



1510 - B Third Street
Tillamook, Oregon 97141
www.tillamook.or.us

Building (503) 842-3407
Planning (503) 842-3408
On-Site Sanitation (503) 842-3409
FAX (503) 842-1819
Toll Free 1 (800) 488-8280

Land of Cheese, Trees and Ocean Breeze

CONDITIONAL USE REQUEST #851-23-000001-PLNG: CHESTERS REAL ESTATE, LLC
NOTICE TO MORTGAGEE, LIENHOLDER, VENDOR OR SELLER:
ORS 215 REQUIRES THAT IF YOU RECEIVE THIS NOTICE,
IT MUST BE PROMPTLY FORWARDED TO THE PURCHASER

June 2, 2023

Dear Property Owner:

This is to confirm that the Tillamook County Department of Community Development **APPROVED WITH CONDITIONS** the above-cited request on June 2, 2023. A copy of the application, along with a map of the request area and the applicable criteria for review are available for inspection at the Department of Community Development office located at 1510-B Third Street, Tillamook, Oregon 97141 and can be found on the Community Development website: <https://www.co.tillamook.or.us/commdev/landuseapps>.

Appeal of this decision. This decision may be appealed to the Tillamook County Planning Commission, who will hold a public hearing. Forms and fees must be filed in the office of this Department before 4:00pm on June 14, 2023. This decision will become final on June 14, 2023, after 4:00pm unless an appeal is filed in accordance with Tillamook County Land Use Ordinance Article X.

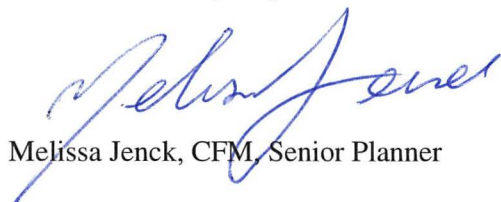
- Request:** A Conditional Use request to establish a warehouse operation for Chester’s Grocery Store.
- Location:** Located within the Unincorporated Community of Pacific City at 6405 Shade Street, a County road, and designated as Tax Lot 3500 in Section 19CD of Township 4 South, Range 10 West of the Willamette Meridian, Tillamook County, Oregon.
- Zone:** Pacific City/Woods Commercial One (PCW-C1) zone
- Applicant:** Ian Spath, PO Box 1087, Pacific City, OR 97135
- Property Owner:** Chesters Real Estate, LLC, 429 W Main Street, John Day, OR 97845

CONDITIONS OF APPROVAL:

Sections 6.070: COMPLIANCE WITH CONDITIONS, and 6.080: TIME LIMIT requires compliance with approved plans and conditions of this decision, and all other ordinance provisions. Failure to comply with the Conditions of Approval and ordinance provisions could result in nullification of this approval.

1. The applicant/property owner shall obtain all Federal, State, and Local permits, as applicable.
2. The applicant/property owner shall adhere to applicable development standards in TCLUO Section 3.337: Pacific City/Woods Commercial One (PCW-C1) zone.
3. A copy of the approved site plan, illustrating the proposed development and required parking/loading areas, shall be provided at the time of consolidated zoning/building permit submittal. Applicant/property owner shall adhere to the requirements of TCLUO 4.030, 'Off-Street Parking & Off-Street Loading Requirements' and TCLUO Section 4.010, 'Clear Vision Area'.
4. Development of the property shall adhere to the applicable development standards outlined in TCLUO Section 3.510: Flood Hazard Overlay. Development shall adhere to the requirements and Conditions of Approval maintained in Permit #851-23-000002-PLNG.
5. The applicant shall submit a fire letter from the Nestucca Rural Fire Protection District to the Department at the time of consolidated zoning/building permit submittal.
6. The applicant shall submit a road approach permit from the Tillamook County Public Works Department to this Department at time of consolidated zoning/building permit submittal.
7. The applicant shall submit a water/sewer service letter from the Pacific City Joint Sewer Water Authority to this Department at time of consolidated zoning/building permit submittal.
8. This approval shall be void on June 2, 2025, unless implementation of approved plans has begun, or an extension is requested from, and approved by this Department.

Sincerely,
Tillamook County Department of Community Development



Melissa Jenck, CFM, Senior Planner

Sarah Absher, CFM, Director

Enclosed: Vicinity & Zoning Maps

1510 – B Third Street
Tillamook, Oregon 97141
www.tillamook.or.us



Land of Cheese, Trees and Ocean Breeze

Building (503) 842-3407
Planning (503) 842-3408
On-Site Sanitation (503) 842-3409
FAX (503) 842-1819
Toll Free 1 (800) 488-8280

**CONDITIONAL USE REQUEST #851-23-000001-PLNG: CHESTERS REAL ESTATE, LLC
ADMINISTRATIVE DECISION & STAFF REPORT**

Decision Date: June 2, 2023

**Decision: APPROVED WITH CONDITIONS
(This is not Building or Placement Permit Approval)**

Report Prepared by: Melissa Jenck, CFM, Senior Planner

I. GENERAL INFORMATION:

Request: A Conditional Use request to establish a warehouse operation for Chester’s Grocery Store.

Location: Located within the Unincorporated Community of Pacific City at 6405 Shade Street, a County road, and designated as Tax Lot 3500 in Section 19CD of Township 4 South, Range 10 West of the Willamette Meridian, Tillamook County, Oregon.

Zone: Pacific City/Woods Commercial One (PCW-C1) zone

Applicant: Ian Spath, PO Box 1087, Pacific City, OR 97135

Property Owner: Chesters Real Estate, LLC, 429 W Main Street, John Day, OR 97845

Property Description: The subject property is 5,000-square feet, currently vacant and rectangular in shape. Property is accessed via Shade Street, a County road, flat in topography and cleared of vegetation, with gravel across the property and screened perimeter fencing along the east, west and southerly boundaries. County records indicate the subject property was previously improved with structures demolished in 2022 (Exhibit A).

The subject property is bordered by Pacific City/Woods Commercial One (PCW-C1) zoned properties to the north, south, and east, generally improved with a grocery store, retail stores, a restaurant, dwellings or vacant. Pacific City/Woods High Density Residential (PCW-R3) zoned properties are located to the east and are generally improved with residences (Exhibit A).

The subject property does not contain wetlands and is located approximately 200-feet east of the Nestucca River (Exhibit A). The property is not located within an area of geologic hazard. A portion of the property is located within the 'AE' zoned area of special flood hazard per FEMA Firm #41057C0855F dated September 28, 2018 (Exhibit A).

II. APPLICABLE ORDINANCE AND COMPREHENSIVE PLAN PROVISIONS:

The desired use is governed through the following Sections of the Tillamook County Land Use Ordinance (TCLUO). The suitability of the proposed use, in light of these criteria, is discussed in Section III of this report:

- A. TCLUO Section 3.337: Pacific City/Woods Commercial One (PCW-C1) Zone
- B. TCLUO Section 4.010: Clear-Vision Areas
- C. TCLUO Section 4.030: Off-Street Parking and Off-Street Loading Requirements
- D. TCLUO Section 3.510: Flood Hazard (FH) Overlay
- E. Article VI: Conditional Use Procedures and Criteria

III. ANALYSIS:

A. TCLUO Section 3.337: Pacific City/Woods Commercial One (PCW-C1) Zone

1. **Section 3.337 (3)(d)** lists warehousing as a use permitted conditionally in the PCW-C1 Zone subject to the provisions of Article 6 and the requirements of all other applicable supplementary regulations contained in this Ordinance. **Section 3.337(4)(a)** states commercial uses shall not occur in a building exceeding 8,000 square feet.

Findings: Applicants site plan includes a 76-foot by 40-foot (3,040-sq.ft.) proposed warehouse building. Staff finds that conditional use approval is required for the construction of a warehouse structure in the PCW-C1 zone.

B. TCLUO Section 4.010: Clear-Vision Areas

(1) PURPOSE: The purpose of a CLEAR-VISION AREA is to ensure safe sight distance for drivers approaching street intersections.

(2) A CLEAR-VISION AREA shall be maintained on the corners of all properties located at the intersection of two streets or private ways or a street or private way and a railroad.

(3) A CLEAR-VISION AREA is a triangular area consisting of two equidistant sides which are lot lines measured from the point of intersection of the lot lines abutting streets; or, where the lot lines have rounded corners, such lines extended straight to their point of intersection, and then so measured; and a line joining the two non-intersecting ends at a distance from their intersection specified in Subsection (5) below.

(4) A CLEAR-VISION AREA shall contain no planting, fence, wall, structure, parked cars, or other temporary or permanent obstructions exceeding thirty inches in height, measured from the top of the highest curb in the CLEAR-VISION AREA or, where no curb exists, from the highest established street center line grade adjacent to the CLEAR-VISION AREA. Trees exceeding this height may be located in this height may be located in this area, provided that all branches and foliage are removed to a height of eight feet above the specified grade.

(5) The following measurements shall establish CLEAR-VISION AREAS:

...

(b) In all other zones, the minimum distance shall be 15 feet or, at intersections including an alley, 10 feet. When the angle of intersection between streets is 30 degrees or less, the distance shall be 25 feet.

Findings: The subject property is a corner lot, located at the intersection of Shade Street and Second Street, both County roads (Exhibit A & B). Applicants' submittal includes a site plan demonstrating the location of a proposed warehouse structure, along with parking/loading spaces within the subject property (Exhibit B).

Staff find the Applicant's site plan adequately demonstrates compliance with TCLUO Section 4.010, maintaining the appropriate distances and proposed development within the Clear-Vision Area. Staff will require a Condition of Approval, maintaining compliance with TCLUO Section 4.010 at time of zoning/building permit submittal.

C. TCLUO Section 4.030: Off-Street Parking and Off-Street Loading Requirements

The purpose of requirements for off-street parking and loading areas is to relieve traffic congestion; to ensure customer convenience and safety; to provide safe access to parked vehicles; and to help ensure safe and timely response of emergency vehicles.

Findings: A warehouse use is required to provide one (1) 8-foot by 20-foot parking space per 2,000 square feet of floor area as described in **TCLUO Section 4.030(13): Parking Space Requirements**. Applicant is proposing a warehouse structure consisting of 3,040-square feet of floor area (Exhibit B). Staff find that a minimum of two (2) off-street parking spaces are required for the warehouse use.

Applicant has identified (2) 8-foot by 20-foot parking spaces for the warehouse use consisting of 3,040 square feet of floor area on the submitted site (Exhibit B).

TCLUO Section 4.030(12), 'Off-Street Loading Areas' requires *activities that receive or distribute materials or merchandise by truck shall install and utilize loading docks in sufficient numbers and size to accommodate loading requirements without the disruption of nearby traffic.*

Findings: Staff find that the areas demonstrating the two (2) 8-foot by 20-foot parking spaces provide sufficient area to ensure truck loading areas as needed for receiving and distribution of merchandise for the proposed warehouse structure.

TCLUO Section 4.030(7), 'Buffering Non-Residential Parking Areas' requires *non-residential parking and loading areas adjacent to a residential use shall be enclosed along the residential use by a sight-obscuring fence that is from five to six feet in height, except where vision clearance is required.*

Findings: Staff find that the subject property along the southerly property boundary is improved with a residential use (Exhibit A). Imagery of the subject property detail there is existing site-obscuring fence along the east, west and southerly property boundaries (Exhibit A). Staff find that a condition of approval that requirements to meet TCLUO Section 4.030, to include site-obscuring fence, shall be placed along the southerly boundary.

Given the size of the property, relatively flat topography and location of improvements, Staff finds that there is adequate area to create the required additional parking space to satisfy parking requirements outlined in TCLUO Section 4.030 for the warehouse, along with buffering of residential uses and off-street loading areas. Staff also finds that as a condition of approval can be made to require a minimum of two (2) off-street parking spaces be depicted on the site plan submitted for review and approval at time of consolidated zoning/building permit application.

D. TCLUO Section 3.510: Flood Hazard (FH) Overlay

It is the purpose of the FH zone to promote the public health, safety and general welfare and to minimize public and private losses or damages due to flood conditions in specific areas of unincorporated Tillamook County by provisions designed to:

- (a) Protect human life and health;*
- (b) Minimize expenditure of public money for costly flood control projects;*
- (c) Minimize the need for rescue and relief efforts associated with flooding and generally undertaken at the expense of the public;*
- (d) Minimize prolonged business interruptions;*
- (e) Minimize damage to public facilities and utilities such as water and gas mains, electric, telephone and sewer lines, streets and bridges located in areas of special flood hazards;*
- (f) Help maintain a stable tax base by providing for the sound use and development of areas of special flood hazard so as to minimize future flood blight areas;*
- (g) Ensure that potential buyers are notified that property is in an area of special flood hazard; and*
- (h) Ensure that those who occupy the areas of special flood hazard assume responsibility for their actions.*
- (i) Maintain the functions and values associated with Special Flood Hazard Areas which reduce the risk of flooding.*

As indicated on FEMA FIRM 41057C0855F dated September 28, 2018, a portion of the subject property is located in an ‘AE’ Special Flood Hazard Area (SFHA) (Exhibit A). The Applicant is proposing to locate a warehouse structure within the ‘AE Zone’ (Exhibit B).

Findings: Staff finds that the applicant maintains Development Permit, #851-23-000002-PLNG to review compliance with TCLUO Section 3.510 ‘Flood Hazard Overlay’ is in review with the Department. Proposed development shall adhere to the conditions of the Floodplain Development Permit for the proposed development of the warehouse.

Staff finds that these requirements can be met through compliance with Conditions of Approval.

E. Article VI Conditional Use Procedures and Criteria

Article VI of the Tillamook County Land Use Ordinance contains the procedures and review criteria for processing a Conditional Use request. These criteria, along with Staff’s findings and conclusions, are indicated below.

1. **Section 6.020 Procedure** requires public notice in accordance with TCLUO Section 10.070 which requires notification of the request to be mailed to landowners within 250 feet of the subject property, to allow at least 14 days for written comment, and requires staff to consider comments received in making the decision.

Findings: Notice of the request was mailed to property owners within 250 feet of the subject property and other agencies on April 4, 2023. Written comments were received by the Oregon Department of State Lands and are included as “Exhibit C” of this report. Comments conclude that the project is located outside of jurisdictional wetland or waterways (Exhibit C).

2. **Section 6.040 Review Criteria**

1. *The use is listed as a conditional use in the underlying zone, or in an applicable overlying zone.*

Findings: The applicant is proposing the construction of a warehouse building to service the adjacent Chesters Market grocery store located at 34585 Brooten Road (4S10-19AC-02000). As stated above, the use is permitted conditionally in the PCW-C1 Zone.

2. *The use is consistent with the applicable goals and policies of the comprehensive plan.*

Findings: Staff finds that the proposed use is permitted conditionally in the PCW-C1 zone of the Tillamook County Land Use Ordinance. The TCLUO is an implementing document of the Comprehensive Plan. In the absence of evidence to the contrary, uses allowed conditionally in the Land Use Ordinance are presumed to be consistent with the Comprehensive Plan. Staff concludes this criterion has been met.

3. *The parcel is suitable for the proposed use considering its size, shape, location, topography, existence of improvements and natural features.*

Findings: Applicant states the property is level with no existing vegetation. Applicant provides that the size of the proposed warehouse is suitable for the size of the property (Exhibit B).

The subject property contains approximately 5,000- square feet and is accessed via Shade Street, a County Road. The property is a corner lot and abuts Second Street, a County road, on its easterly boundary. There is no wetland present on the property and is concluded with comments received by Oregon Department of State Lands (Exhibit C). A portion of the property is located within the ‘AE’ zoned area of special flood hazard per FEMA Firm #41057C0855F dated September 28, 2018. Applicant has submitted a Floodplain Development Permit, #851-23-000002-PLNG, for consideration of compliance to TCLUO Section 3.510 ‘Flood Hazard Overlay’. The subject property is currently level and free of vegetation, and maintains an existing screened fencing around its south, east and westerly boundaries. The applicant is proposing to construct the warehouse for the Chesters Market grocery store located north on a separate parcel. The property maintains existing access from Shade Street, a County road (Exhibit A).

Given the size of property, absence of natural features, and established access, Staff finds that the subject property can be suitable for the proposed construction of warehouse facility.

