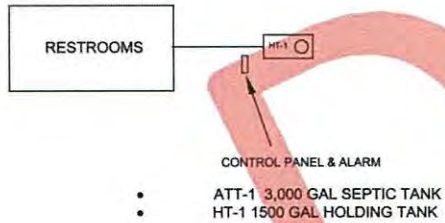
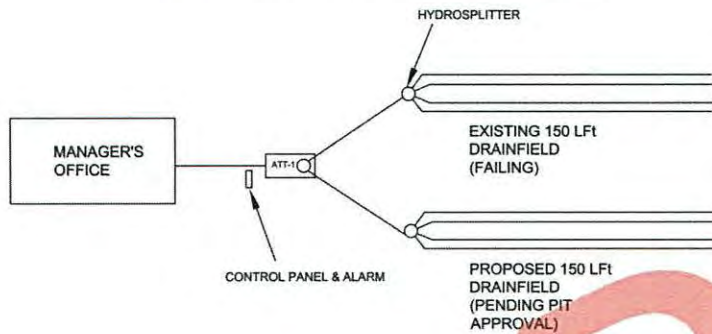
VICINITY MAP



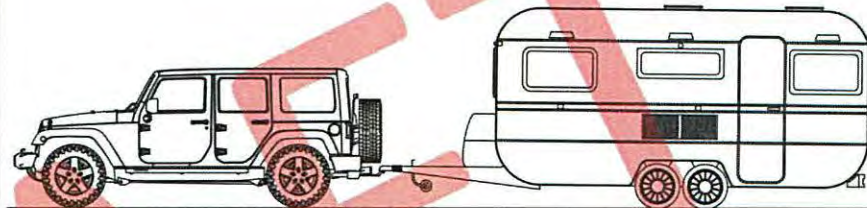
21-0206-01	Tillamook River RV Park	COVER SHEET
5/25/2022	T: 1S, R: 10W, Sec 26, Tls 00500 & 02300	
1 OF 11		
DECODED:	DRAWN:	
<p>EMAS ENVIRONMENTAL MANAGEMENT SYSTEMS, INC. 503-352-9691 400 SE International Way Newberg, OR 97122 www.emasys.com</p>		

85 THIRD ST
TILLAMOOK, OR 97141

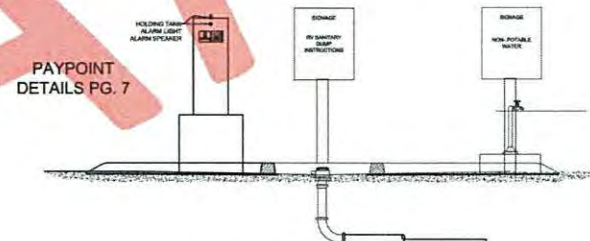
EXISTING SYSTEM AS BUILT SCHEMATIC



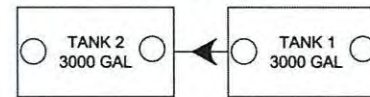
HOLDING TANK FOR CUSTOMERS INITIAL WASTEWATER DUMP



59 EXISTING RV SPOTS
RV HOLDING TANK DUMP
STATION



HOLDING TANKS
PUMPED AS NEEDED



2x 3000 GALLON TANKS
75% LEVEL ALARM -> LIGHT & AUDIBLE
90% SYSTEM ACCESS SHUTDOWN

$$\frac{100\text{Gal}}{\text{Day}} \times 59 \text{ RVs} = \frac{5900\text{Gal}}{\text{Day}} \text{ Peak Flow}$$

21-0206-01
5/25/2022
2 OF 11

Tillamook River RV Park
T: 1S, R: 10W, Sec 26, TLs 00500 & 02300

SCHEMATIC

DESIGNER:
DRAFT

85 THIRD ST
TILLAMOOK, OR 97141

NETARTS HWY

WETLAND

ESTUARY

ESTUARY

WETLAND

TRASK SLOUGH

ESTUARY

ESTUARY

TRASK SLOUGH

MC KINLEY MOORAGE RD

ABANDON IN PLACE
FAILING 150LF
CAPPING FILL
DRAINFIELD

MANAGER TRAILER
AND OFFICE

BOAT LAUNCH

PIED

EXISTING AX20
ATT SYSTEM

3000-GALLON
CONCRETE
TANK #1

NEW REPAIR
150LF CAPPING
FILL
DRAINFIELD
(PENDING PIT
APPROVAL)

3000-GALLON
CONCRETE
TANK #2

PARKING

EXISTING RESTROOM

EXISTING 1500 GAL
CONCRETE TANK

3000-GALLON
CONCRETE
TANK #3

3000-GALLON
CONCRETE
TANK #4

3000-GALLON
CONCRETE
TANK #5

(2) 3000-GALLON CONCRETE TANKS
WITH INTERTIE AT 15-INCHES

PAY STATION

3000-GALLON
CONCRETE
TANK #3



0 40 80
SCALE 1" = 80'

THIS DOCUMENT IS NOT A
SURVEY. LOCATIONS OF SITE
FEATURES ARE APPROXIMATE.

IF THIS BAR DOES NOT MEASURE 1"
THEN DRAWING IS NOT TO SCALE



21-0206-01

5/25/2022

3 OF 11

Tillamook River RV Park

T: 1S, R: 10W, Sec 26, Tls 00500 & 02300

SITE PLAN

CHECKED:

DRAWN:



400 SE International Way
Salem, OR 97302
www.emsmgmt.com

ENVIRONMENTAL
MANAGEMENT SYSTEMS, INC.

503.535.9851
503.736.1199

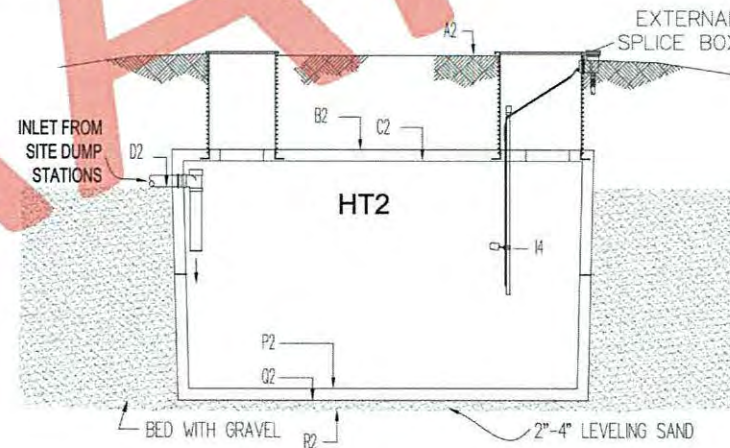
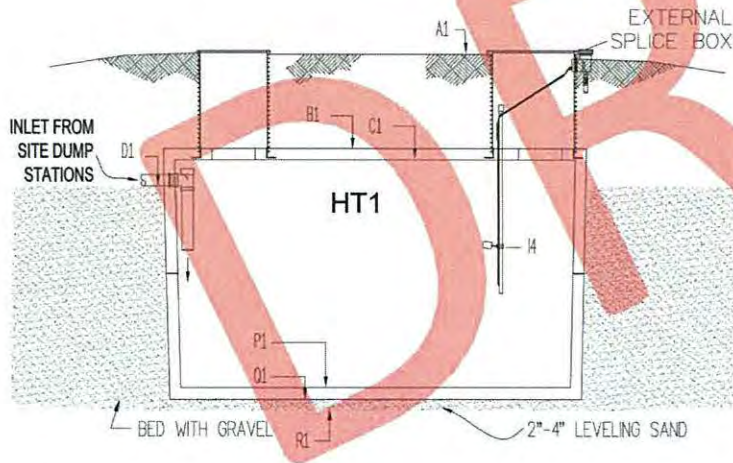
85 THIRD ST
TILLAMOOK, OR 97141

Holding Tank (HT1)

Letter	Component	Elevation from Tank Floor (Inches)	Elevation from Tank Top (Inches)	Estimated Elevation from TBM (feet)
A1	Ground Surface	126.0	42.0	102.50
B1	Top of Tank	84	0.0	99.00
C1	Ceiling of Tank	80.0	-4.0	100.17
D1	Inlet Invert	74.0	-10	99.67
E1	RSV Manifold	na	na	na
F1	RSV Stinger Seat	na	na	na
G1	Outlet Invert	na	na	na
H1	Outlet Opening	na	na	na
I1	Alarm (HWA)	na	na	na
J1	Pump On	na	na	na
K1	Pump Off	na	na	na
L1	na	na	na	na
M1	Redundant Off	na	na	na
N1	Vault Inlet Holes	na	na	na
O1	Pump Intake	na	na	na
P1	Floor of Tank	0.0	-84.0	93.50
Q1	Bottom of Tank	-4.0	-88.0	93.17
R1	Excavation	-8.0	-92.0	92.83

Holding Tank (HT2)

Letter	Component	Elevation from Tank Floor (Inches)	Elevation from Tank Top (Inches)	Estimated Elevation from TBM (feet)
A2	Ground Surface	124.0	40.0	102.50
B2	Top of Tank	84	0.0	99.17
C2	Ceiling of Tank	80.0	-4.0	100.17
D2	Inlet Invert	74.0	-10	99.67
E2	RSV Manifold	na	na	na
F2	RSV Stinger Seat	na	na	na
G2	Outlet Invert	na	na	na
H2	Outlet Opening	na	na	na
I2	Alarm (HWA)	na	na	na
J2	Pump On	na	na	na
K2	Pump Off	na	na	na
L2	na	na	na	na
M2	Redundant Off	na	na	na
N2	Vault Inlet Holes	na	na	na
O2	Pump Intake	na	na	na
P2	Floor of Tank	0.0	-84.0	93.50
Q2	Bottom of Tank	-4.0	-88.0	93.17
R2	Excavation	-8.0	-92.0	92.83



ALL RISERS 24" PVC W/ FIBERGLASS LID, S.S. BOLTS AND URETHANE GASKET (BONDED TO TANK ADAPTER W/ADHESIVE)