4. *The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs or prevents the use of surrounding properties for the permitted uses listed in the underlying zone.*

Findings: Adjacent properties are zoned Pacific City/Woods Commercial One (PCW-C1) and Pacific City/Woods High Density Residential (PCW-R3) as depicted on the zoning map included in “Exhibit A” of this report. Existing uses in the vicinity consist primarily of commercial uses, to include a grocery store, retail buildings, and restaurant, along with residential uses. Applicant provides that the building will be used by the adjacent Chesters Market grocery store located north of the subject property at 4S10-19CA-02000 (Exhibit B). Applicant provides that sufficient parking areas are provided for unloading trucks and that no change in current traffic will be impacted (Exhibit B).

Applicant’s site plan demonstrates all uses will take place on the subject property and that the property is of adequate size to accommodate the proposed structure in a manner that ensures permitted uses on adjacent properties are not impacted in the manner described in the criterion above.

Given the diversity of existing uses in the area and size of the subject property in relation to the proposed use, Staff finds that the construction of the warehouse building on the subject property will not alter the character of the surrounding area in a manner which substantially limits, impairs or prevents surrounding landowners from developing their properties consistent with permitted uses in the underlying zones within this vicinity.

5. *The proposed use will not have a detrimental effect on existing solar energy systems, wind energy conversion systems or wind mills.*

Findings: None such systems are known to exist in the area. Staff concludes this criterion has been met.

6. *The proposed use is timely, considering the adequacy of public facilities and services existing or planned for the area affected by the use.*

Findings: Long-established existing public facilities and services in this area include Pacific City Joint Sewer Water Authority, Nestucca Rural Fire Protection District, Tillamook County Sheriff, Tillamook County Public Works, and Tillamook People’s Utility District (PUD). Applicant states that there is garbage service provided by Nestucca Sanitary and there is existing access from Shade Street, a County road (Exhibit B).

Given the existence of public services and facilities in the area in relation to the proposed warehouse, Staff finds the proposed use is timely and any requirements for service provider letters can be required through Conditions of Approval.

Staff finds that this criterion can be met through compliance with the Conditions of Approval.

IV. DECISION: APPROVED WITH CONDITIONS

Based on the findings shown above, Staff concludes that the applicant has satisfied the review criteria and can meet all applicable ordinance requirements at the time of application. Therefore, the Department approves this request subject to the Conditions of Approval in section V of this report.

Appeal of this decision. This decision may be appealed to the Tillamook County Planning Commission, who will hold a public hearing. The forms and fees must be filed in the office of this Department before **4:00 PM on June 14, 2023.**

V. CONDITIONS OF APPROVAL:

Sections 6.070: COMPLIANCE WITH CONDITIONS, and 6.080: TIME LIMIT requires compliance with approved plans and conditions of this decision, and all other ordinance provisions. Failure to comply with the Conditions of Approval and ordinance provisions could result in nullification of this approval.

1. The applicant/property owner shall obtain all Federal, State, and Local permits, as applicable.
2. The applicant/property owner shall adhere to applicable development standards in TCLUO Section 3.337: Pacific City/Woods Commercial One (PCW-C1) zone.
3. A copy of the approved site plan, illustrating the proposed development and required parking/loading areas, shall be provided at the time of consolidated zoning/building permit submittal. Applicant/property owner shall adhere to the requirements of TCLUO 4.030, ‘Off-Street Parking & Off-Street Loading Requirements’ and TCLUO Section 4.010, ‘Clear Vision Area’.
4. Development of the property shall adhere to the applicable development standards outlined in TCLUO Section 3.510: Flood Hazard Overlay. Development shall adhere to the requirements and Conditions of Approval maintained in Permit #851-23-000002-PLNG.

5. The applicant shall submit a fire letter from the Nestucca Rural Fire Protection District to the Department at the time of consolidated zoning/building permit submittal.
6. The applicant shall submit a road approach permit from the Tillamook County Public Works Department to this Department at time of consolidated zoning/building permit submittal.
7. The applicant shall submit a water/sewer service letter from the Pacific City Joint Sewer Water Authority to this Department at time of consolidated zoning/building permit submittal.
8. This approval shall be void on June 2, 2025, unless implementation of approved plans has begun, or an extension is requested from, and approved by this Department.

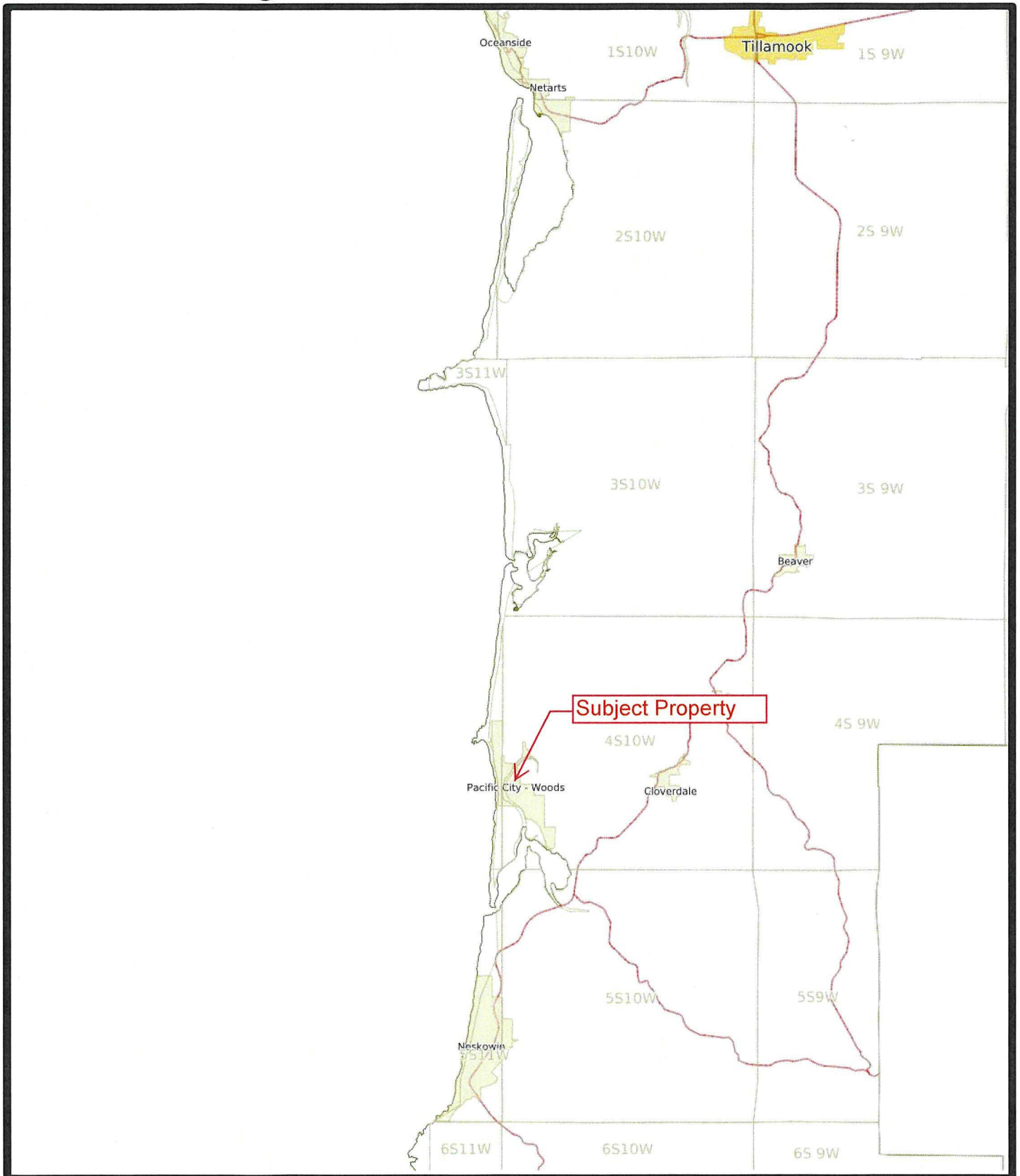
VI. EXHIBITS

All Exhibits referred to herein are, by this reference, made a part hereof:

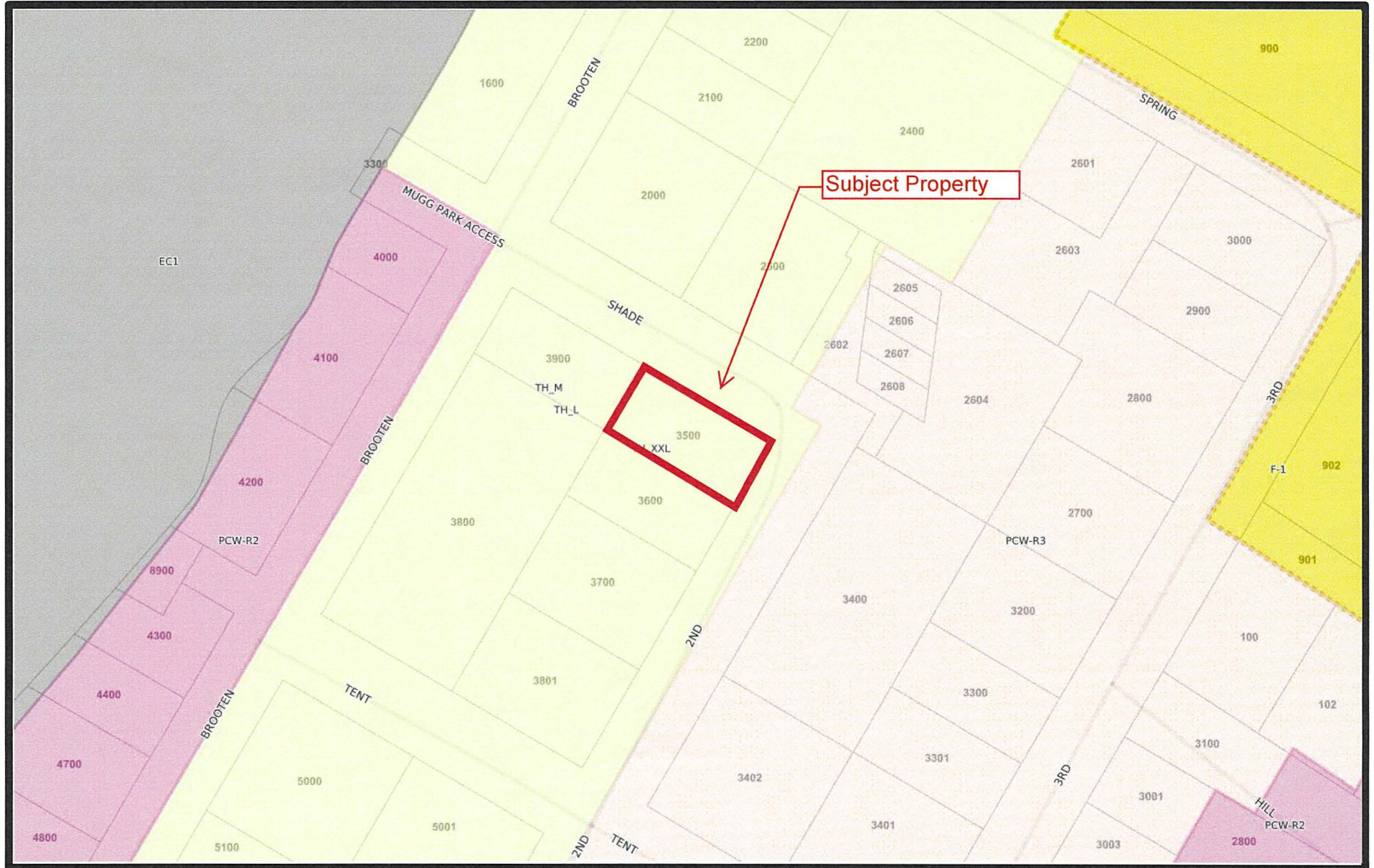
- A. Location map, Assessor map, Zoning map, FEMA Firm, NWI Map
- B. Applicant's submittal
- C. Comments

EXHIBIT A

Vicinity Map

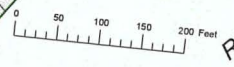


Zoning Map

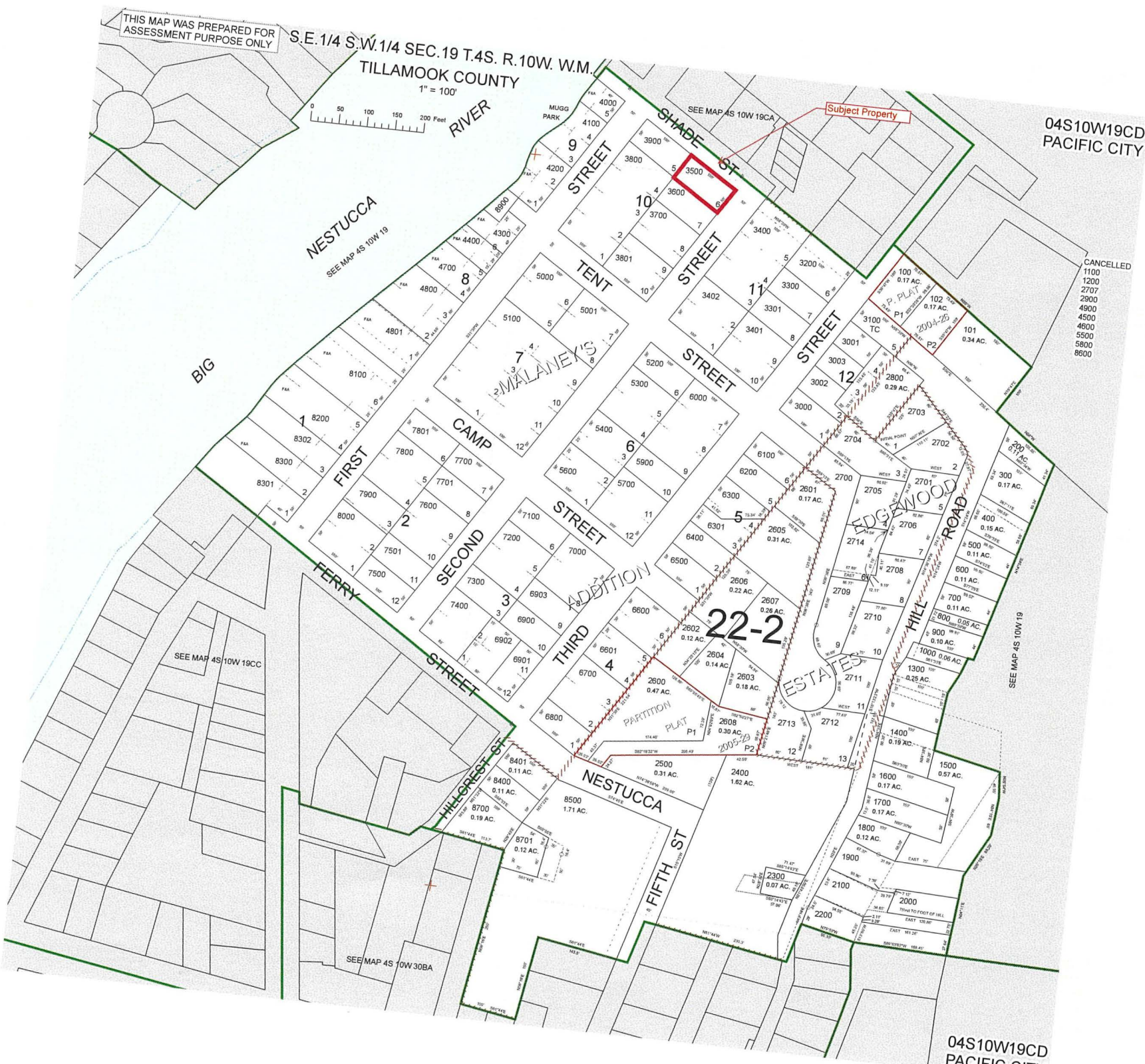


THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSE ONLY

S.E. 1/4 S.W. 1/4 SEC. 19 T.4S. R. 10W. W.M.
TILLAMOOK COUNTY
1" = 100'