WILLAMETTE GRAYSTONE 3000-GAL HOLDING TANKS HT1 - HT2

21-0206-01

5/25/2022

4 OF 11

Tillamook River RV Park

T: 1S, R: 10W, Sec 26, Tls 00500 & 02300

TANK DETAILS (HT1 & HT2)

CHECKED: DOWN

EMS
ENVIRONMENTAL MANAGEMENT SYSTEMS, INC.
400 SE International Way
Tillamook, OR 97141
503-235-1100
www.emsmgmt.com

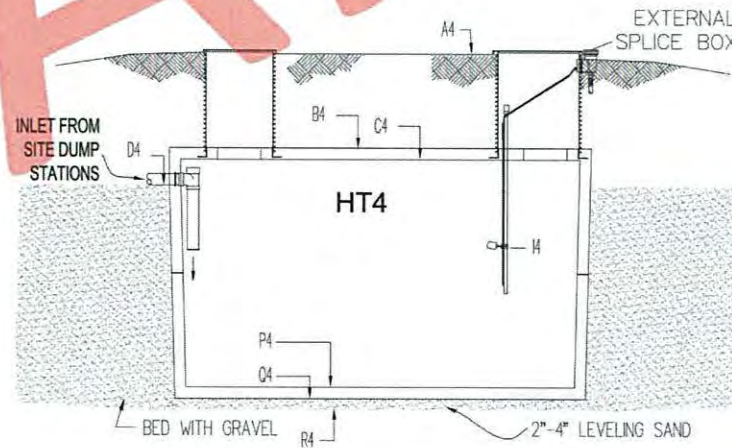
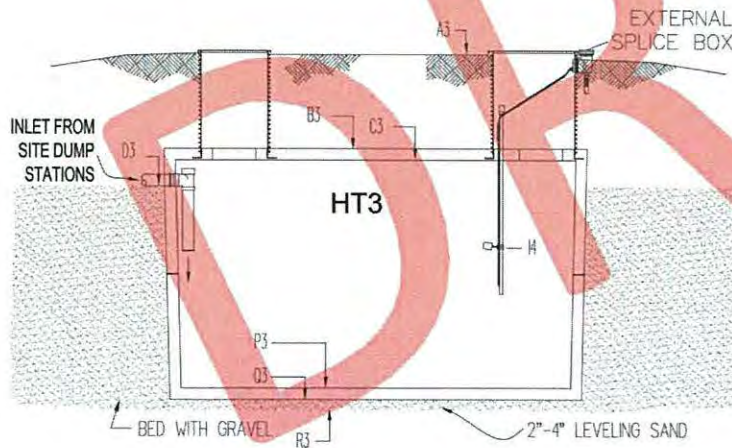
85 THIRD ST
TILLAMOOK, OR 97141

Holding Tank (HT3)

Letter	Component	Elevation from Tank Floor (Inches)	Elevation from Tank Top (Inches)	Estimated Elevation from TBM (feet)
A3	Ground Surface	124.0	40.0	102.50
B3	Top of Tank	84	0.0	99.17
C3	Ceiling of Tank	80.0	-4.0	100.17
D3	Inlet Invert	74.0	-10	99.67
E3	RSV Manifold	na	na	na
F3	RSV Stinger Seat	na	na	na
G3	Outlet Invert	na	na	na
H3	Outlet Opening	na	na	na
I3	Alarm (HWA)	na	na	na
J3	Pump On	na	na	na
K3	Pump Off	na	na	na
L3	na	na	na	na
M3	Redundant Off	na	na	na
N3	Vault Inlet Holes	na	na	na
O3	Pump Intake	na	na	na
P3	Floor of Tank	0.0	-84.0	93.50
Q3	Bottom of Tank	-4.0	-88.0	93.17
R3	Excavation	-8.0	-92.0	92.83

Holding Tank (HT4)

Letter	Component	Elevation from Tank Floor (Inches)	Elevation from Tank Top (Inches)	Estimated Elevation from TBM (feet)
A4	Ground Surface	126.0	42.0	102.50
B4	Top of Tank	84	0.0	99.00
C4	Ceiling of Tank	80.0	-4.0	100.17
D4	Inlet Invert	74.0	-10	99.67
E4	RSV Manifold	na	na	na
F4	RSV Stinger Seat	na	na	na
G4	Outlet Invert	na	na	na
H4	Outlet Opening	na	na	na
I4	Alarm (HWA)	na	na	na
J4	Pump On	na	na	na
K4	Pump Off	na	na	na
L4	na	na	na	na
M4	Redundant Off	na	na	na
N4	Vault Inlet Holes	na	na	na
O4	Pump Intake	na	na	na
P4	Floor of Tank	0.0	-84.0	93.50
Q4	Bottom of Tank	-4.0	-88.0	93.17
R4	Excavation	-8.0	-92.0	92.83



ALL RISERS 24" PVC W/ FIBERGLASS LID, S.S. BOLTS AND URETHANE GASKET (BONDED TO TANK ADAPTER W/ADHESIVE)

WILLAMETTE GRAYSTONE 3000-GAL HOLDING TANKS HT3 - HT4

21-0206-01

5/25/2022

5 OF 11

Tillamook River RV Park

T: 1S, R: 10W, Sec 26, Tls 00500 & 02300

TANK DETAILS (HT3 & HT4)

CREATED:

DP/INK



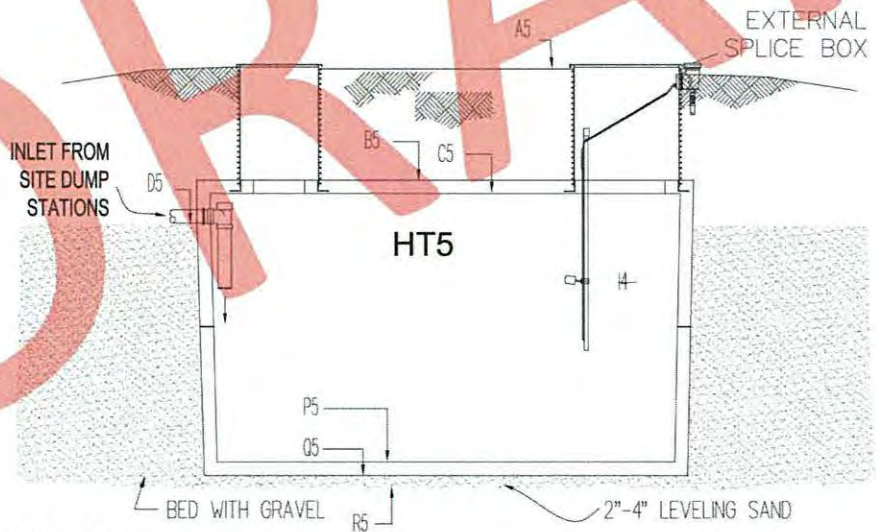
430 SE International Way
Salem, OR 97302
www.emsgrays.com

ENVIRONMENTAL
MANAGEMENT SYSTEMS, INC.

503.585.6691
503.735.1100

85 THIRD ST
TILLAMOOK, OR 97141

Holding Tank (HT5)				
Letter	Component	Elevation from Tank Floor (Inches)	Elevation from Tank Top (Inches)	Estimated Elevation from TBM (feet)
A5	Ground Surface	125.0	41.0	102.50
B5	Top of Tank	84	0.0	99.08
C5	Ceiling of Tank	80.0	-4.0	100.17
D5	Inlet Invert	74.0	-10	99.67
E5	RSV Manifold	na	na	na
F5	RSV Stinger Seat	na	na	na
G5	Outlet Invert	na	na	na
H5	Outlet Opening	na	na	na
I5	Alarm (HWA)	na	na	na
J5	Pump On	na	na	na
K5	Pump Off	na	na	na
L5	na	na	na	na
M5	Redundant Off	na	na	na
N5	Vault Inlet Holes	na	na	na
O5	Pump Intake	na	na	na
P5	Floor of Tank	0.0	-84.0	93.50
Q5	Bottom of Tank	-4.0	-88.0	93.17
R5	Excavation	-8.0	-92.0	92.83



ALL RISERS 24" PVC W/ FIBERGLASS LID, S.S. BOLTS AND URETHANE GASKET (BONDED TO TANK ADAPTER W/ADHESIVE)

WILLAMETTE GRAYSTONE 3000-GAL HOLDING TANK HT5

21-0206-01	Tillamook River RV Park	CHECKED:
5/25/2022	T: 1S, R: 10W, Sec 26, TLs 00500 & 02300	DRAWN:
6 OF 11	TANK DETAILS (H5)	490 SE International Way Tillamook, OR 97122 www.emsengr.com
EMS ENVIRONMENTAL MANAGEMENT SYSTEMS, INC.		