04S10W19CD
PACIFIC CITY



CANCELLED
1100
1200
2707
2900
4900
4500
4800
5500
5800
8600

22-2

ESTATES

NESTUCCA
SEE MAP 4S 10W 19

BIG

SEE MAP 4S 10W 19CC

SEE MAP 4S 10W 30BA

SEE MAP 4S 10W 19

04S10W19CD
PACIFIC CITY

Tillamook County
2022 Real Property Assessment Report
 Account 233358

Map	4S1019CD03500	Tax Status	Assessable
Code - Tax ID	2202 - 233358	Account Status	Active
		Subtype	NORMAL
Legal Descr	MALANEY'S ADD TO OCEAN PARK		
	Block - 10 Lot - 6		
Mailing	CHESTERS REAL ESTATE, LLC	Deed Reference #	2020-9298
	429 W MAIN ST	Sales Date/Price	12-24-2020 / \$90,000
	JOHN DAY OR 97845	Appraiser	KARI FLEISHER
Property Class	201	MA	SA NH
RMV Class	201	07	01 300

Site	Situs Address	City
1	6405 SHADE ST	COUNTY

Value Summary					
Code Area	RMV	MAV	AV	RMV Exception	CPR %
2202	Land	72,670		Land	64.7
	Impr	15,060		Impr	
Code Area Total		87,730	61,280	6,980	
Grand Total		87,730	61,280	6,980	

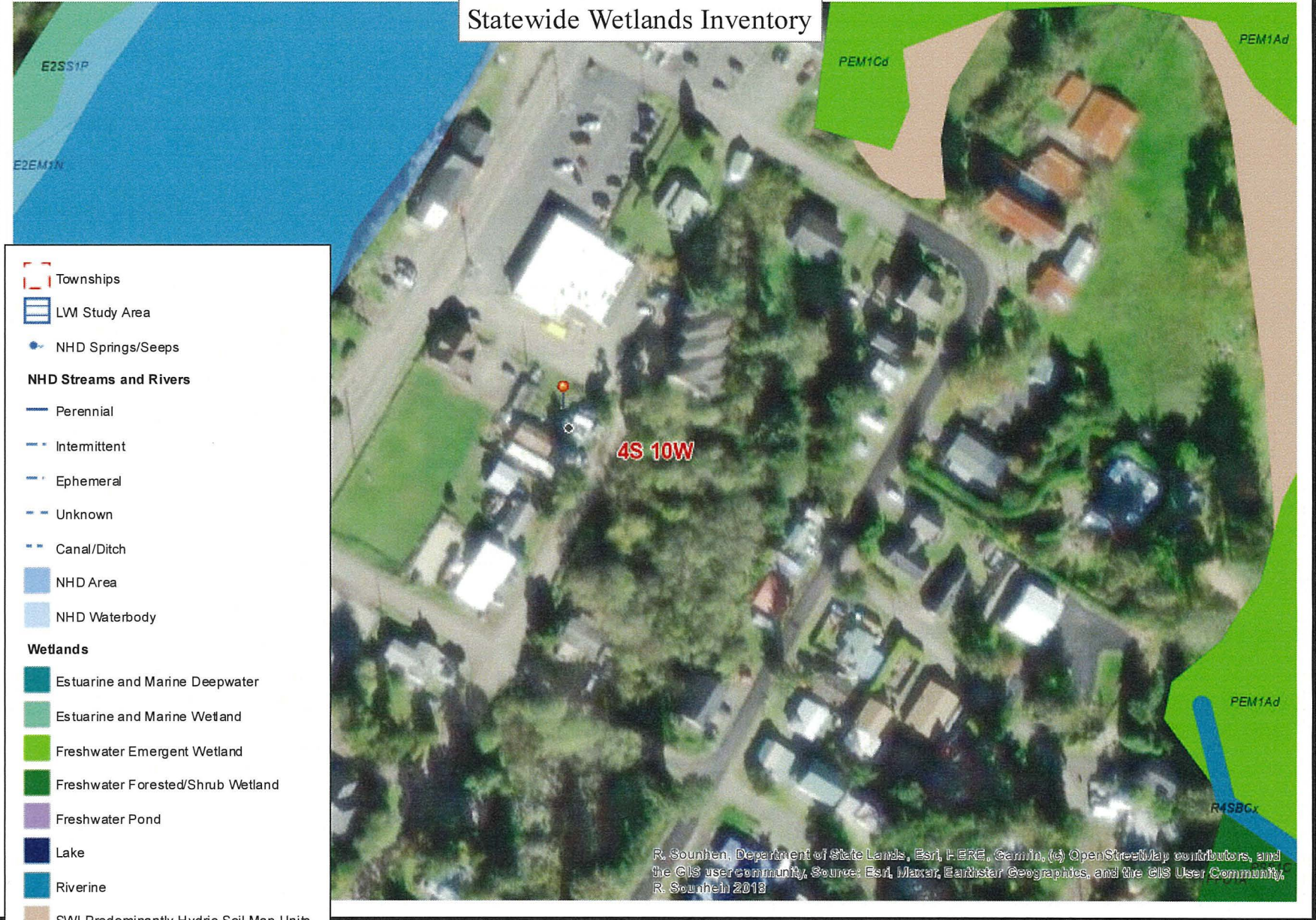
Land Breakdown									
Code Area	ID #	RFPD	Ex	Plan Zone	Value Source	Trend %	Size	Land Class	Trended RMV
2202	1	<input checked="" type="checkbox"/>		PCW-C1	Commercial Site	116	0.12 AC		43,670
					OSD - AVERAGE	100			29,000
Code Area Total							0.12		72,670




















Improvement Breakdown									
Code Area	ID #	Year Built	Stat Class	Description	Trend %	Total Sqft	Ex% MS Acct	Trended RMV	
2202	1	2021	498	Miscellaneous - Parking Lots	116	10		15,060	
Code Area Total							10	15,060	

Exemptions / Special Assessments / Notations
Notations
<ul style="list-style-type: none"> ■ DEMOLISHED PROPERTY RMV & MAV ADJUSTED 308.146 ADDED 2015

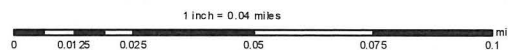
Comments 3/3/03 M0870 now exempt from title. dv. 3/16/06 Zoning change only. We showed R-2 and the zoning is Neighborhood Commercial. dv. 3/10/14 Reappraised land, tabled values. GB 1/09/2015 M.S. has been dest./removed from property/Existing imps. appear to be in need of maint. and repair/Value of imps. are reflective. RCW 4/21/22 After sale, improvements were demolished and the property is used as employee parking. Added new fencing and moved to MA 7. KF

Statewide Wetlands Inventory



-  Townships
-  LVM Study Area
-  NHD Springs/Seeps
- NHD Streams and Rivers**
-  Perennial
-  Intermittent
-  Ephemeral
-  Unknown
-  Canal/Ditch
-  NHD Area
-  NHD Waterbody
- Wetlands**
-  Estuarine and Marine Deepwater
-  Estuarine and Marine Wetland
-  Freshwater Emergent Wetland
-  Freshwater Forested/Shrub Wetland
-  Freshwater Pond
-  Lake
-  Riverine
-  SWI Predominantly Hydric Soil Map Units
-  SWI Agate-Winlo Soils

R. Sounhen, Department of State Lands, Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community, Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community, R. Sounhen 2018



The Statewide Wetlands Inventory (SWI) represents the best data available at the time this map was published and is updated as new data becomes available. In all cases, actual field conditions determine the presence, absence and boundaries of wetlands and waters (such as creeks and ponds). An onsite investigation by a wetland professional can verify actual field conditions.



Date: 3/31/2023



State of Oregon
 Department of State Lands
 775 Summer Street, NE, Ste 100
 Salem, OR 97301-1279
 (503) 986-5200

National Flood Hazard Layer FIRMMette



123°57'54"W 45°12'35"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	
	Without Base Flood Elevation (BFE) Zone A, V, A99
	With BFE or Depth Zone AE, AO, AH, VE, AR
	Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD	
	0.2% Annual Chance Flood Hazard, Area of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
	Future Conditions 1% Annual Chance Flood Hazard Zone X
	Area with Reduced Flood Risk due to Levee. See Notes. Zone X
	Area with Flood Risk due to Levee Zone D

OTHER AREAS	
	NO SCREEN Area of Minimal Flood Hazard Zone X
	Effective LOMRs
	Area of Undetermined Flood Hazard Zone

GENERAL STRUCTURES	
	Channel, Culvert, or Storm Sewer
	Levee, Dike, or Floodwall

OTHER FEATURES	
	20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
	17.5 Cross Sections with 1% Annual Chance Water Surface Elevation
	Coastal Transect
	Base Flood Elevation Line (BFE)
	Limit of Study
	Jurisdiction Boundary
	Coastal Transect Baseline
	Profile Baseline
	Hydrographic Feature

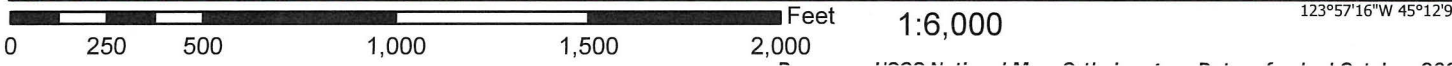
MAP PANELS	
	Digital Data Available
	No Digital Data Available
	Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 3/31/2023 at 9:48 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.





← Chester's Markets Pacific City
jim.rickling jr
Apr 2022

Chester's Markets Pacific City

Google

⏪ | + | 🧭



04/19/2022

EXHIBIT B

* criteria * site plan * parking



Tillamook County Department of Community Development
1510-B Third Street, Tillamook, OR 97141 | Tel: 503-842-3408 Fax: 503-842-1819
www.co.tillamook.or.us

PLANNING APPLICATION

OFFICE USE ONLY

RECEIVED

JAN 04 2023

BY:

Approved Denied

Received by: SS

Receipt #: 129803

Fees: 1500.00

Permit No:
851-22-000001 -PLNG

Applicant (Check Box if Same as Property Owner)

Name: Ian Spalk Phone: 503 758 3124

Address: PO Box 1087

City: Pacific City State: OR Zip: 97135

Email: ian@pacificcityhomes.com

Property Owner

Name: Robert CowanThompson Phone: 541-575-2141

Address: 429 West Main

City: John Day State: OR Zip: 97245

Email: Bob@chestersheftway.com

Request: Build ware house for Chesters grocery store

- | | | |
|--|--|---|
| Type II | Type III | Type IV |
| <input type="checkbox"/> Farm/Forest Review | <input type="checkbox"/> Appeal of Director's Decision | <input type="checkbox"/> Appeal of Planning Commission Decision |
| <input checked="" type="checkbox"/> Conditional Use Review | <input type="checkbox"/> Extension of Time | <input type="checkbox"/> Ordinance Amendment |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Detailed Hazard Report | <input type="checkbox"/> Large-Scale Zoning Map Amendment |
| <input type="checkbox"/> Exception to Resource or Riparian Setback | <input type="checkbox"/> Conditional Use (As deemed by Director) | <input type="checkbox"/> Plan and/or Code Text Amendment |
| <input type="checkbox"/> Nonconforming Review (Major or Minor) | <input type="checkbox"/> Ordinance Amendment | |
| <input type="checkbox"/> Development Permit Review for Estuary Development | <input type="checkbox"/> Map Amendment | |
| <input type="checkbox"/> Non-farm dwelling in Farm Zone | <input type="checkbox"/> Goal Exception | |
| <input type="checkbox"/> Foredune Grading Permit Review | | |
| <input type="checkbox"/> Neskowin Coastal Hazards Area | | |

Location:

Site Address: 6405 Shade St Pacific City OR 97135

Map Number: 45 10W 19CD 3500

Township Range Section Tax Lot(s)

Clerk's Instrument #: _____

Authorization

This permit application does not assure permit approval. The applicant and/or property owner shall be responsible for obtaining any other necessary federal, state, and local permits. The applicant verifies that the information submitted is complete, accurate, and consistent with other information submitted with this application.

Property Owner Signature (Required) _____ Date: 1-3-23

Applicant Signature _____ Date: 1/3/23

Conditional use criteria

1. Yes
2. Yes
3. The lot is level with no vegetation on it, its size is suitable for the building size.
4. No, the new building will be used as a warehouse for the current grocery store, there is adequate parking for trucks to unload. The grocery store is currently unloading trucks across the street from the proposed building. There will be no change in current traffic on the street.
5. There is no wind or solar in the area
6. The property is served by Pacific City Joint Water and Sewer, there is garbage service provided by Nestucca sanitary, Tillamook PUD provides power. There is a street already in (shade st)

PROPOSED WAREHOUSE FOR CHESTER'S REAL ESTATE, LLC

IN TAX LOT 3500, 4S-10-19-CD,
TILLAMOOK COUNTY, OREGON
LOT 6, BLK. 10, "MALANEY'S ADD."

CONTRACTOR: PACIFIC CITY HOMES
P.O. BOX 1087
PACIFIC CITY, OR 97135
503-758-3124

DATE: DECEMBER 30, 2022

FEMA INFORMATION:

MAP: 41057C0855

BFE=18.3' NAVD1988

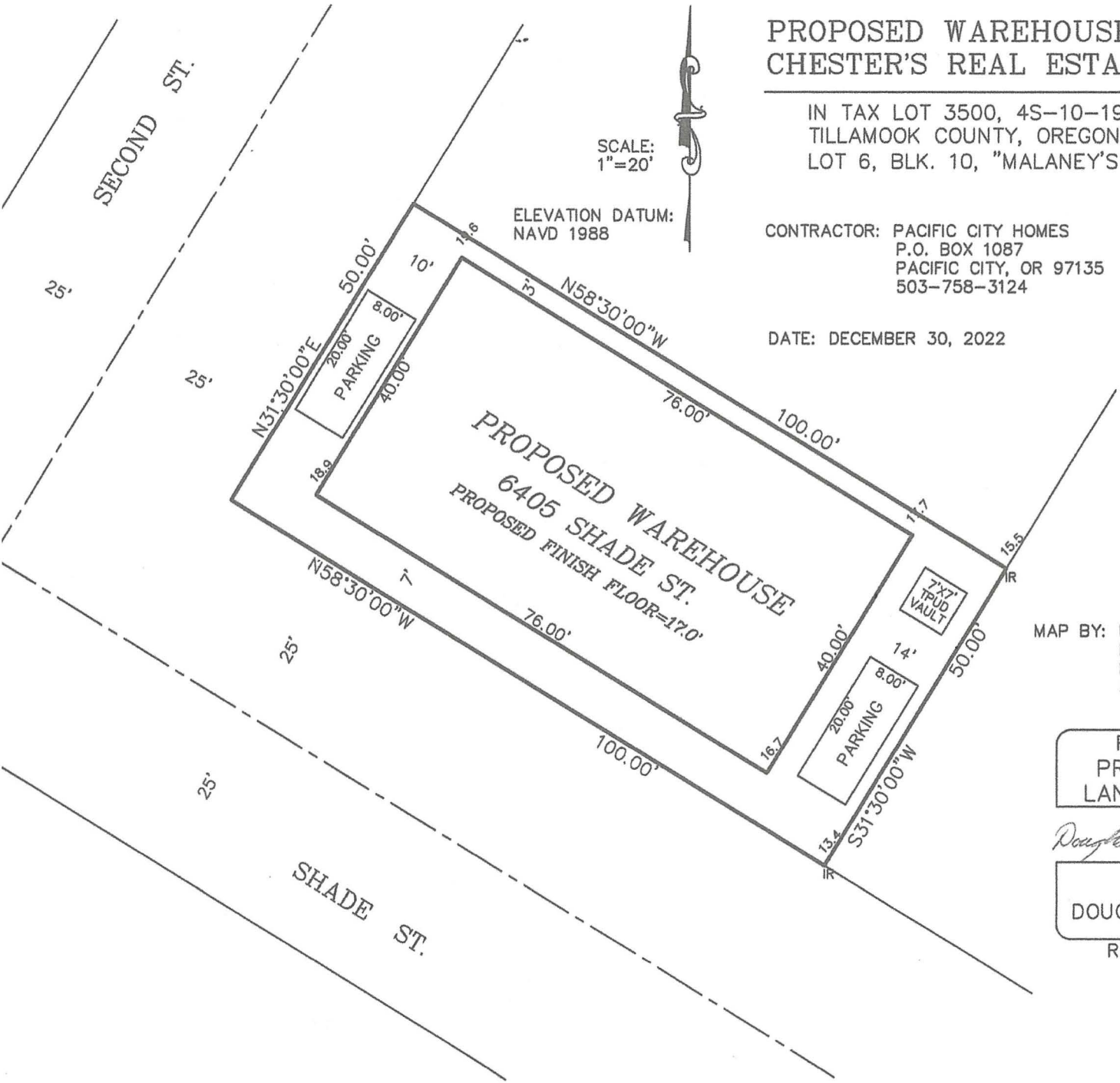
MAP BY: KELLOW LAND SURVEYING
P.O. BOX 335
PACIFIC CITY, OR 97135
503-801-3537

REGISTERED
PROFESSIONAL
LAND SURVEYOR

Douglas H. Kellow

OREGON
February 3, 1983
DOUGLAS H. KELLOW
2027

Renewal: 06/30/23



SCALE:
1"=20'

ELEVATION DATUM:
NAVD 1988

PROPOSED WAREHOUSE
6405 SHADE ST.
PROPOSED FINISH FLOOR=17.0'

GENERAL NOTES:

A. CONSTRUCTION DOCUMENTS:

- 1. THE CONTRACTOR SHALL REVIEW THE APPROVED CONSTRUCTION DOCUMENTS AND NOTIFY THE ENGINEER OF ANY ERRORS OR DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR USING QUALIFIED SUB CONTRACTORS EXPERIENCED IN THIS TYPE OF CONSTRUCTION.
3. THE CONTRACTOR SHALL FURNISH AND INSTALL EVERYTHING REQUIRED TO PROVIDE A COMPLETE STRUCTURE AS SHOWN HEREIN...

B. DIMENSIONS AND NOTATIONS:

- 1. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.
2. FOR ANY MISSING DIMENSIONS REFER TO THE ARCHITECTURAL DRAWINGS OR THE DRAWINGS OF APPLICABLE TRADE.
3. ABBREVIATIONS USED ON THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE CONSIDERED TYPICAL ABBREVIATIONS FOR THE INDUSTRY...

C. TYPICAL NOTES AND DETAILS:

- 1. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER STANDARD TYPICAL NOTES AND DETAILS.
2. STANDARD TYPICAL NOTES AND DETAILS ARE TO BE USED WHEN REFERRED TO OR WHEN NO OTHER MORE RESTRICTIVE OR DIFFERENT DETAILS ARE SHOWN ON THE DRAWINGS.
3. WORK NOT PARTICULARLY SHOWN OR SPECIFIED SHALL BE THE SAME AS SIMILAR PARTS THAT ARE SHOWN OR SPECIFIED.

E. INSPECTIONS, SPECIAL INSPECTIONS, AND SITE VISITS (STRUCTURAL OBSERVATIONS):

- 1. INSPECTIONS BY THE BUILDING OFFICIAL ARE REQUIRED FOR CONSTRUCTION WORK FOR WHICH A PERMIT IS REQUIRED PER SECTION 110 OF THE IBC. CONTRACTOR IS REQUIRED TO COORDINATE AND SCHEDULE ALL REQUIRED INSPECTIONS WITH THE BUILDING OFFICIAL.
2. SPECIAL INSPECTIONS ARE IN ADDITION TO, AND DO NOT REPLACE, THE INSPECTIONS BY THE BUILDING OFFICIAL PER CHAPTER 17 OF THE IBC.
3. SITE VISITS OR STRUCTURAL OBSERVATIONS BY THE STRUCTURAL ENGINEER DOES NOT INCLUDE OR WAIVE THE RESPONSIBILITY OF INSPECTIONS OR SPECIAL INSPECTIONS PER SECTION 110 AND CHAPTER 17 OF THE IBC.

F. CODE REQUIREMENTS:

- ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE FOLLOWING CODES:
1. 2018 INTERNATIONAL BUILDING CODE (IBC)
2. BUILDING THERMAL PERFORMANCE TO MEET THE FOLLOWING: OREGON RESIDENTIAL - CHAPTER 11 OF ORSC, OREGON COMMERCIAL - ORESC, ALL OTHER REGIONS TO COMPLY WITH GOVERNING JURISDICTIONS.
3. ANY OTHER REGULATING AGENCIES WHICH MAY HAVE AUTHORITY OVER ANY PORTION OF THE WORK, INCLUDING THE STATE OF OREGON.

- 6. ALL STRUCTURAL MATERIAL MUST HAVE CURRENT ICC-ES REPORTS AVAILABLE UPON REQUEST TO PROVE CODE APPROVAL & INDUSTRY TOLERANCES.

DESIGN CRITERIA:

A. 2018 INTERNATIONAL BUILDING CODE (IBC).

- 1. RISK CATEGORY: II
2. NATURE OF OCCUPANCY: WAREHOUSE STORAGE

B. DESIGN LOADS:

- 1. ROOF:
a. LIVE LOAD = 20 PSF or 300 LB POINT LOAD
b. DEAD LOAD = 15 PSF
c. SNOW LOAD = 25 PSF (MIN ROOF SNOW)
2. FLOOR - LIVE LOADS:
a. 125 PSF (LIGHT WAREHOUSE)

C. IBC SEISMIC DESIGN:

- 1. SEISMIC DESIGN CATEGORY: D
2. IMPORTANCE FACTOR I_e = 1.0
3. SOIL SITE CLASS: D
4. SEISMIC COEFFICIENTS:
S_{DS} = 1.024
S_{DI} = 0.746

D. IBC WIND LOAD:

- 1. BASIC DESIGN WIND SPEED = 135 MPH
2. EXPOSURE - C

FOUNDATIONS:

A. MAXIMUM ALLOWABLE FOUNDATION SOIL BEARING CAPACITY:

- 1. 1500 PSF (CEAD - LIVE LOAD)
2. 2000 PSF (GRAVITY + LATERAL LOAD)
B. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 12 INCHES MINIMUM BELOW ADJACENT FINISHED GRADE.
C. THE INTERIOR FOOTINGS SHALL BE 12 INCHES MINIMUM BELOW FINISH FLOOR, U.N.O.

CONCRETE:

A. REFERENCE STANDARDS:

- 1. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF ACI 301
2. ALL CONCRETE SHALL BE NORMAL WEIGHT CONCRETE
3. CONCRETE MIX DESIGN SHALL BE ESTABLISHED IN ACCORDANCE WITH CHAPTER 5 OF ACI 318
4. USE LATEST EDITION OF ACI 308R WHEN CONCRETING DURING COLD WEATHER

B. SUBMITTALS:

- 1. SUPPLY PRODUCT DATA FOR PROPRIETARY MATERIALS AND ITEMS, INCLUDING REINFORCEMENT AND FORMING ACCESSORIES, ADMIXTURES, PATCHING COMPOUNDS, JOINT SYSTEMS, CURING COMPOUNDS AND OTHERS.
2. SHOP DRAWINGS FOR REINFORCEMENT DETAILING, FABRICATING, FOR BENDING, AND PLACING OF CONCRETE REINFORCEMENT SHALL COMPLY WITH ACI 315, MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES, BAR SCHEDULES, STRIPUP SPACING, BENT BAR DIAGRAMS, AND ARRANGEMENT OF CONCRETE REINFORCEMENT SHALL BE SHOWN, INCLUDE SPECIAL REINFORCING REQUIRED FOR OPENINGS THROUGH CONCRETE STRUCTURES.
3. FORMWORK AND FINISH:
1. FORMWORK DESIGN, ERECT, SUPPORT, BRACE AND MAINTAIN FORMWORK TO SUPPORT VERTICAL, LATERAL, STATIC AND DYNAMIC LOADS THAT MIGHT BE APPLIED UNTIL STRUCTURE CAN SUPPORT SUCH LOADS.

D. MIX DESIGN, STRENGTH, AND ADMIXTURES:

- 1. 28-DAY COMPRESSIVE STRENGTHS (f'_c):
a. FOUNDATION STEM WALLS = 3000 PSI
b. FOOTINGS = 3000 PSI
c. INTERIOR SLABS ON-GRADE = 3000 PSI
2. CEMENT II OR III PER ASTM C-150
3. MAXIMUM SLUMP:
a. FLYASH PER ASTM C-618
b. AIR ENTRAINING PER ASTM C-260
c. WATER REDUCING PER ASTM C-494

E. REINFORCEMENT:

- 1. REINFORCEMENT FOR CONCRETE:
a. ALL REINFORCING SHALL BE SUPPORTED IN FORMS SPACED WITH NECESSARY ACCESSORIES AND SHALL BE SECURELY WIRED TOGETHER IN ACCORDANCE WITH THE LATEST EDITION OF THE CRSI "MANUAL OF STANDARD PRACTICE"
b. DEFORMED BARS - ASTM A615, GRADE 60
c. WELDED WIRE REINFORCEMENT (WWR):
• SMOOTH WIRE - ASTM A185
• DEFORMED WIRE - ASTM A497
• USE FLAT MATS ONLY. NO ROLLED WWR IS PERMITTED.

F. COORDINATION:

- 1. COORDINATE ALL UNDER-SLAB MATERIAL SUCH AS VAPOR BARRIER, INSULATION, AND SUB-BASE WITH ARCHITECTURAL AND GEOTECHNICAL CONSTRUCTION DOCUMENTS.
2. COORDINATE CONCRETE SURFACE FINISHING WITH ARCHITECTURAL FINISH MATERIALS.
3. REPAIR OR REPLACE DEFECTIVE CONCRETE AS DIRECTED BY THE ARCHITECT, ENGINEER, OR TESTING AGENCY.
4. COORDINATE ALL JOINT SPACING, LAYOUT, FILLER AND SEALANTS.
5. COORDINATE WITH ARCHITECTURAL ANY FINISH SURFACES THAT REQUIRE MOCK-UPS AND ACCEPTANCE PRIOR TO CONSTRUCTION.

G. DEFINITIONS:

- 1. PERFORMANCE DESIGN - A SET OF INSTRUCTIONS THAT OUTLINES THE FUNCTIONAL REQUIREMENTS FOR HARDENED CONCRETE DEPENDING ON THE APPLICATION. PERFORMANCE DESIGN DOES NOT INCLUDE REQUIREMENTS FOR MEANS AND METHODS AND DOES NOT PROVIDE LIMITATIONS ON THE INGREDIENTS OR PROPORTIONS OF THE CONCRETE MIXTURE.
2. DURABILITY DESIGN - DURABILITY IS THE ABILITY OF CONCRETE TO RESIST WEATHERING ACTION, CHEMICAL ATTACK, AND ABRASION WHILE MAINTAINING ITS DESIRED ENGINEERING PROPERTIES.
3. STRENGTH DESIGN - BASED ON THE ULTIMATE COMPRESSIVE STRENGTH OF THE CONCRETE INTENDED TO RESIST THE CALCULATED DESIGN LOADS.
4. REINFORCING IS NOT PERMITTED TO BE INCLUDED IN THE CONCRETE STRENGTH DESIGN.

SPECIAL INSPECTION PROGRAM:

- A. THE OWNER SHALL EMPLOY AN APPROVED AGENCY FOR SPECIAL INSPECTION SERVICES TO PERFORM SPECIAL INSPECTIONS IN ACCORDANCE WITH CHAPTER 17 OF THE IBC.
B. AN APPROVED AGENCY SHALL BE AN ESTABLISHED AND RECOGNIZED AGENCY REGULARLY ENGAGED IN CONDUCTING TESTS OR FURNISHING INSPECTION SERVICES.
C. A SPECIAL INSPECTOR SHALL BE A QUALIFIED PERSON WHO SHALL SHOW COMPETENCY TO THE SATISFACTION OF THE BUILDING OFFICIAL FOR THE INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION REQUIRING SPECIAL INSPECTION.
D. SPECIAL INSPECTORS SHALL KEEP RECORDS OF INSPECTIONS. THE SPECIAL INSPECTOR SHALL SUBMIT INSPECTION REPORTS TO THE BUILDING OFFICIAL AND THE ENGINEER IN A TIMELY FASHION.

SPECIAL INSPECTION:

- A. SPECIAL INSPECTION AS HEREIN REQUIRED OF THE FOLLOWING MATERIALS, INSTALLATION, FABRICATION, ERECTION OR PLACEMENT OF COMPONENTS AND CONNECTIONS REQUIRING SPECIAL EXPERTISE TO ENSURE COMPLIANCE WITH APPROVED CONSTRUCTION DOCUMENTS AND REFERENCED STANDARDS.
B. STRUCTURAL OBSERVATION OF THE STRUCTURAL SYSTEM BY THE ENGINEER OF RECORD DOES NOT INCLUDE OR WAIVE THE RESPONSIBILITY FOR THE SPECIAL INSPECTION REQUIRED BY SECTION 110, 1705, OR OTHER SECTIONS OF THE INTERNATIONAL BUILDING CODE.
C. THE SPECIAL INSPECTION STATEMENT ON THIS SHEET LISTS THE ITEMS THAT REQUIRE SPECIAL INSPECTION AND VERIFICATION, THE CODE SECTION-REFERENCE FOR ADDITIONAL INFORMATION, AND THE REQUIRED FREQUENCY OF INSPECTION.

POST INSTALLED ANCHORS IN CONCRETE:

- A. POST INSTALLED EXPANSION ANCHORS SHALL BE PREAPPROVED BY THE STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION UNLESS SPECIFICALLY DETAILED ON THE DRAWINGS.
B. HOLES MUST BE DRILLED AND CLEANED PER MANUFACTURER'S INSTRUCTIONS. ANCHORS MUST BE INSTALLED AND SPECIAL INSPECTED PER MANUFACTURER'S INSTRUCTIONS.
C. UNDER NO CIRCUMSTANCES WILL AN EXPANSION BOLT SYSTEM BE APPROVED WITHOUT A CURRENT ICC-ES REPORT THAT MEETS THE REQUIREMENTS OF THE GOVERNING JURISDICTION AND IS IN ACCORDANCE WITH ACI 318 APPENDIX D AS ADOPTED BY THE IBC.

SPECIAL INSPECTION STATEMENT:

Table with 2 columns: SPECIAL CASES: 1705.1.1, INSPECTION OF MECHANICAL ANCHORS IN CONCRETE: and FREQUENCY. Contains details for required verification and inspection of post-installed anchors.

DISCLAIMER

IT IS IMPORTANT FOR THE GENERAL CONTRACTOR TO UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO BE SURE THIS PROJECT IS CONSTRUCTED IN FULL COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES. THE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES AND ORDINANCES. THIS FACT DOES NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH ALL MINIMUM STANDARDS. NO OMISSION FROM THESE PLANS GIVES PERMISSION FOR VIOLATION OF ANY CODE OR ORDINANCE. NO APPROVAL EVER GRANTS PERMISSION TO VIOLATED ANY CODE OR CITY ORDINANCE.

THE GREATEST EFFORT HAS BEEN MADE TO DRAFT THESE PLANS WITHOUT ERROR. HOWEVER, THERE IS NO GUARANTEE THAT THESE PLANS ARE WITHOUT ERROR. THE ARCHITECT, DRAFTSMAN & ENGINEER ARE TO BE HELD HARMLESS OF ANY FINANCIAL LIABILITY RESULTING FROM ERRORS IN THESE PLANS. ANYONE USING THESE PLANS FOR CONSTRUCTION OF THIS BUILDING ACCEPTS FULL RESPONSIBILITY. CHECK PLANS CAREFULLY BEFORE AND DURING CONSTRUCTION.