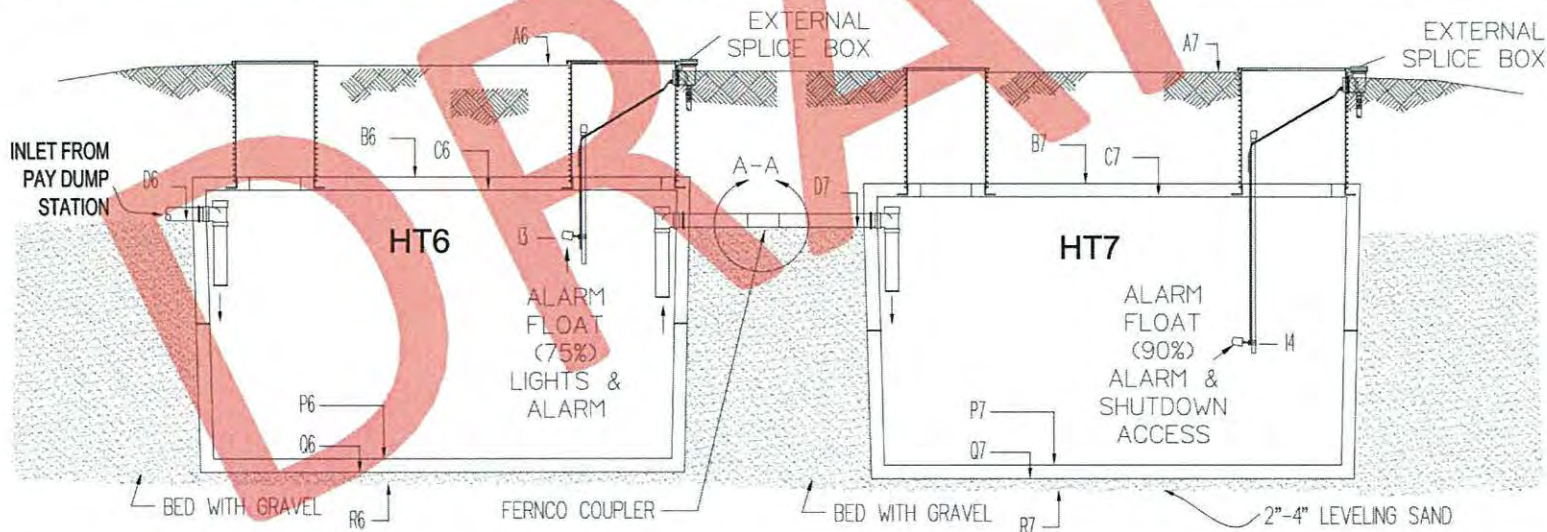
85 THIRD ST
TILLAMOOK, OR 97141

Holding Tank (HT6)

Letter	Component	Elevation from Tank Floor (Inches)	Elevation from Tank Top (Inches)	Estimated Elevation from TBM (feet)
A6	Ground Surface	108.0	24.0	102.50
B6	Top of Tank	84	0.0	100.50
C6	Ceiling of Tank	80.0	-4.0	100.17
D6	Inlet Invert	74.0	-10	99.67
E6	RSV Manifold	na	na	na
F6	RSV Stinger Seat	na	na	na
G6	Outlet Invert	na	na	na
H6	Outlet Opening	na	na	na
I6	Alarm (HWA)	na	na	na
J6	Pump On	na	na	na
K6	Pump Off	na	na	na
L6	na	na	na	na
M6	Redundant Off	na	na	na
N6	Vault Inlet Holes	na	na	na
O6	Pump Intake	na	na	na
P6	Floor of Tank	0.0	-84.0	93.50
Q6	Bottom of Tank	-4.0	-88.0	93.17
R6	Excavation	-8.0	-92.0	92.83

Holding Tank (HT7)

Letter	Component	Elevation from Tank Floor (Inches)	Elevation from Tank Top (Inches)	Estimated Elevation from TBM (feet)
A7	Ground Surface	112.0	28.0	102.50
B7	Top of Tank	84	0.0	100.17
C7	Ceiling of Tank	80.0	-4.0	100.17
D7	Inlet Invert	74.0	-10	99.67
E7	RSV Manifold	na	na	na
F7	RSV Stinger Seat	na	na	na
G7	Outlet Invert	na	na	na
H7	Outlet Opening	na	na	na
I7	Alarm (HWA)	na	na	na
J7	Pump On	na	na	na
K7	Pump Off	na	na	na
L7	na	na	na	na
M7	Redundant Off	na	na	na
N7	Vault Inlet Holes	na	na	na
O7	Pump Intake	na	na	na
P7	Floor of Tank	0.0	-84.0	93.50
Q7	Bottom of Tank	-4.0	-88.0	93.17
R7	Excavation	-8.0	-92.0	92.83



WILLAMETTE GRAYSTONE 3000-GAL HOLDING TANKS HT6 - HT7

ALL RISERS 24" PVC W/ FIBERGLASS LID, S.S. BOLTS AND URETHANE GASKET (BONDED TO TANK ADAPTER W/ADHESIVE)

21-0206-01

5/25/2022

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Tillamook River RV Park

T: 1S, R: 10W, Sec 26, Tls 00500 & 02300

TANK DETAILS (HT6 & HT7)

DESIGNED:

DRINK

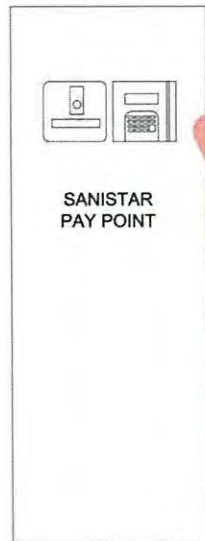
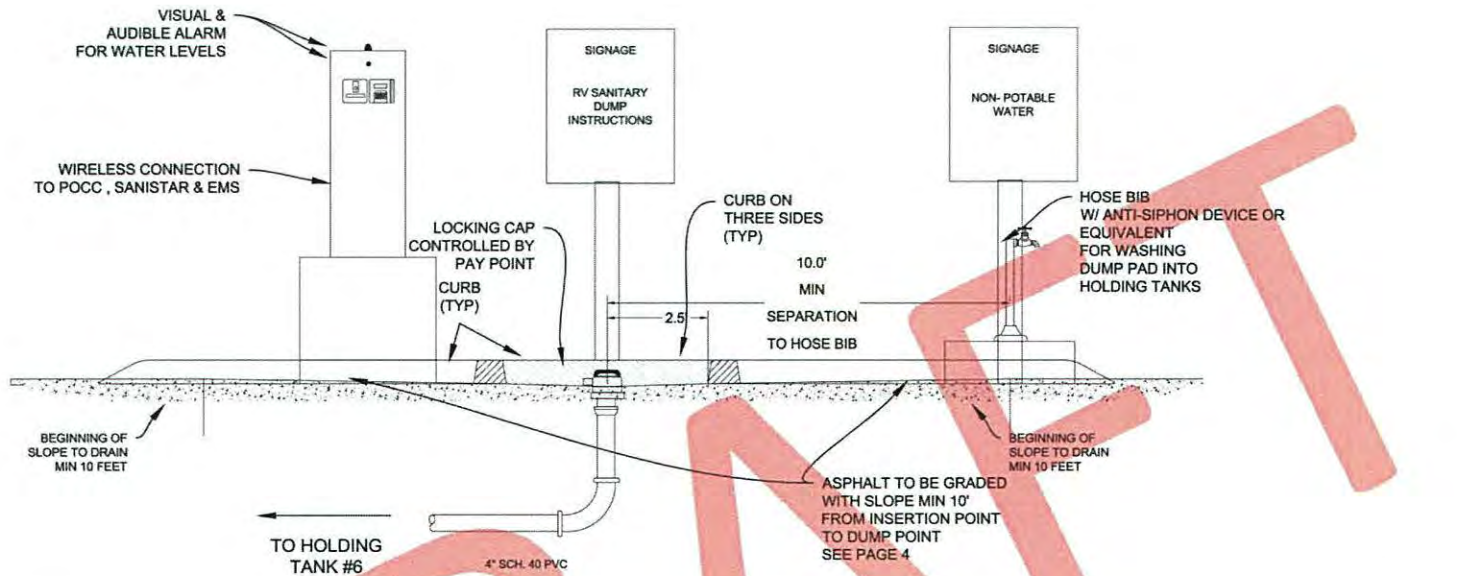


400 SE International Way
Tillamook, OR 97141

503-532-8991
www.emsgrps.com

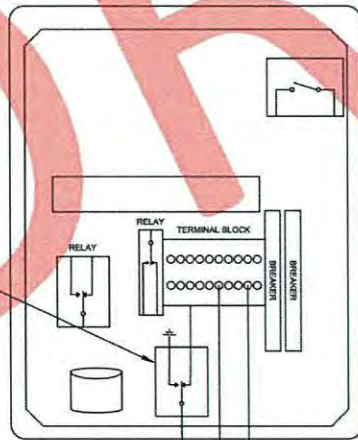
ENVIRONMENTAL
MANAGEMENT SYSTEMS, INC.

85 THIRD ST
TILLAMOOK, OR 97141



SANISTAR
PAY POINT

HOLDING TANK ALARM PANEL



WHEN 90% FLOAT IS DOWN
POWER FLOWS TO PAY STATION

WHEN 90% FLOAT IS UP
POWER IS DISCONNECTED FROM
PAY STATION SHUTTING DOWN
ACCESS.

110v Power In

110v POWER OUT TO PAY STATION

FLOAT NORMALLY OPEN

EXTERNAL
SPLICE BOX



ALARM
(T) FLOAT
(NORMALLY CLOSED)
(90%) ALARM & SHUTDOWN
ACCESS

21-0206-01

5/25/2022

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Tillamook River RV Park

T: 1S, R: 10W, Sec 26, Tls 00500 & 02300

DUMP STATION DETAILS

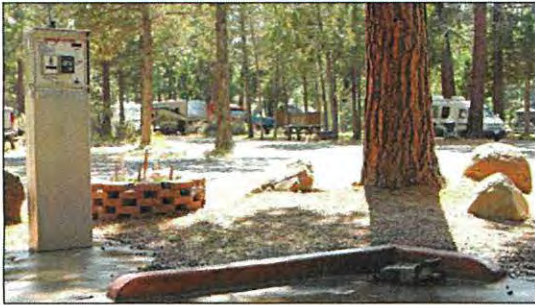
CHECKED:

DRW:



503-353-0681
360-735-1108
www.emsmgmt.com
420 SE International Way
Suite B112
Tillamook, OR 97122

85 THIRD ST
TILLAMOOK, OR 97141



Typical Sanistar paystation location



Paystation Close-up. Typical National Rates
\$10-\$25 per dump



Typical pedestal location

Site protected from traffic with curbs



Sanistar paystation with RV
Site protected from traffic with curbs




Foot operated access port
Unlocked by paystation



Pay station with water
hose and electrical
outlet



21-0206-01	Tillamook River RV Park	9 OF 11
5/25/2022	T: 1S, R: 10W, Sec 26, TLs 00500 & 02300	
	SANISTAR PHOTOS	
CHECKER	DESIGN	
 <p>4300 SE International Way Tillamook, OR 97141 www.emsenv.com</p> <p>ENVIRONMENTAL MANAGEMENT SYSTEMS, INC.</p>		

85 THIRD ST
TILLAMOOK, OR 97141

PRELIMINARY GUIDANCE LIST ONLY
 All items to be reviewed by designer & installer prior to ordering
 All part substitutions must be pre-approved by designer.
 Major component & tank substitutions require additional design time.