WOOD:

A. REFERENCE STANDARDS AND GOVERNING AGENCIES:

- 1. NDS FOR WOOD CONSTRUCTION
2. APA PANEL DESIGN SPECIFICATION
3. AWPA U1 - USE CATEGORY SYSTEM: USER SPECIFICATION FOR TREATED WOOD
4. TP 1 NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION
5. WWPA - WESTERN WOOD PRODUCTS ASSOCIATION

B. SUBMITTALS:

- 1. ENGINEERED WOOD PRODUCTS:
a. ANY ALTERNATE PROPRIETARY FRAMING SYSTEM(S) SHALL BE OF THE SAME DEPTH AND LOAD CARRYING CAPACITY AS THE TRUSS-JOIST SYSTEM(S) SHOWN ON THE DRAWINGS. ICC REPORTS FOR THE ALTERNATE PROPRIETARY FRAMING SYSTEM(S) SHALL BE SUBMITTED SHOWING TESTING APPROVAL AND MATERIAL STRENGTH EQUIVALENCY.
b. ALL SUBMITTED ENGINEERED WOOD PRODUCTS CALCULATIONS SHALL BE STAMPED AND SIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF OREGON.
2. FABRICATED WOOD TRUSSES:
a. ALL ROOF TRUSSES SHALL BE DESIGNED, STAMPED, AND SIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF JURISDICTION.
b. TRUSS MANUFACTURER SHALL PROVIDE PROOF OF APPROVED THIRD PARTY INSPECTION AS REQUIRED BY THE 2018 IBC, SECTION 1704.2.5.
c. SUBMIT SHOP DRAWINGS OF PRE MANUFACTURED WOOD TRUSS LAYOUT FOR REVIEW BY THE ENGINEER PRIOR TO FABRICATION. TRUSS DESIGN DRAWINGS AND CALCULATIONS SHALL CONFORM TO THE REQUIREMENTS FROM SECTION 2303.4 OF THE IBC.

C. CARPENTRY

- 1. WOOD FRAMING MEMBERS SHALL HAVE THE FOLLOWING GRADES, OR BETTER UNLESS NOTED OTHERWISE (U.N.O.):
a. BLOCKING: DOUGLAS FIR LARCH NO. 2, OR BETTER
b. BRIDGING: DOUGLAS FIR LARCH NO. 2, OR BETTER
c. STUD FRAMING: DOUGLAS FIR LARCH NO. 2, OR BETTER
d. BEAMS/HEADERS/JOISTS: DOUGLAS FIR LARCH NO. 2, OR BETTER
e. POSTS/BUILT-UP COLUMNS: DOUGLAS FIR LARCH NO. 2, OR BETTER
f. TOP AND BOTTOM PLATS: DOUGLAS FIR LARCH NO. 2, OR BETTER
2. MAXIMUM MOISTURE CONTENT OF ALL LUMBER AT THE TIME OF CLOSURE SHALL BE 19%.
3. SPLICING OF WOOD MEMBERS, UNLESS SHOWN ON THE DRAWINGS IS PROHIBITED WITHOUT WRITTEN APPROVAL OF THE PROJECT ENGINEER.
4. HOLES MAY BE DRILLED IN JOIST BEAMS IF SPECIFICALLY INDICATED ON THESE DRAWINGS. ANY OTHER HOLES OR NOTCHES ARE NOT ALLOWED.

ABBREVIATIONS

Table mapping abbreviations to full names for various construction materials and components, including anchor bolts, foundation, floor, framing, and sheathing.

SHEET INDEX

Table listing sheet numbers (S0.0, S1.0, S2.0, S3.0, S4.0, S4.1, A1.0, A2.0, A3.0) and their corresponding titles (COVER PAGE & NOTES, FOUNDATION PLAN, WALL FRAMING PLAN, ROOF & CEILING FRAMING PLANS, STRUCTURAL DETAILS, etc.).

Vertical project information including company name (STRIX ENGINEERING LLC), contact details (209 N MCHALEY, PRAIRIE CITY, OR 97869), professional engineer seal for David L. O'Connell, and project title (COVER PAGE & NOTES).

FOUNDATION PLAN NOTES:

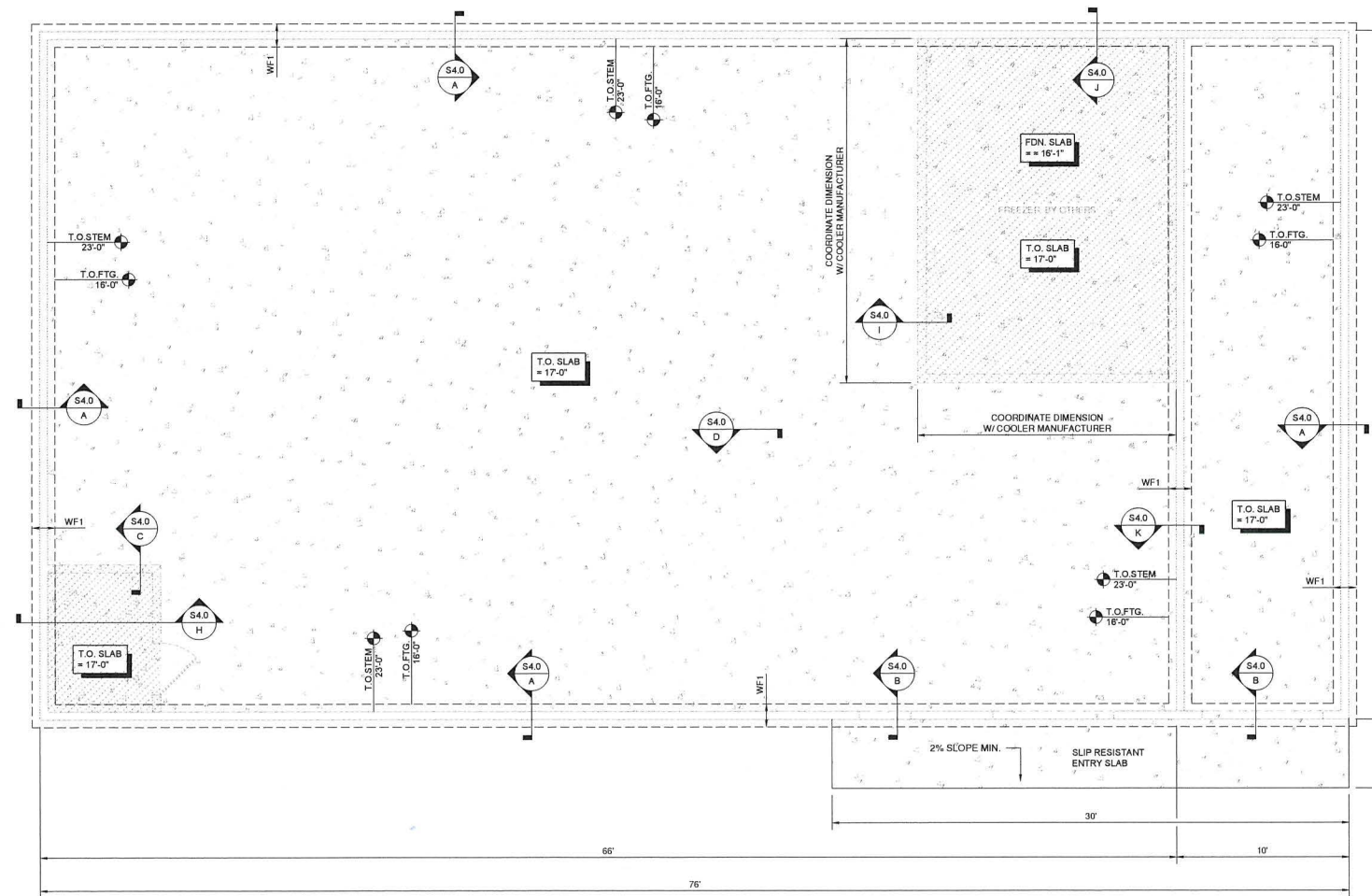
- FOR ANY ADDITIONAL DIMENSIONS NOT SHOWN, SEE ARCH PLANS. NOTIFY THE ARCHITECT OR ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- FOR ANY DIMENSION DISCREPANCIES FOUND BETWEEN THE ARCH. PLANS AND THESE PLANS USE THE DIMENSIONS FROM THE ARCH. PLANS. NOTIFY THE ARCHITECT OR ENGINEER IMMEDIATELY.
- STRUCTURAL WALLS ARE CONSIDERED TO BE ALL LOAD BEARING WALLS, SHEAR WALLS AND ANY WALL THAT REQUIRES A FOOTING.
- FOR GENERAL STRUCTURAL NOTES SEE SHEET S0.0.
- FOR TYPICAL FOUNDATION DETAILS SEE SHEETS S4.0.
- T.O.FTG. = TOP OF FOOTING ELEVATION.
- T.O.STEM = TOP OF CONCRETE STEM WALL.
- T.O.SLAB = TOP OF FLOOR SLAB ELEVATION.
- CORNER REINF. IS REQ'D PER E/S4.0.
- THE FOUNDATION HAS BEEN DESIGNED TO BE FLOODPROOFED SO THAT THE PORTION OF THE STRUCTURE THAT LIES BELOW THE PORTION THAT IS THREE FEET OR MORE ABOVE THE BASE FLOOD LEVEL IS WATERTIGHT WITH WALLS SUBSTANTIALLY IMPERMEABLE TO THE PASSAGE OF WATER.
- THE STRUCTURAL COMPONENTS HAVE BEEN DESIGNED TO RESIST HYDROSTATIC AND HYDRODYNAMIC LOADS AND EFFECTS OF BUOYANCY.

FOUNDATION PLAN LEGEND:

- INDICATES NON STRUCTURAL WALLS
- INDICATES CONCRETE STEMWALL UNDER 2x EXTERIOR WALLS
- INDICATES CONCRETE FOOTINGS PER SCHEDULE
- INDICATES 12" CONCRETE SLAB ON GRADE OVER 6" OF PROPERLY COMPACTED GRANULAR FILL CONSISTING OF CLEAN DAMP SAND & 2" MINUS GRAVEL.
- USE (2) MATS OF #4 BAR AT 18" O.C. EA. WAY
- INDICATES INSULATED CONCRETE SLAB ON GRADE, SEE DETAILS

WALL FOOTING SCHEDULE			
MARK	WIDTH (W)	DEPTH (D)	REINFORCEMENT
WF1	3'-0"	12"	(3) #5 (L) & #5 AT 12" O.C. (T). VERTICAL BARS SHALL BE HOOKED

- NOTES:**
- FOR ANY WOOD WALL FOOTING NOT MARKED, USE FOOTING TYPE WF1.
 - ALL FOOTINGS ARE CENTERED UNDER WALLS UNLESS NOTED OR DETAILED OTHERWISE.
 - (H) = HORIZONTAL BARS IN STEM WALL - WHERE OCCURS
(L) = LONGITUDINAL BARS IN FOOTING
(V) = VERTICAL BARS IN STEM WALL - WHERE OCCURS
(T) = TRANSVERSE BARS IN FOOTING
E.F. = EACH FACE
TAB = TOP AND BOTTOM
 - (V) VERTICAL BARS IN STEM WALL MAY BE BENT (IN ALTERNATE DIRECTIONS) @ THE FOOTING AND USED IN LIEU OF (T) TRANSVERSE BARS - SEE DETAILS.



1 FOUNDATION PLAN
SCALE: 1/4"=1'-0"

STRUX
ENGINEERING LLC
PO BOX 324
209 N MCMALEY
PRINE CITY, OR 97869
PHONIC @ STRUXENGINEERING.COM



THIS PLAN, SPECIFICATIONS, AND ANY OTHER DOCUMENTS HEREBY REFERRED TO ARE THE PROPERTY OF STRUX ENGINEERING LLC. ANY REPRODUCTION OR TRANSMISSION OF THIS PLAN OR ANY PART THEREOF WITHOUT THE WRITTEN CONSENT AND APPROVAL OF STRUX ENGINEERING LLC IS STRICTLY PROHIBITED. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON. STRUX ENGINEERING LLC SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS PLAN OR ANY PART THEREOF. STRUX ENGINEERING LLC SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS PLAN OR ANY PART THEREOF. STRUX ENGINEERING LLC SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS PLAN OR ANY PART THEREOF.

**PACIFIC CITY WAREHOUSE
CHESTER'S MARKET**
PACIFIC CITY, OREGON

DATE	DESCRIPTION/COMMENTS

DATE: 12-22-2023
DRAWN BY: KB
CHECKED BY: CLJ
JOB NUMBER: 1034.21






SHEET TITLE
FOUNDATION PLAN

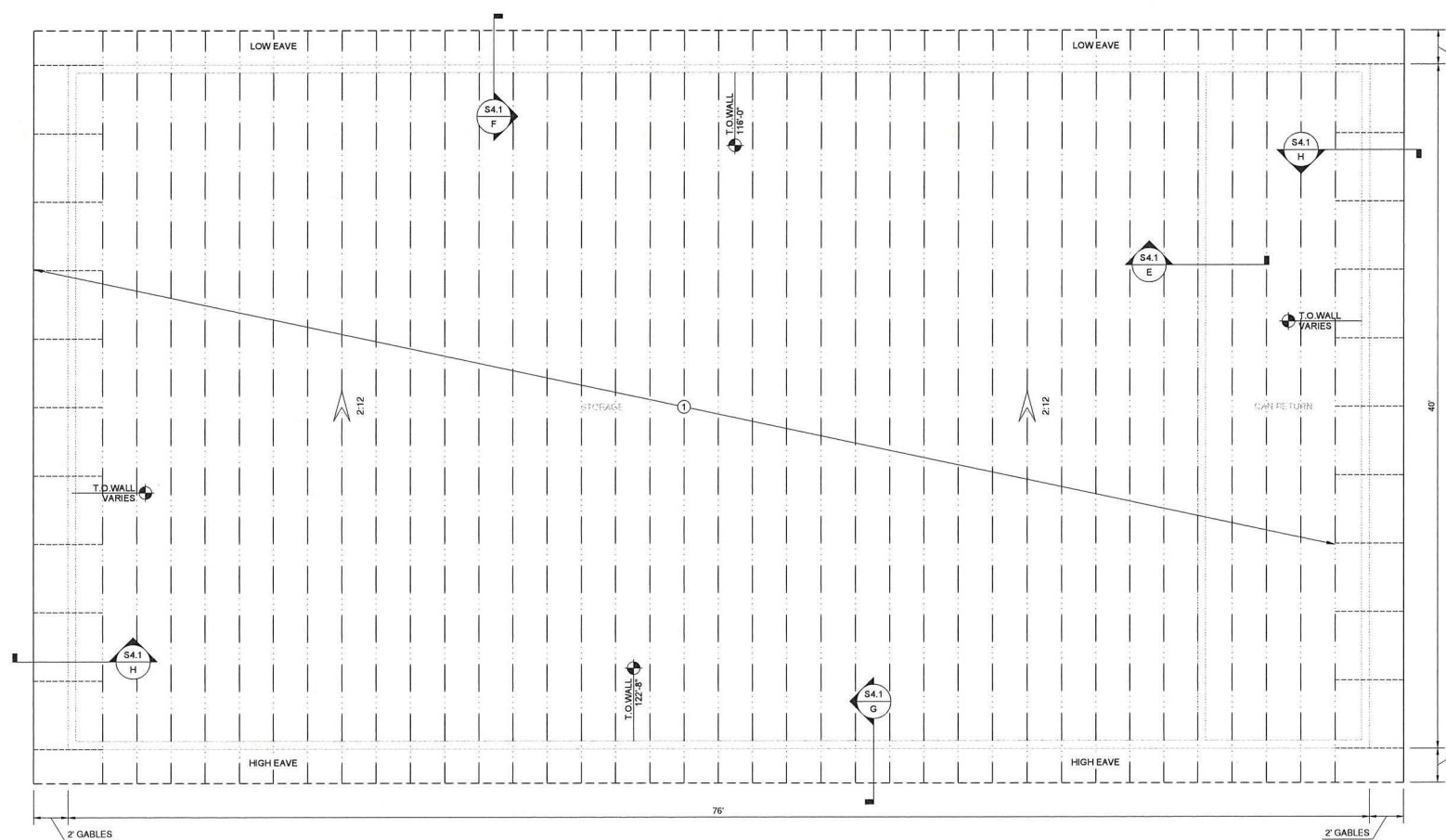
SHEET NUMBER
S1.0
SHEET

ROOF FRAMING PLAN NOTES:

- FOR ANY ADDITIONAL DIMENSIONS NOT SHOWN, SEE ARCH PLANS. NOTIFY THE ARCHITECT OR ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- STRUCTURAL WALLS ARE CONSIDERED TO BE ALL LOAD BEARING WALLS, SHEAR WALLS AND ANY WALL THAT REQUIRES A FOOTING.
- FOR GENERAL STRUCTURAL NOTES SEE SHEET S0.0.
- FOR TYPICAL FRAMING DETAILS SEE SHEETS S4.0-4.1.
- T.O.WALL = TOP OF WALL ELEVATION
- T.O. BEAM = TOP OF BEAM ELEVATION
- ROOF SHEATHING: SHEATHING PER S0.0 NOTES. FASTEN w/ 8d EDGE NAIL (EN) @ 6" O.C. & w/ 8d FIELD NAIL (FN) @ 12" O.C..
- 2x FASCIA BOARD SHALL BE PROVIDED @ ALL ROOF EDGE CORNERS FOR A CONT. SPAN OF 8'-0" (MIN.) w/ (4) 18d NAILS INTO EA. TRUSS OR RAFTER END. METAL FASCIA ATTACHED OVER 2x MEMBER PER ARCH.

ROOF FRAMING LEGEND:

-  INDICATES BEARING WALL OR BEAM BELOW
-  2x DF-L BARGE RAFTER
-  2x DF-L FASCIA
-  PRE-ENGINEERED PARALLEL CORD TRUSSES BY OTHERS, 40'-0" CLEAR SPAN, 2:12 PITCH, SIMPSON H2.5A AT EACH END.
-  2x DF-L OUTRIGGER @ 48" O.C.



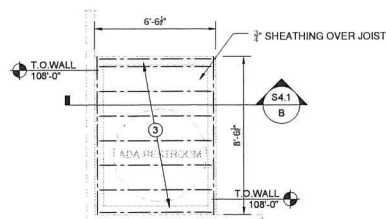
1 ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"

CEILING FRAMING PLAN NOTES:

- FOR ANY ADDITIONAL DIMENSIONS NOT SHOWN, SEE ARCH PLANS. NOTIFY THE ARCHITECT OR ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- STRUCTURAL WALLS ARE CONSIDERED TO BE ALL LOAD BEARING WALLS, SHEAR WALLS AND ANY WALL THAT REQUIRES A FOOTING.
- FOR GENERAL STRUCTURAL NOTES SEE SHEET S0.0.
- FOR TYPICAL FRAMING DETAILS SEE SHEET S4.0-4.1.
- T.O.WALL = TOP OF WALL ELEVATION
- "FLOOR/CEILING" SHEATHING: SHEATHING PER S0.0 NOTES. FASTEN w/ 8d EDGE NAIL (EN) @ 6" O.C. & 8d FIELD NAIL (FN) @ 12" O.C..

CEILING FRAMING LEGEND:

-  2x12 DF-L #2 FLOOR JOIST AT 24" O.C. w/ 2x RIM JOIST.



2 CEILING FRAMING PLAN
SCALE: 1/4"=1'-0"

S'TRUX
ENGINEERING LLC
PO BOX 324
PRAIRIE CITY, OR 97869
ENGINEER @ STRUXENGINEERING.COM



THIS DOCUMENT IS THE PROPERTY OF S'TRUX ENGINEERING LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE, REPRODUCTION, OR DISTRIBUTION OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF S'TRUX ENGINEERING LLC IS STRICTLY PROHIBITED. THE USER OF THIS PLAN SHALL BE RESTRICTED TO THE USE OF THIS PLAN AS SHOWN AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. S'TRUX ENGINEERING LLC AND ITS ENGINEERS AND ARCHITECTS DO NOT WARRANT OR REPRESENT THAT THE INFORMATION CONTAINED HEREIN IS COMPLETE, ACCURATE, OR SUFFICIENT FOR ANY PURPOSE OTHER THAN THAT SPECIFICALLY IDENTIFIED HEREIN. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. S'TRUX ENGINEERING LLC AND ITS ENGINEERS AND ARCHITECTS SHALL NOT BE LIABLE FOR ANY DAMAGE, LOSS, OR INJURY, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THIS PLAN OR FROM ANY INFORMATION CONTAINED HEREIN. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. S'TRUX ENGINEERING LLC AND ITS ENGINEERS AND ARCHITECTS SHALL NOT BE LIABLE FOR ANY DAMAGE, LOSS, OR INJURY, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THIS PLAN OR FROM ANY INFORMATION CONTAINED HEREIN.

**PACIFIC CITY WAREHOUSE
CHESTER'S MARKET**

PACIFIC CITY, OREGON

DATE	DESCRIPTION/COMMENT

DATE: 12-22-2023
DRAWN BY: KB
CHECKED BY: LV
JOB NUMBER: 1034.21

SHEET TITLE
ROOF & CEILING FRAMING PLANS

SHEET NUMBER
S3.0

SHEET

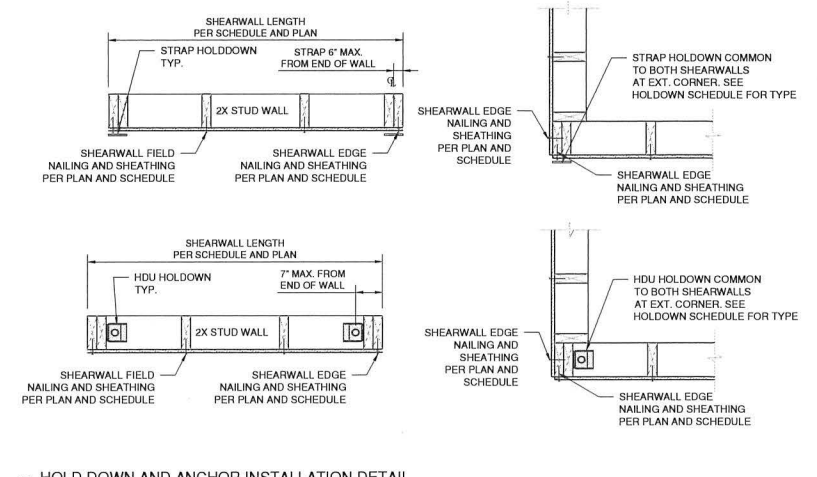
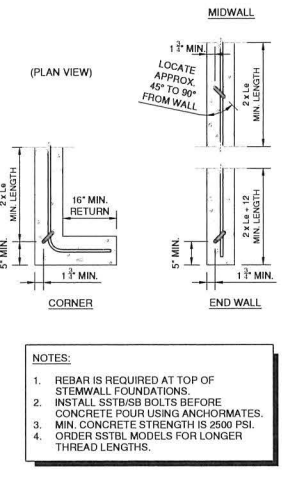
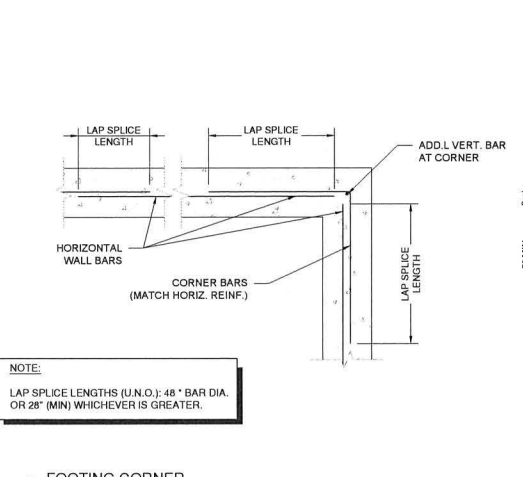
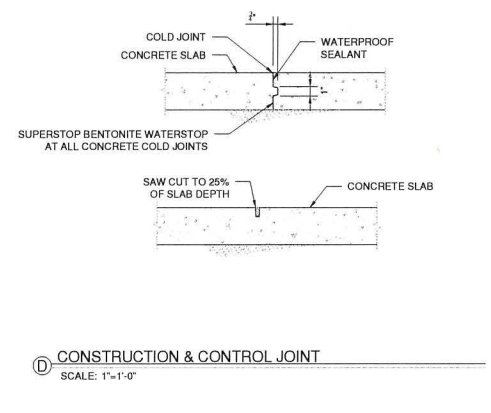
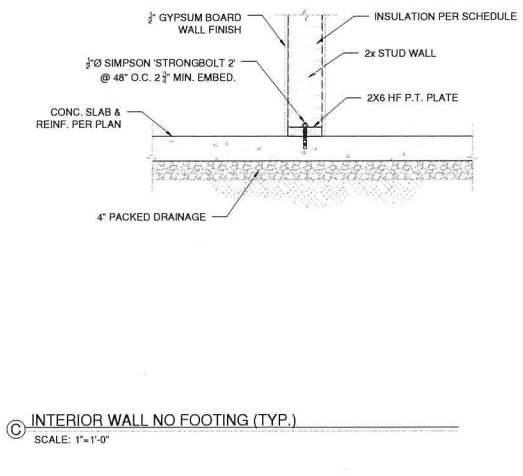
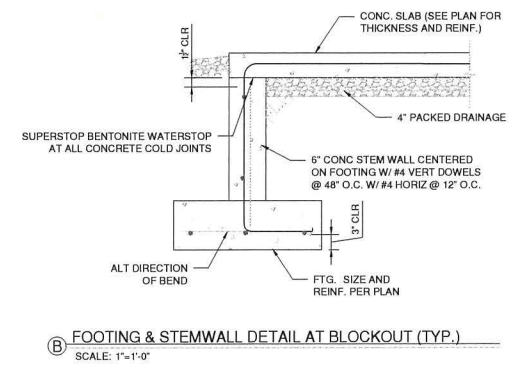
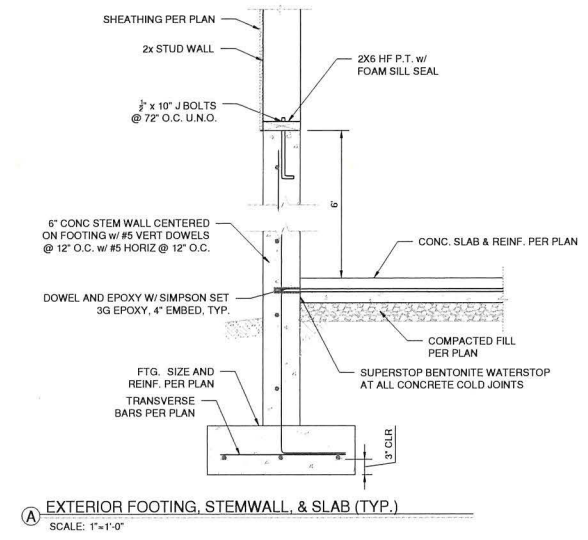
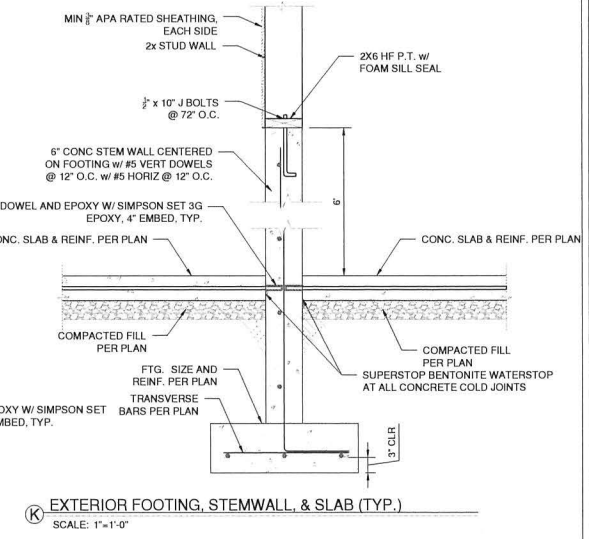
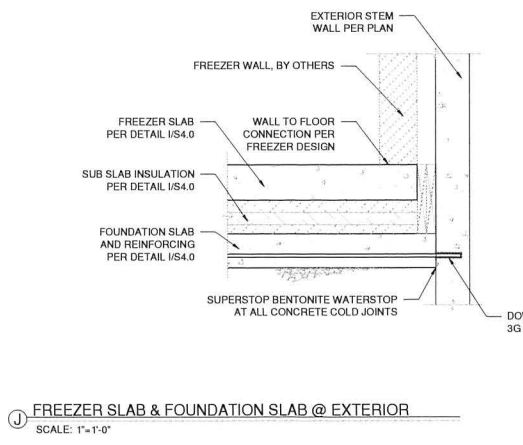
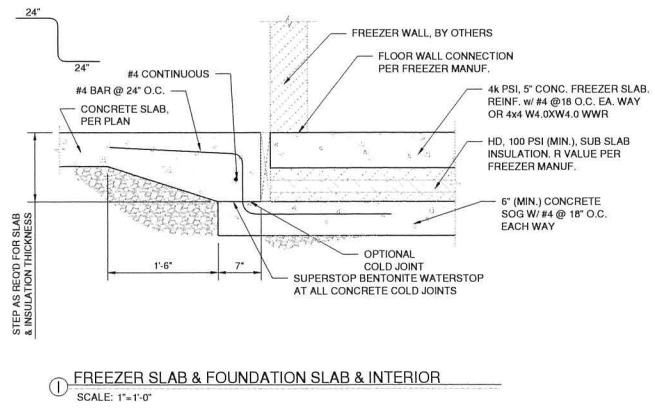
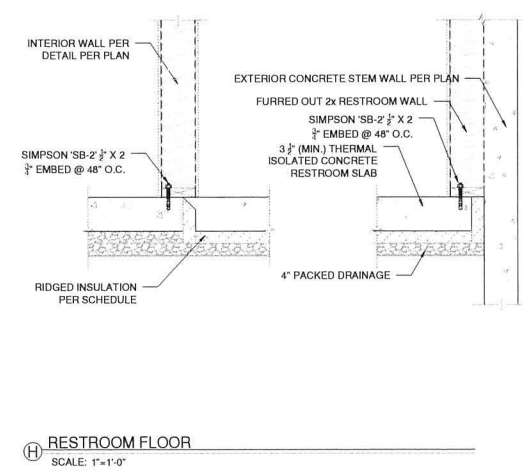


TABLE 1: HOLD DOWN SCHEDULE, FIRST FLOOR TO FOUNDATION

LABEL	MIN. STEMWALL THICK. (IN)	OPTION 1: EMBEDDED STRAP		OPTION 2: SCREW HD		ANCHOR BOLT	STUD POS T	Tallow	
		STRAP HD SIZE	STUD NAILS	EMBED LENGTH	SCREW HD SIZE				STUD SCREWS
A1	6	STHD10	(2) 16d	10	HDU-SDS2.5	(6) SDS 1/2"x2 1/2"	1/2" F1554 GR. 36 THREADED ROD W/ SIMPSON SET-3G EPOXY, 6" EMBED, MIN.	(2) 2x	2540



STRUX ENGINEERING LLC
 209 N McHALEY
 PRAIRIE CITY, OR 97869
 ENGINEER @ STRUXENGINEERING.COM

REGISTERED PROFESSIONAL ENGINEER
 64,988
 OREGON
 MAY 22, 2015
 LEVI R VOIGT
 RENEWS: 6/30/2024

THIS DRAWING IS THE PROPERTY OF STRUX ENGINEERING LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF STRUX ENGINEERING LLC. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS, SPECIFICATIONS AND OTHER DOCUMENTS REFERENCED HEREIN. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONTRACTS AND AGREEMENTS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONTRACTS AND AGREEMENTS.