Qty	Product ID	Description
TANKS		
7	Wilamette Graystone 3000 Gallon Holding Tank	3000 Gallon Concrete Septic Tank for tanks HT1-HT7
1750	4" Schedule 40 PVC or greater	Piping from both sides of Dump Receptacles to each individual HT
1	MF1B-21FS	21" Float tree for HT6
7	MF1T-37FS	37" Float tree for HT1-HT5, HT7
1	GR2424 / FL24G	GRADE RING/ RISER LID
1	GR2428 / FL24G	GRADE RING/ RISER LID
2	GR2440 / FL24G	GRADE RING/ RISER LID
3	GR2442 / FL24G	GRADE RING/ RISER LID
1	GR3024 / FL30G	GRADE RING/ RISER LID
1	GR3028 / FL30G	GRADE RING/ RISER LID
2	GR3040 / FL30G	GRADE RING/ RISER LID
3	GR3042 / FL30G	GRADE RING/ RISER LID
7	SBEX2	EXTERNAL SPLICE BOX
ALARM SYSTEM		
7	AMLAHW	VISUAL & AUDIBLE LIQUID LEVEL ALARM PANEL HT1-HT5, HT7 W/ VISUAL & AUDIBLE W/ SHUTOFF HT6 VISUAL & AUDIBLE ONLY
PAYPOINT SYSTEM		
1	CONTACT SANISTAR OR SIMILAR SYSTEM	Control system for dump station.

Component	Holding Tank 1	Holding Tank 2	Holding Tank 3	Holding Tank 4	Holding Tank 5	Holding Tank 6	Holding Tank 7
Size	3000Gal	3000Gal	3000Gal	3000Gal	3000Gal	3000Gal	3000Gal
Manufacturer	WG	WG	WG	WG	WG	WG	WG
Material	Concrete	Concrete	Concrete	Concrete	Concrete	Concrete	Concrete
Access	Riser Lid	Riser Lid	Riser Lid	Riser Lid	Riser Lid	Riser Lid	Riser Lid
<i>Maintenance</i>							
Event Counter	As Needed	As Needed	As Needed	As Needed	As Needed	As Needed	As Needed
Moisture/Odors	Monthly	Monthly	Monthly	Monthly	Monthly	Monthly	Monthly
Alarms	As Needed	As Needed	As Needed	As Needed	As Needed	As Needed	As Needed
Alarm Noise	Hi/Lo	Hi/Lo	Hi/Lo	Hi/Lo	Hi/Lo	Hi	Hi
Scum, Sludge, Solids	As Needed	As Needed	As Needed	As Needed	As Needed	As Needed	As Needed
Gallons / Inch	43.3	43.3	43.3	43.3	43.3	43.3	43.3
Effluent Sampling	When Pumped	When Pumped	When Pumped	When Pumped	When Pumped	When Pumped	When Pumped

Key: Tanks: W=Waite, WG=Willamette Greystone, M=Michaels, D=D&K,
 X = Xerxes, CSI = Containment Solutions, Inc.
 Material: PVC=Polyvinyl Chloride, FG=Fiberglass
 OSI=Orenco Systems Inc.

Tillamook River RV Park

T: 1S, R: 10W, Sec 26, T1s 00500 & 02300

PARTS LIST

21-0206-01
5/25/2022
10 OF 11

CREATED: D:\AWK


EMS
 ENVIRONMENTAL
 MANAGEMENT SYSTEMS, INC.
 455 S.W. 9th St
 970-735-1100
 www.emsenv.com
 400 SE International Way
 Suite 8113
 Milwaukie, OR 97222