**PACIFIC CITY WAREHOUSE
 CHESTER'S MARKET**
 PACIFIC CITY, OREGON

DATE	DESCRIPTION/COMMENT

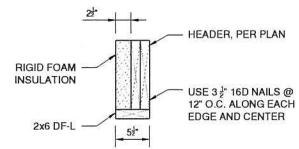
DATE: 12-22-2023
 DRAWN BY: KB
 CHECKED BY: LV
 JOB NUMBER: 1034.21

SHEET TITLE

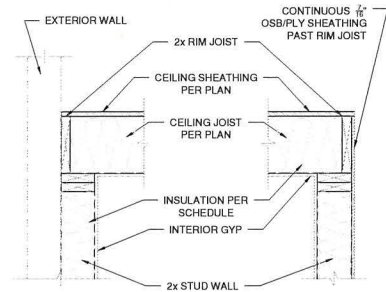
**STRUCTURAL
 DETAILS**

SHEET NUMBER
S4.0

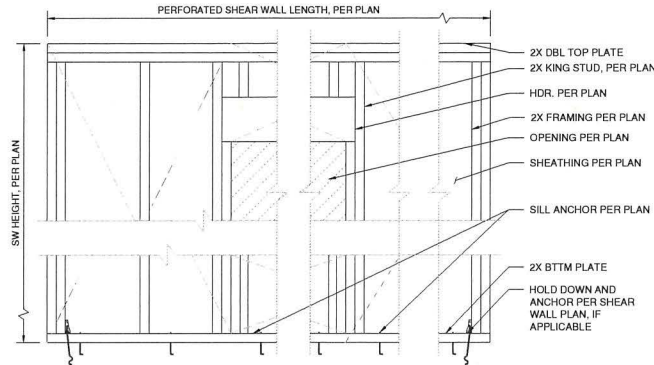
SHEET



A INSULATED HEADER DETAIL (TYP.)
SCALE: 1"=1'-0"



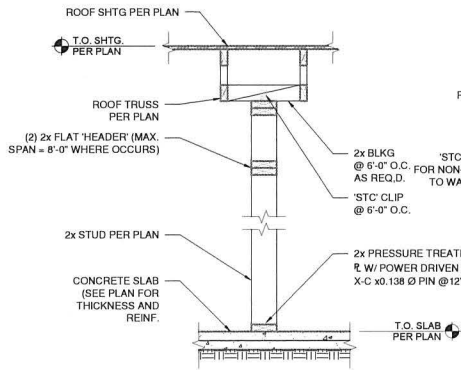
B RESTROOM CEILING JOIST
SCALE: 1"=1'-0"



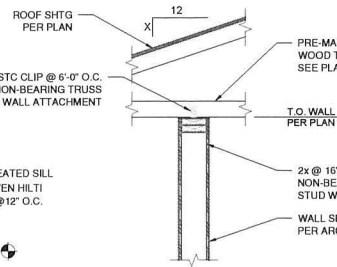
C PERFORATED SHEAR WALL DETAIL
SCALE: 1"=1'-0"

SHEAR WALL SCHEDULE								
LABEL	PANEL EDGE NAILING	PANEL FIELD NAILING	PANEL EDGE FRAMING	APA RATED SHEATHING	FOUNDATION SILL PLATE FASTENERS	BLOCKING CLIP	ALLOWABLE SHEAR (SEISMIC)	ALLOWABLE SHEAR (WIND)
1	8d @ 6" O.C.	8d @ 12" O.C.	2x	MIN (1) SIDE	70 x 7 EMBED A.B. @ 48" O.C.	A35 @ 24" O.C.	260 PLF	365 PLF
2	8d @ 4" O.C.	8d @ 12" O.C.	2x	MIN (1) SIDE	70 x 7 EMBED A.B. @ 48" O.C.	A35 @ 16" O.C.	380 PLF	532 PLF
3	8d @ 3" O.C.	8d @ 12" O.C.	2x	MIN (1) SIDE	70 x 7 EMBED A.B. @ 48" O.C.	A35 @ 16" O.C.	490 PLF	685 PLF
4	8d @ 2" O.C.	8d @ 12" O.C.	2x	MIN (1) SIDE	70 x 7 EMBED A.B. @ 48" O.C.	A35 @ 12" O.C.	640 PLF	895 PLF
5	8d @ 6" O.C.	8d @ 12" O.C.	2x	MIN (2) SIDES	70 x 7 EMBED A.B. @ 48" O.C.	A35 @ 12" O.C.	520 PLF	730 PLF
6	8d @ 4" O.C.	8d @ 12" O.C.	2x	MIN (2) SIDES	70 x 7 EMBED A.B. @ 32" O.C.	A35 @ 8" O.C.	760 PLF	1065 PLF
7	8d @ 3" O.C.	8d @ 12" O.C.	2x	MIN (2) SIDES	70 x 7 EMBED A.B. @ 24" O.C.	A35 @ 8" O.C.	980 PLF	1370 PLF
8	8d @ 2" O.C.	8d @ 12" O.C.	2x	MIN (2) SIDES	70 x 7 EMBED A.B. @ 24" O.C.	A35 @ 8" O.C.	1280 PLF	1790 PLF
9	#6 TYPE S OR W 1/2" @ 4" O.C.	#6 TYPE S OR W 1/2" @ 16" O.C.	2X	GWB	70 x 7 EMBED A.B. @ 48" O.C.	A35 @ 48" O.C.	320 PLF	320 PLF

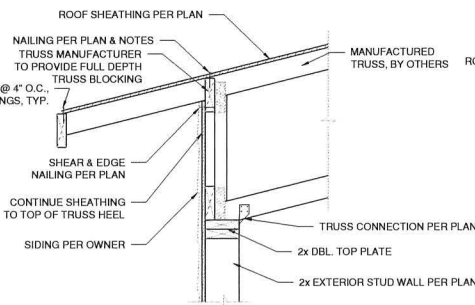
D SHEAR WALL SCHEDULE
SCALE: N/A



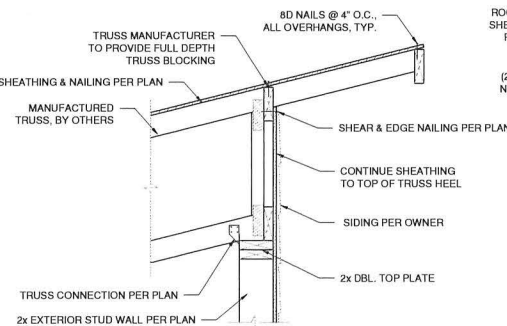
ROOF FRAMING PARALLEL TO WALL



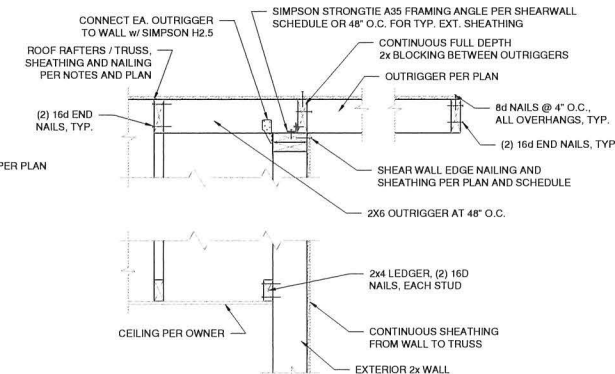
ROOF FRAMING PERPENDICULAR TO WALL



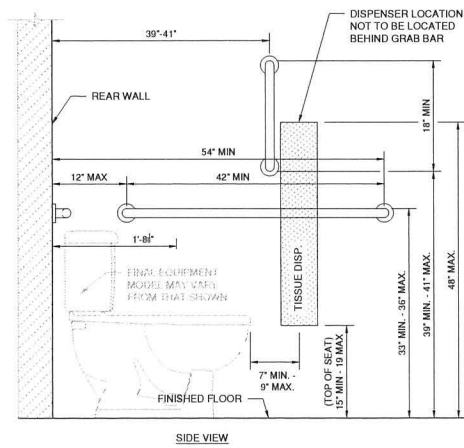
F LOW EAVE WALL DETAIL
SCALE: 1"=1'-0"



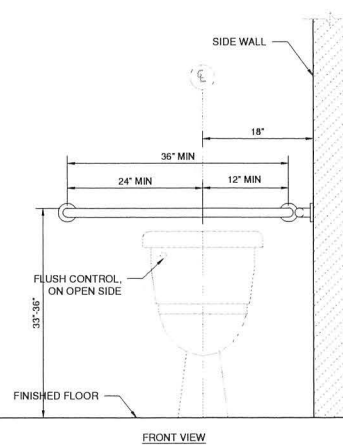
G HIGH EAVE WALL DETAIL
SCALE: 1"=1'-0"



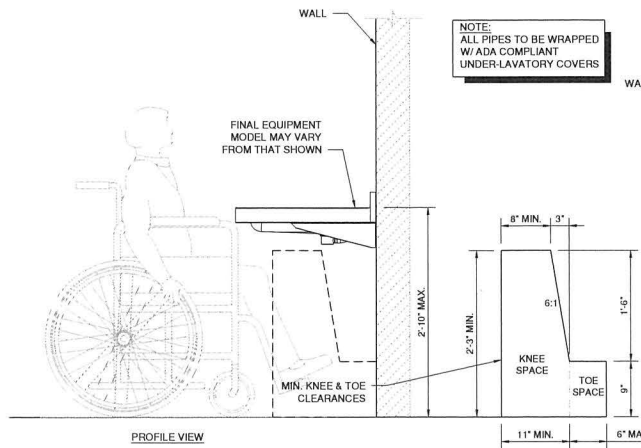
H GABLE END SHEAR TRANSFER & OUTRIGGER (TYP.)
SCALE: 1"=1'-0"



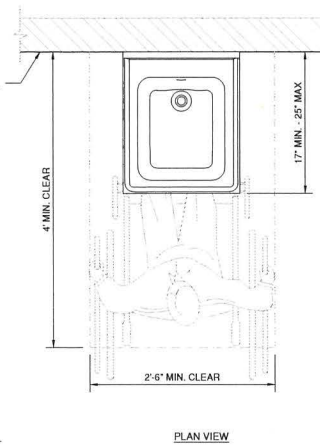
SIDE VIEW



FRONT VIEW



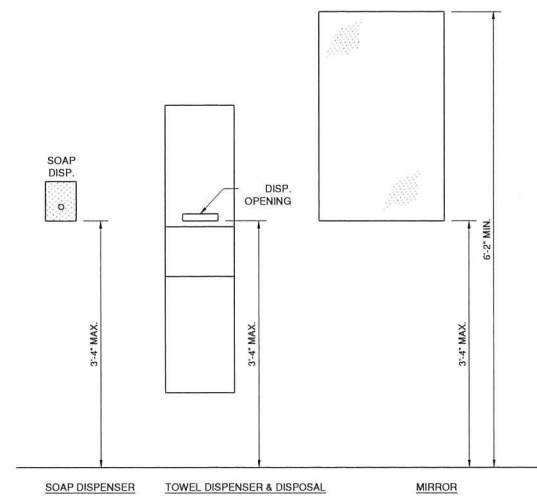
PROFILE VIEW



PLAN VIEW

I WATER CLOSET DETAILS
SCALE: 1"=1'-0"

J LAVATORY DETAILS
SCALE: 1"=1'-0"



K ACCESSORY HEIGHT DETAILS
SCALE: 1"=1'-0"

S.T.R.U.X.
ENGINEERING LLC
PO BOX 324
PRAIRIE CITY, OR 97869
ENGINEER @ STRUXENGINEERING.COM



REVISIONS: 6/30/2024
THIS PLAN AND/OR SECTION ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE PARTY PREPARED BY THE ENGINEER. THE USE OF THIS PLAN SHALL BE RESTRICTED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE DRAWINGS. THE ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

**PACIFIC CITY WAREHOUSE
CHESTER'S MARKET**
PACIFIC CITY, OREGON

FIELD	DATE	DESCRIPTION	COMMENTS

DATE: 12-22-2023
DRAWN BY: KB
CHECKED BY: LV
JOB NUMBER: 1034.21

SHEET TITLE

**STRUCTURAL
DETAILS**

SHEET NUMBER



S4.1

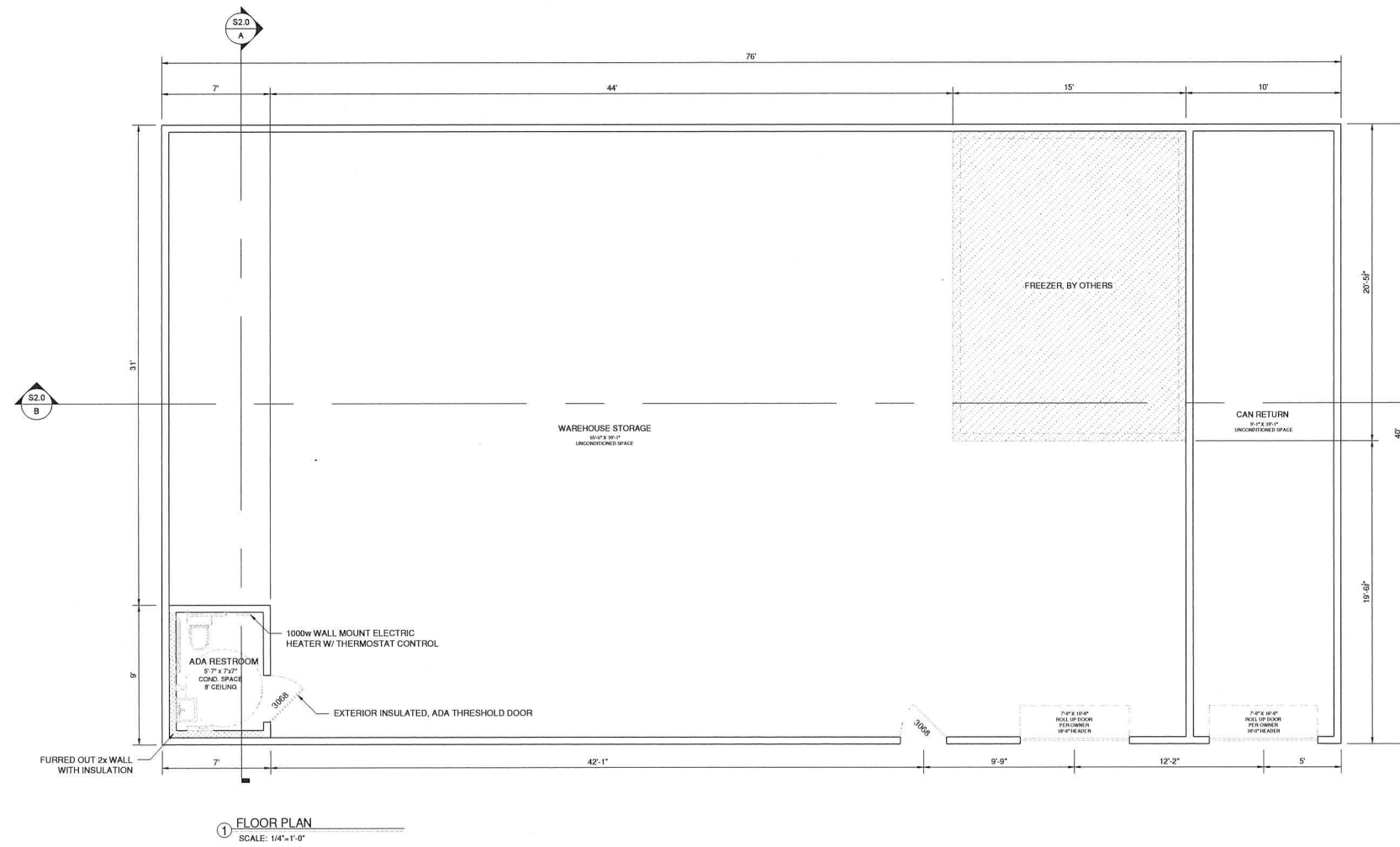
SHEET

FLOOR PLAN NOTES:

1. ALL DIMENSIONS SHOWN ARE MEASURED TO THE FACE OF FRAMING OR TO THE CENTER OF THE ROUGH OPENING.
2. ROUGH OPENING DIMENSIONS SHALL BE COORDINATED WITH THE ACTUAL FURNISHINGS IN WHICH THEY HOUSE.
3. OPENING HEADER HEIGHT SHALL BE 6'-8" U.N.O.
4. ORIENTATION AND LOCATION OF ALL FIXTURES SHALL MEET THOSE REQUIREMENTS PUT FORTH IN THE ORSC.

FLOOR PLAN LEGEND:

-  INDICATES 2x6 DF-L AT 16" O.C. WOOD FRAMED WALL
-  DRIVE IN FREEZER/COOLER BY OTHERS



STRUX ENGINEERING LLC
 PO BOX 324
 209 N MCMALEY
 PRAIRIE CITY, OR 97869
 PHONE: 503.978.6699
 EMAIL: STRUXENGINEERING@GMAIL.COM



THIS PLAN, SPECIFICATIONS, DRAWINGS, AND ANY OTHER INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF STRUX ENGINEERING LLC. ANY REPRODUCTION, COPIING, OR DISTRIBUTION OF THIS INFORMATION WITHOUT THE WRITTEN CONSENT AND SIGNATURE OF STRUX ENGINEERING LLC IS STRICTLY PROHIBITED. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS, AND REGULATORY REQUIREMENTS. STRUX ENGINEERING LLC SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE, LOSS, OR INJURY RESULTING FROM THE USE OF THIS PLAN. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS. STRUX ENGINEERING LLC SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE, LOSS, OR INJURY RESULTING FROM THE USE OF THIS PLAN. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS.

**PACIFIC CITY WAREHOUSE
 CHESTER'S MARKET**

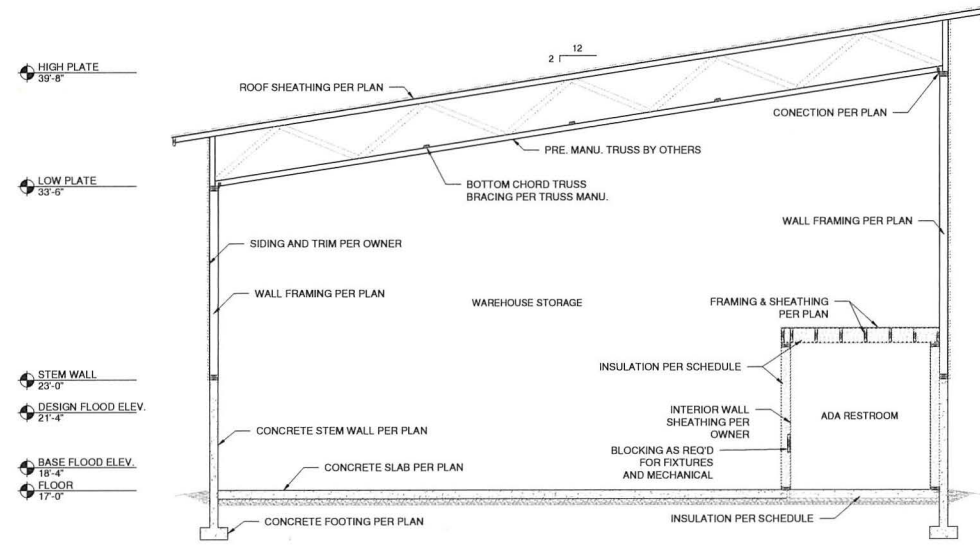
PACIFIC CITY, OREGON

DATE	DESCRIPTION/COMMENT

DATE: 12-22-2023
 DRAWN BY: KB
 CHECKED BY: LV
 JOB NUMBER: 1034.23

SHEET TITLE
FLOOR PLAN

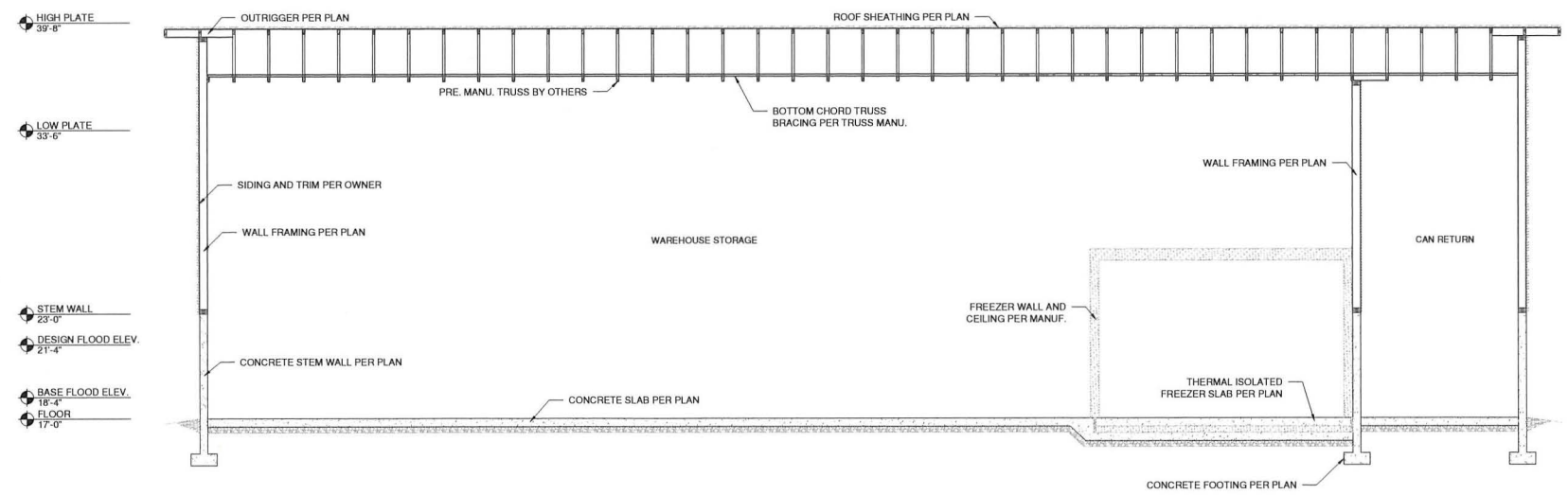
SHEET NUMBER
A1.0
 SHEET



A TRANSVERSAL SECTION
SCALE: 1/4"=1'-0"

INSULATION SCHEDULE [0]		
SITE INFORMATION - CLIMATE ZONE 4C		
LOCATION	MIN. R / MAX. U VALUES	NOTES
ATTIC	R49	
MASS WALL	R9.5ci	ABOVE GRADE
WOOD WALL	R13 + 7.5ci OR R20	ABOVE GRADE
SLAB-ON-GRADE FLOOR [1]	R15ci [2]	2' AT PERIMETER [3]
WINDOWS	U0.36	FIXED
WINDOWS	U0.45	OPERABLE
OPAQUE DOOR	U0.37	SWINGING
OPAQUE DOOR	U0.31	NONSWINGING

NOTES: [0] SEE OESFC (2021) TABLE 5.5-4 FOR FURTHER INFORMATION [1] UNHEATED FLOOR [2] TYPICAL FLOOR U.N.O. [3] INSTALL CONTINUOUS INSULATION UNDER RESTROOM FLOOR



B LONGITUDINAL SECTION
SCALE: 1/4"=1'-0"

S'TRUX
ENGINEERING LLC
PO BOX 324
PACIFIC CITY, OR 97139
OWNER @ STRUXENGINEERING.COM



THIS PLAN AND ANY SYSTEM ARE SET OUT BY THE CHANGING OF CONDITIONS MAY BE MADE BY THE ENGINEER WITHOUT NOTICE TO THE CLIENT AND WITHOUT THE USE OF THE ENGINEER'S PROFESSIONAL SEAL OR SIGNATURE. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE SYSTEMS AND THE OBLIGATION OF THE ENGINEER DOES NOT EXTEND TO THE OBLIGATION OF THE CLIENT TO MAINTAIN THE SYSTEMS OR TO PROVIDE THE NECESSARY INFORMATION FOR THE DESIGN AND CONSTRUCTION OF THE SYSTEMS. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE SYSTEMS AND THE OBLIGATION OF THE ENGINEER DOES NOT EXTEND TO THE OBLIGATION OF THE CLIENT TO MAINTAIN THE SYSTEMS OR TO PROVIDE THE NECESSARY INFORMATION FOR THE DESIGN AND CONSTRUCTION OF THE SYSTEMS. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE SYSTEMS AND THE OBLIGATION OF THE ENGINEER DOES NOT EXTEND TO THE OBLIGATION OF THE CLIENT TO MAINTAIN THE SYSTEMS OR TO PROVIDE THE NECESSARY INFORMATION FOR THE DESIGN AND CONSTRUCTION OF THE SYSTEMS.

**PACIFIC CITY WAREHOUSE
CHESTER'S MARKET**

PACIFIC CITY, OREGON

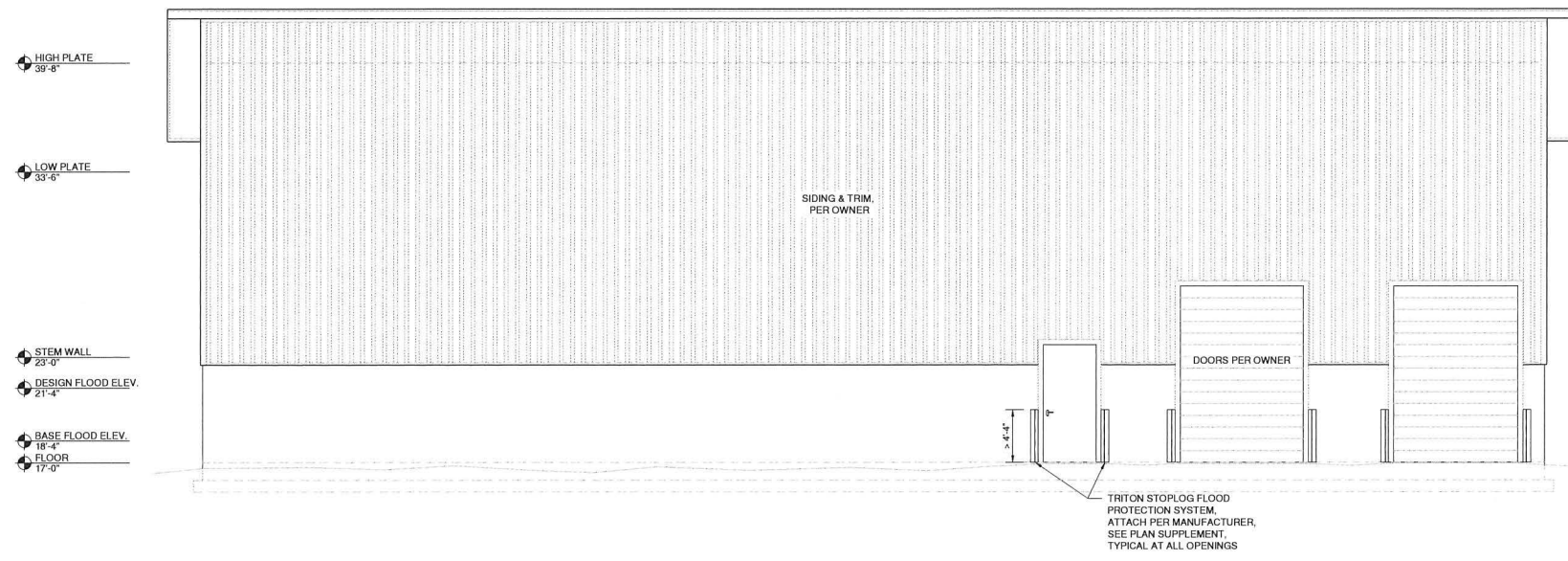
DATE	DESCRIPTION / COMMENTS

DATE: 12-22-2023
DRAWN BY: KB
CHECKED BY: LV
JOB NUMBER: 1034.21

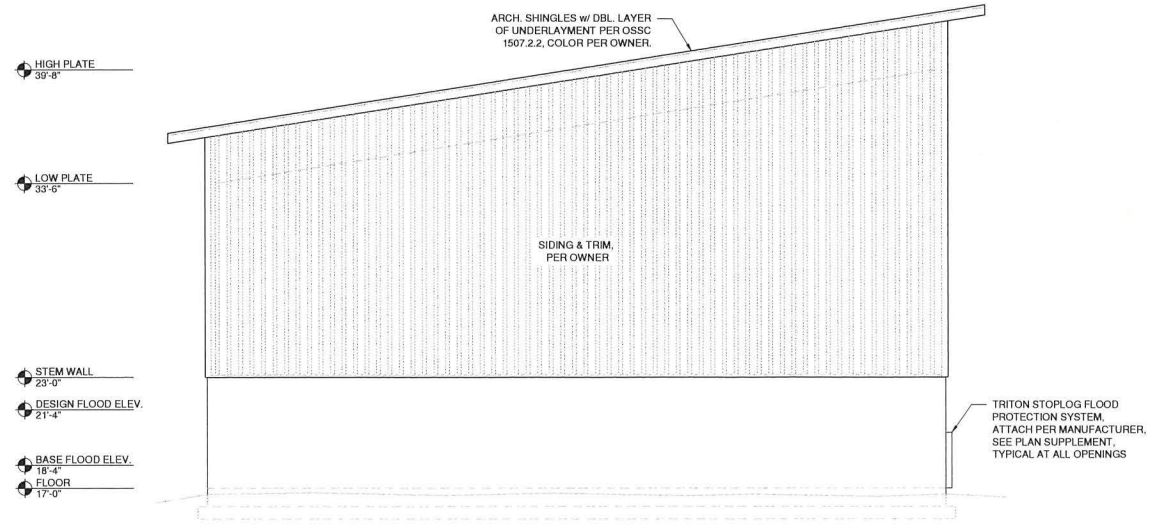
SHEET TITLE
TYPICAL CROSS SECTIONS

SHEET NUMBER
A2.0

SHEET



① FRONT ELEVATION
SCALE: 1/4"=1'-0"



② SIDE ELEVATION (TYP.)
SCALE: 1/4"=1'-0"

S'TRUX
ENGINEERING LLC
PO BOX 324
PRAIRIE CITY, OR 97869
ENGINEER @ STRUXENGINEERING.COM



THIS DRAWING IS THE PROPERTY OF S'TRUX ENGINEERING LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE, REPRODUCTION, OR DISTRIBUTION OF THIS DRAWING WITHOUT THE WRITTEN CONSENT AND PROPER CREDIT TO S'TRUX ENGINEERING LLC IS STRICTLY PROHIBITED. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION AND DATA PROVIDED HEREON. S'TRUX ENGINEERING LLC AND ITS EMPLOYEES SHALL NOT BE LIABLE FOR ANY DAMAGE, LOSS, OR INJURY, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THIS DRAWING. THIS DRAWING IS PROVIDED AS IS, WITHOUT WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, INCLUDING BUT NOT LIMITED TO THE WARRANTIES OF MERCHANTABILITY, FITNESS FOR A PARTICULAR PURPOSE, AND NON-INFRINGEMENT. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION AND DATA PROVIDED HEREON. S'TRUX ENGINEERING LLC AND ITS EMPLOYEES SHALL NOT BE LIABLE FOR ANY DAMAGE, LOSS, OR INJURY, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THIS DRAWING.

**PACIFIC CITY WAREHOUSE
CHESTER'S MARKET**

PACIFIC CITY, OREGON

DATE	DESCRIPTION / COMMENT

DATE: 12-22-2023
DRAWN BY: KB
CHECKED BY: LV
JOB NUMBER: 1034.21

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A3.0
SHEET

EXHIBIT C



Wetland Land Use Notice Response

Response Page

Department of State Lands (DSL) WN#*

WN2023-0273

Responsible Jurisdiction

Staff Contact	Jurisdiction Type	Municipality
Lynn Tone	County	Tillamook
Local case file #	County	
851-23-000001-PLNG	Tillamook	

Activity Location

Township	Range	Section	QQ section	Tax Lot(s)
04S	10W	19	CD	3500

Street Address

6405 Shade St

Address Line 2

City

Pacific City

Postal / Zip Code

97135

State / Province / Region

OR

Country

Tillamook

Latitude

45.206147

Longitude

-123.959664

Wetland/Waterway/Other Water Features

It is unlikely that there are jurisdictional wetlands or waterways on the property based upon a review of wetland maps, the county soil survey and other available information.

Your Activity

A state permit will not be required for the proposed project because, based on the submitted site plan, the project avoids impacts to jurisdictional wetlands, waterways, or other waters.

Closing Information

Additional Comments

Based on the submitted site plan, the proposed project ("warehouse") does not appear to impact a jurisdictional wetland or waterway of this state. A state Removal-Fill permit is not likely required for this activity.

This is a preliminary jurisdictional determination and is advisory only.

This report is for the State Removal-Fill law only. City or County permits may be required for the proposed activity.

Contact Information

- For information on permitting, use of a state-owned water, wetland determination or delineation report requirements please contact the respective DSL Aquatic Resource, Proprietary or Jurisdiction Coordinator for the site county. The current list is found at: <http://www.oregon.gov/dsl/ww/pages/wwstaff.aspx>
- The current Removal-Fill permit and/or Wetland Delineation report fee schedule is found at: <https://www.oregon.gov/dsl/WW/Documents/Removal-FillFees.pdf>

Response Date

5/8/2023

Response by:

Jessica Salgado

Response Phone:

541-388-6421