85 THIRD ST
TILLAMOOK, OR 97141

CHECK OFF	
	GENERAL STANDARDS
	ATTENTION: Oregon law requires you to follow rules adopted by the Oregon Utility Notification Center. Those rules are set forth in OAR 952-001-0010 through OAR 952-001-0090. You may obtain copies of the rules by calling the center. (Note: the telephone number for the Oregon Utility Notification Center is (503) 232-1987).
	All work and material shall conform with OAR 340 Div. 71 & 73 approved design permit, and appropriate laws. Permits relating (but not limited) to plumbing, electrical, and grading must be coordinated with the on-site system installer and designer.
	Minor modifications to accommodate stumps, boulders or other unforeseen obstacles may be needed. Major modification cannot be performed without re-design and regulatory approval.
	If the installation contractor (installer) notes any conflicts with applicable State and/or local laws, rules or requirements, he shall request a clarification before ordering or installing affected materials or work. This may include and is not limited to such factors as: land-use regulations, grading ordinances, erosion control districts, hauling limits, typographical errors, etc. Noreimbursement to the Contractor will be provided for unauthorized work.
	Installer is to obtain copies of all necessary permits, authorizations, licenses etc. prior to initiating construction, including that specialty design work designated to a subcontractor which is directly or indirectly related to the system construction, design, delivery, or installation.
	Installer shall request and obtain utility locates by a qualified service for all potential underground utilities before excavation work commences.
	Installer shall maintain any and all survey monuments, which are affected by work and activities, related to the projects. Monuments, if damaged by the installer, shall be reset by a licensed surveyor at the installer's expense.
	All materials and equipment shall be of the type, model and brand listed for the manufacturers specified, unless otherwise authorized by the system designer. Substitution of materials and equipment shall receive pre-authorization and the contractor/installer will be responsible for providing performance and operating data.
	Installer shall prepare, maintain and provide, at completion of the project, drawings detailing the construction "as-built" and shall provide the owner & designer with the manufacturer's current specification and operating data on all equipment installed prior to final payment to the installer.
	TANK (S)
	Seal all joints and seams with manufacturer-approved sealants. Provide material submittal, and all means and methods for tank and accessory testing.
	Odor proof: Seal riser lid to contact with closed cell plastic foam sheet, or single-side adhesive neoprene foam tape.
	Risers: Tanks must be equipped with one piece watertight risers, with minimum 30" inside diameter, with tank access brought to 3" above finish grade. Joints must be sealed interior and exterior, and pressure tested per plans. (See attached "Tank Inspection and Testing" notes)
	Riser: Tank must be equipped with a watertight riser, with minimum 18" inside diameter, with tank access brought to or above finish grade. Riser must be fiberglass bonded to tank adapter w/ adhesive.
	Knockouts: Perforations and unused knockouts must be grouted or otherwise sealed.
	Watertight: After installation, Tank must be subject to 24 hour test for watertightness. Fill to a maximum 2" into riser. Mark water level, time and date. There may be no more than 1 gallon leakage over 24 hour period.
	THE ABOVE SPECIFICATIONS ARE IN ADDITION TO AND DO NOT REPLACE THE MANUFACTURERS WRITTEN INSTALLATION AND TESTING PROCEDURE REQUIREMENTS.
	Anti-buoyancy: Provide for anti-buoyancy, per manufacturer's installation instructions. Provide copy of instructions to permitting authority.

ELECTRICAL COMPONENTS
Wiring of pumps and controls shall be performed by a licensed electrician under the auspices of an electrical permit secured from the local jurisdiction. For details of electrical system, pump controls, floats, and the level of the float settings see the manufacturer's instructions and approved design.
Splicing of wires at the splice box inside the tank risers shall be done using the heat shrink connectors provided by the manufacturer or with an approved watertight electrical connector nut.
Wiring from the splice box to the source or the control panel shall be protected in UL approved PVC conduit, constructed watertight. Pump line voltage shall have water proof insulation such as THW, THWN, or HWY. Wire for all connections shall be 14 gauge wire or larger.
"Seal offs" shall be installed between the splice box and the power source or control panel, either in the horizontal just outside the riser or in the vertical just below the control panel or per connection. "Seal offs" shall be installed per manufacturer's written recommendations and shall be equal to or better than the following: Appletan EYF seal off box, PVC terminal adapters (threaded), Kilark sealing compound, Kilark packing fiber.
Wiring shall be color coded or numbered and the schedule written inside the control panel or on the wiring diagram.
Upon completion, the apparatus shall be tested for operation and correctness. Available voltage, pump run voltage and pump run amperage shall be measured and recorded inside the control panel.
The wiring diagram shall be retained on site (preferably in control panel enclosure) and any as-built notes or comments entered, initialed, and dated.
CONTROL PANEL (S)
The electrician shall label the control panel or electrical panel with his business name and the permit number and date of installation.
Control panel shall be installed per manufacturer's written instructions; alarm shall be audible from the living working space. Pump and alarm must be on separate circuits.
Panel shall be in accordance with NEMA 4X rating. Panel enclosure shall meet NEMA 4X requirements.
Panel shall be installed within 50' of tank and preferably within sight of the tank.
OTHER
Abandon Tank: Existing septic tank must be pumped and filled with rock or removed in accordance with County and State of Oregon requirements. Submit certificate of abandonment and pump receipt.
Setbacks: Maintain required setbacks
Initial and Reserve drainfield areas and system components to be protected with construction fencing, bollards, or other devices before, during, and after septic system installation.
COLLECTION SYSTEM
Contractor to obtain plumbing permit.
Do not use the plumbing system for disposal of non-biodegradable and/or toxic materials such as paints, thinners, gasoline, motor oil, drain cleaners, or other harsh chemicals.
Do not use the plumbing system for disposal of cooking grease, diapers, sanitary napkins, rags, cigarette butts, rubber or plastic products
Water softener backwash, storm or ground water sources, floor drains not to be connected to the septic system.
DISTRIBUTION AND TRANSPORT LINES
Road crossing: Sleeve transport pipe in Sch. 40 PVC, installed a minimum of 18" below grade, and bedded in ¾" minus to the surface.
Road/Driveway crossing: Use Sch. 40 or Sch. 80 PVC, installed a minimum of 24" below grade, and bedded in ¾" minus to the surface.
Trace wire: Provide an electrically continuous 18 gauge, green-jacketed copper wire in trench, above the pipe, for the full length of all pressure or gravity transport lines, accessible at the source and.

21-0206-01	Tillamook River RV Park	T: 1S, R: 10W, Sec 26, Tls 00500 & 02300	CONSTRUCTION SPECIFICATIONS
5/25/2022			
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CHECKED:  ENVIRONMENTAL MANAGEMENT SYSTEMS, INC.
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